



RESIDENTIAL BUILDING PERMIT CHECKLIST FOR MENDOCINO COUNTY



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FOR ADDITIONAL INFORMATION

CONTACT US AT:

MENDOCINO COUNTY
PLANNING AND BUILDING
SERVICES

860 N. BUSH ST

UKIAH, CA

OFFICE TELEPHONE: 707-234-6650

OR ONLINE AT:

www.mendocinocounty.org/pbs

EMAIL: PBS@mendocinocounty.gov

FORT BRAGG OFFICE:

120 WEST FIR ST.

FORT BRAGG, CA

OFFICE TELEPHONE: 707-964-5379



BUILDING PERMIT APPLICATION CHECKLIST - *Not all forms may apply*

AT PERMIT APPLICATION SUBMITTAL YOU WILL NEED THE FOLLOWING (FOR A “STICK BUILT” SINGLE FAMILY RESIDENCE):

- 1 permit application with all fields and the applicable declaration(s) completed**
- 1 copy of an 8 1/2” x 11” plot/site plan (see site plan requirements)**
- 3 copies of construction plans (building or grading)**
- 1 copy of CAL FIRE application with preliminary approval & conditions (if applicable)**
- 2 Copies of Title 24—Energy Compliance**
- 2 copies of engineering calculations with “Wet Signature”**

***For Class K requirements please contact us at**

Ukiah Office: 707-234-6650

Fort Bragg Office: 707-964-5379



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OFFICE TELEPHONE: 707-964-5379



MANUFACTURED/MOBILE HOME BUILDING PERMIT APPLICATION CHECKLIST

AT PERMIT APPLICATION SUBMITTAL YOU WILL NEED THE FOLLOWING (FOR A MANUFACTURED/MOBILE HOME):

- 1 permit application with all fields and the applicable declaration(s) completed**
- 1 copy of an 8 1/2" x 11" plot/site plan (see site plan requirements)**
- 2 copies of Manufactured Home installation OR Manufactured Home block setup**
- 2 copies of Manufactured Home permanent foundation plans OR Manufactured Home engineered tie down system**
- 1 copy of CAL FIRE application with preliminary approval (if applicable)**

*** Please contact Department Of Transportation regarding Transportation permit requirements**

707-463-4363



**FOR ADDITIONAL INFORMATION
CONTACT US AT:
MENDOCINO COUNTY
PLANNING AND BUILDING
SERVICES
860 N. BUSH ST
UKIAH, CA**

**OFFICE TELEPHONE: 707-234-6650
OR ONLINE AT**

www.mendocinocounty.org/pbs

EMAIL:

PBS@mendocinocounty.gov

FORT BRAGG OFFICE:

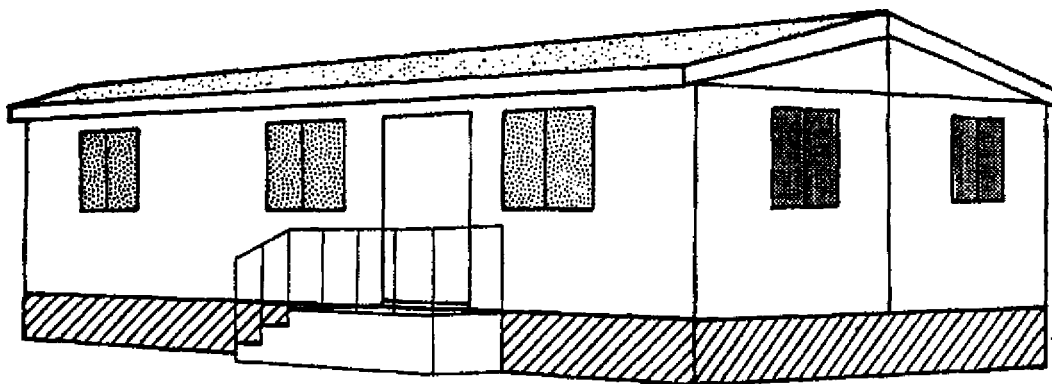
120 WEST FIR ST.

FORT BRAGG, CA

OFFICE TELEPHONE: 707-964-5379

Mobile Homes/Manufactured Homes

Permits, Installation, Inspections
and Zoning Requirements



Mendocino County Planning & Building Services

Inland: 860 North Bush Street
Ukiah, CA 95482
707-234-6650

Coastal: 120 West Fir Street
Fort Bragg, CA 95437
707-964-5379

Permits, Installation, and Inspections

1. Permits are required when:
 - a. Any mobile home, manufactured home, and modular home installed in Mendocino County on private land requires a permit and inspections from the Mendocino County Building Department.
 - b. Any recreational vehicle (travel trailer, fifth wheel, park model or motor home) requires an administrative permit from the Planning Division to temporarily be used as a dwelling when in conjunction with the construction/establishment of a mobile home or residence (A valid building permit must be in effect for the administrative permit to be valid) or family care unit.
 - c. A mobile home may need to be certified under the 1974 Mobile Home Safety Standards Act. *See Page 6 for details.*
2. Permit Application for a Home to be placed Without a Permanent Foundation.
 - a. A permit application is required to be completed and submitted along with 3 copies of an 8¹/₂"x11" plot plan, 3 sets of the manufacturer's set-up installation manual, 3 sets of State approved engineered tie-down plans, and clearance from CalFire if applicable. *See example A.*
 - b. For older mobile homes, manufactured, or modular homes where the installation manual is no longer available, the foundation is to be installed per Building Department guidelines which are available at the Building Department based on Section 1335.5 Chapter 2, Title 25.c. *See example B.*
 - c. Prior to issuance of a permit, the owner or applicant must submit a letter of developer fee payment (school impact fees) from the appropriate school district to the Building Division.
3. Permit Application for Permanent Foundation Installation.
 - a. A permit application is required to be completed and submitted along with 3 copies of an 8¹/₂"x11" plot plan, 3 sets of the manufacturer's set-up installation manual, 3 sets of state approved engineered tie-down plans, and clearance from CalFire if applicable. *See example A.*
 - b. Prior to issuance of a permit, the owner or applicant must submit a letter of developer fee payment (school impact fees) from the appropriate school district to the Building Division.
 - c. At the time the permit application is submitted, the owner/applicant must also submit completed Housing & Community Development (HCD433) forms.
4. Additional Permits:
 - a. All other structures i.e. (awning, carport, garage, deck, deck cover, ramada, cabana, and storage building) require an additional permit.
5. Alterations and Repairs to Mobiles:
 - a. Alterations or repairs to mobile homes, modular, or manufactured homes require a permit through the state and will be inspected by the state (916-255-2501). Proof of permit and final inspection from the state is required to be submitted to the Building Department.
 - b. Any attachment to a mobile home, modular or manufactured home requires a permit through the state and will be inspected by the state (916-255-2501). Proof of permit and final inspection from the state is required to be submitted to the Building Department.
6. Inspections:
 - a. You are allowed four separate inspection dates to complete your installation requirements and to have a final on your home.
 - b. If the installation requirements are not met after the fourth inspection, a re-inspection fee may be required before any further inspections can be conducted.
7. Inspections required:

NOTE: No inspections shall be performed without the approved installation manual plans, and permit on site.

- a. Block or foundation.
 - 1. This inspection is per the installation manual, Mendocino County Building Division requirements, or stamped plans prepared by a California licensed engineer or architect, or state approved plans submitted and approved by the Mendocino County Building Division.
- b. Ridge & Floor & End wall connection on Mobile, Modular, or Manufactured Homes.
 - 1. This inspection is per the installation manual or Section 1335.5 requirements. *See example B.*
- c. Gas Test on Mobile, Modular, or Manufactured Homes.

NOTE: Do not over pressurize the fuel gas piping system. Pressurization beyond the maximum specified pressure may result in damage to valves, regulators, appliances, etc.

- 1. The inspection requires that the owner or applicant supply and have the test equipment ready at time of inspector's arrival.
- 2. The home fuel gas piping system shall be tested before it is connected to the mobile home lot gas outlet. The home gas piping system shall be subjected to a pressure test with all appliance shut-off valves, except those ahead of fuel gas cooking appliances, in the open position. Appliance shut-off valves ahead of fuel gas cooking appliances shall be closed.

The test shall consist of air pressure at not less than 10 inches nor more than a maximum of 14 inches water column. (Six ounces to a maximum eight ounces psi). The system shall be isolated from the air pressure source and maintain pressure for not less than two minutes without any perceptible leakage. Upon satisfactory completion of the test, the appliance valves ahead of fuel gas cooking appliances shall be opened and the gas cooking appliances tested with soapy water or bubble solution while under the pressure remaining in the piping system. Solutions used for testing for leakage shall not contain corrosive chemicals. Pressure shall be measured with either a manometer, slope gauge, or gauge calibrated in either water inches or psi with increments of either one-tenth inch or one-tenth psi, as applicable. Upon satisfactory completion of the test, the home gas supply connector shall be installed, and the connections tested with soapy water or bubble solution.

Gas appliance vents shall be visually inspected to insure that they have not dislodged in transit and are securely connected to the appliance.

- d. Exterior Gas Line to Home (LPG)
 - 1. The inspection requires that the owner or applicant supply and have the test equipment ready at time of the inspector's arrival.
 - 2. The gas test can be an air test with ten pounds PSI holding for 15 minutes.
 - 3. This test should be on exterior line only. It may cause damage to mobile home valves, regulators, appliances, etc.
- e. Continuity Test (Home grounding)

- 1. This inspection requires that owner or applicant supply the necessary continuity tester and have the test ready to perform at the time of the inspector's arrival.
- 2. The electrical wiring and power supply feeder assembly of the home shall be tested for continuity and grounding. The electrical wiring system of the home shall not be energized during the test. A home equipped with a power supply cord shall not be connected to the lot or site service equipment. A home equipped with a feeder assembly shall have the flexible metal conduit of the feeder assembly connected to the lot or site service equipment; however, the supply conductors, including the neutral conductor, shall not be connected.

The continuity test shall be made with all home interior branch circuit switches or circuit breakers, and all switches controlling individual outlets, fixtures and appliances in the "on" position. The test shall be made by connecting one lead of the test instrument to the home grounding conductor at the point of supply to the feeder assembly, and applying the other lead to each of the supply conductors, including the neutral conductor. There shall be no evidence of any connection between the supply conductors and the grounding conductor. In addition, all noncurrent-carrying metal parts of electrical equipment of the home, including fixtures and appliances, shall be tested to determine continuity between such equipment and the equipment-grounding conductor.

Upon completion of the continuity test, the power supply cord or feeder assembly shall be connected at the lot or site service equipment. A further continuity test shall then be made between the grounding electrodes and the chassis of the home.

f. Water Test on Home.

1. Required test to be performed by owner or applicant at time of inspection.
 - a. This inspection requires the owner or applicant to have water pressure to the home so all plumbing fixtures, drain lines, and sewage lines can be inspected for leaks.
2. The water distribution system of the home and the supply connections shall show no evidence of leakage under normal operating pressures. If water at normal operating pressure is not available, the home water distribution system shall be tested by a 50-pound per square inch air pressure test for a period of not less than 15 minutes without leaking.
3. The home drainage piping system shall be connected to the lot or site drain inlet, and tested by allowing water to flow into all fixtures and receptors, including the clothes washer standpipe, for a period of three minutes. If water under pressure is not available, the drainage piping system shall be tested by letting at least three gallons of water into each fixture and receptor. There shall be no visible evidence of leaks.

g. Stairway Inspection

1. Permanent steps or stairways are required at all exterior doors if the rise between grade and the threshold is more than 7.5 inches.
2. If a stairway has 4 or more risers (steps), a minimum of one handgrip is required on one side of the stairway.

Handgrips must be between 34" to 38" above the nosing of the treads and have a gripping surface of between 1¹/₄ inches to 2 inches, and spaced so as to project 1/2 inches maximum from the wall or face of the guardrail to allow grip of hand.

3. All handgrips must terminate in newel post, safety terminals, or return to post.

8. Post Permanent Address

- a. Post on home if it can be seen from the road.
- b. Post at the end of driveway if home cannot be seen from road.
- c. Address numbers should be 2 ¹/₂ inches minimum attached horizontally and be of a color that contrasts with the background. Check with CalFire requirements.
- d. This should be done before calling for an inspection so the inspector can find your project.

Approved Access to Mobile Home

§ 1498. Landing, Porch and Stairway-Design and Construction.

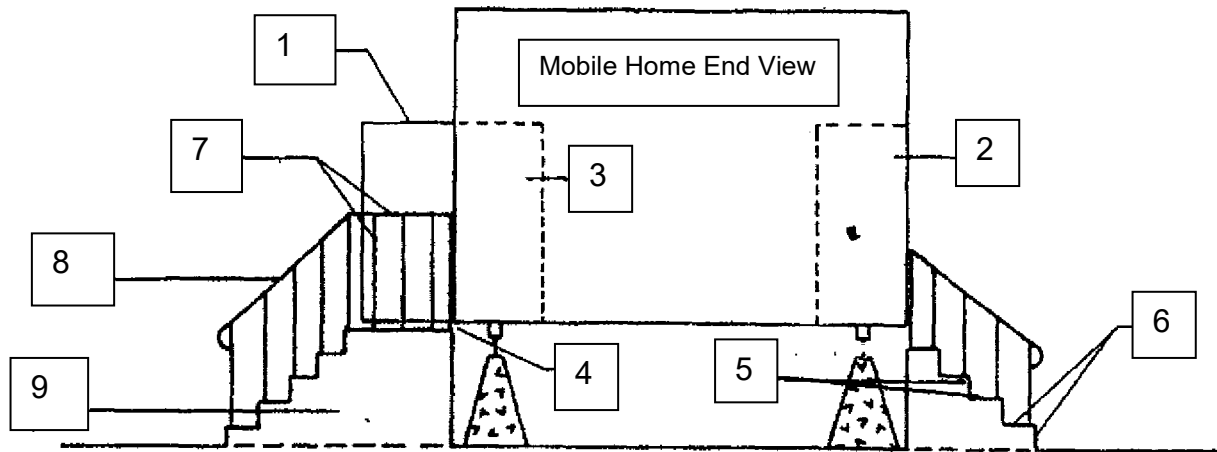
- (a) Requirements for the design and construction of all structural elements of porches and stairways and railings are contained in the California Residential Code, except as otherwise provided by this article. Live loads applicable to porch floors and stairways shall be not less than forty (40) psf. Porches shall be designed and constructed as completely freestanding, self-supporting structures. Except as otherwise provided in this article, stairways and ramps shall be a minimum of thirty-six (36) inches in width.
- (b) Where a door of the MH-unit swings outward:
 - (1) the floor of the exterior landing or porch shall be not more than one (1) inch lower than the bottom of the door; and
 - (2) the width and depth of the exterior landing or porch serving stairs perpendicular to any out swinging door opening shall comply with subsection (a) of this section and shall not be less than the full width of the door when open at least ninety (90) degrees. Guard rails shall permit the door to open at least ninety (90) degrees.

- (c) The exit stairway for a door opening on the carport side, when necessary for vehicle access, shall be not less than twenty-eight (28) inches or the full clear width of the door opening, whichever is greater, when the stairs are parallel to the MH-unit.
- (d) Where the MH-unit door swings inward or is a sliding door, the landing, porch, or top step of the stairway may not be more than seven and one-half (7½) inches below the door. The width of the landing, porch, or top step of the stairway shall comply both with subsection (a) of this section and not be less than the width of the door opening. A landing or porch is not required when the stairway has a straight run up to the door opening.
- (e) The stairway may be capable of being relocated and need not be secured to the lot.

Zoning Requirements

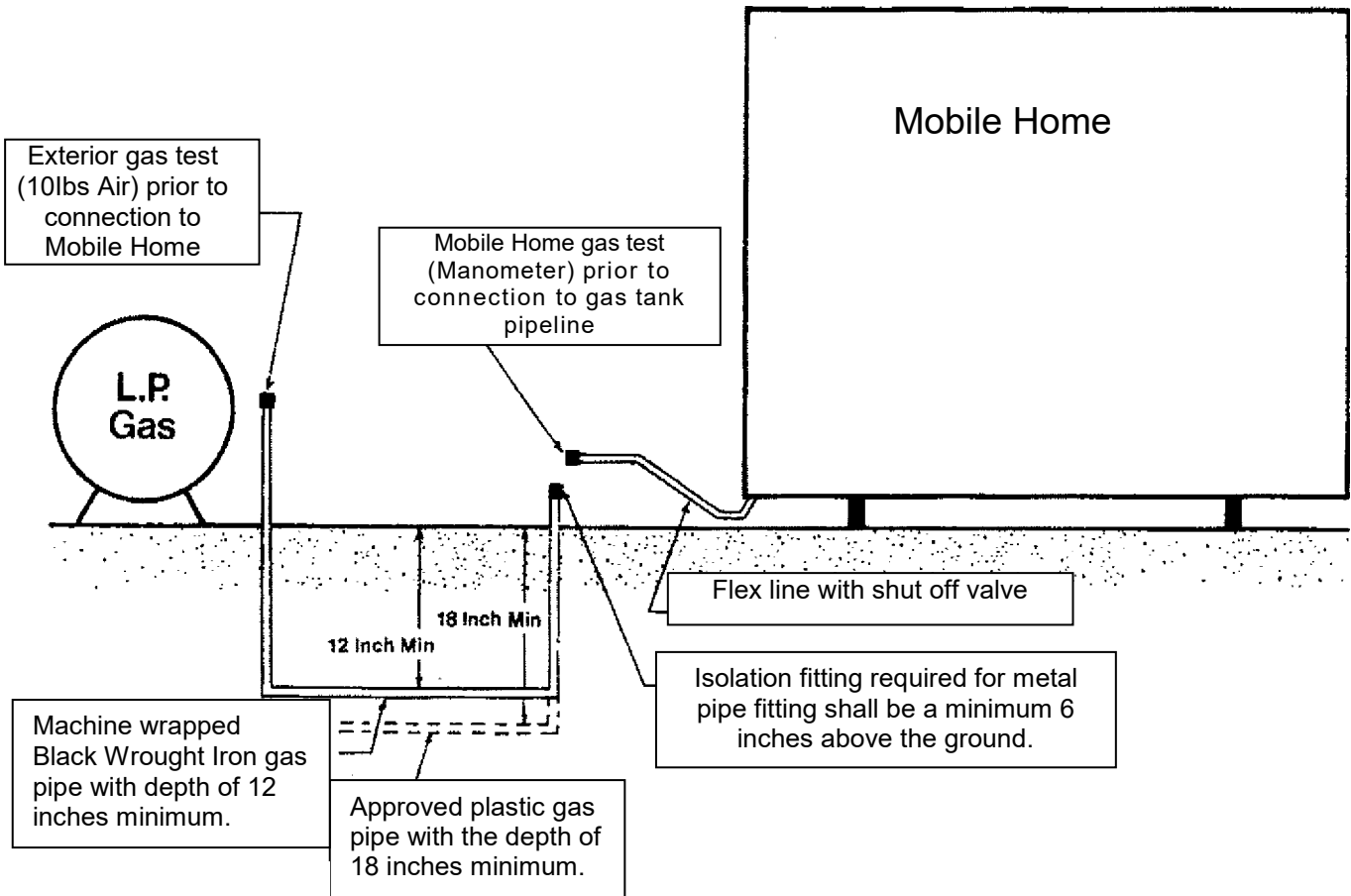
Section 20.172.015 Development Standards — Individual Mobile Homes: The following regulations shall apply to the placement of a home on a lot not within a mobile home park.

- (A) In the R-R, R-1, R-2, R-3, R-C, S-R, C-1 and C-2 Districts, mobile home shall conform to the following regulations:
 - 1. Be certified under the National Mobile Home Construction and Safety Standards Act of 1974.
 - 2. Not be altered in violation of applicable codes.
 - 3. Be occupied only as a Residential Use Type in compliance with all applicable regulations.
 - 4. Be subject to all provisions of this Division applicable to residential structures.
 - 5. Have a minimum of seven hundred twenty (720) square feet.
 - 6. Have roof and siding of non-reflective material, except that crushed rock of any kind may be used for roof surfacing. The exterior cover material shall extend to the ground, except that when a solid concrete or masonry perimeter foundation is used, the exterior covering material need not extend below the top of the foundation.
 - 7.
- (B) In the U-R, A-G, R-L, F-L and T-P Districts, homes shall conform to the following regulations:
 - 1. Not be altered in violation of applicable codes.
 - 2. Be occupied only as a Residential Use Type in compliance with all applicable regulations.
 - 3. Be subject to all provisions of this Division applicable to residential structures.
 - 4. Exterior cover material (siding) shall extend to the ground except that when a solid concrete or masonry perimeter foundation is used, the exterior cover material need not extend below the top of the foundation.
- (C) Exemptions.
 - 1. Trailer coaches permitted for (1) temporary family care units (Section 20.168.45), (2) occupancy while constructing a dwelling (and other uses permitted in Section 20.168.40) or (3) farm employee housing (Section 20.016.15) shall not be subject to the standards contained within this Chapter.



1. If an exit door swings out (in the direction of exit travel), it must open onto a landing of at least the same width and length as the door opening. Section 1498(b)
2. If door opens in, or is a sliding door, a landing is not required. Section 1498(c)
3. When a door opens in, the landing or top step may not be more than 7 1/2 " below the floor level. Section 1498(c)
4. When the door opens out, the landing may not be more than 1" below the floor level. Section 1498(b)
5. The maximum variations in the height of risers and the width of treads shall not exceed 3/8". Section 1504
6. Stairway risers shall not exceed 8" ' in height and treads shall not be less than 9" in depth. Section 1504
7. Landings and porches more than 30" above grade shall have railings not less than 36" in height above the floor and intermediate rails in open-type railings shall be spaced not more than 4" apart. Section 1502
8. Stairways having four or more risers shall have handgrips not less than 34" nor more than 38" as measured vertically from the nosing of stair treads. Section 1504
9. Stairways may be supported on piers in lieu of continuous footings. Individual load bearing footings for piers may be placed on the surface of the ground, but they shall be placed level on firm cleared soil or compact fill. Individual load bearing footings for piers shall be adequate in size to withstand tributary dead and live loads. Precast or poured in place concrete footings not less than 3 "A" in thickness may be used. Section 1334

Mobile Home L.P. Gas Hookup



<u>Container Capacity (US gallons)</u>	<u>Minimum Distance*</u>
Less than 100	5 Feet
100 to 500	10 Feet
500 to 1200	25 Feet
Over 1200	50 Feet

*Minimum Distance refers to the minimum distance the container can be placed to property lines, public right-of-ways, and buildings.

Common Question and Answers
Regarding the Installation of Mobile Homes/Manufactured Homes

- What is a Manufactured Home? A manufactured home is a complete single-family home deliverable in one of more transportable sections. A manufactured home is not the same as a recreational vehicle or a park model home trailer.
- What is a Recreational Vehicle? A recreational vehicle is a motor home, travel trailer, truck camper, park model or a camping trailer that is designed for recreational, emergency, or other occupancy.
- What is a Park Trailer? A park model trailer is designed for human habitation for recreational or seasonal use only in a RV park.
- May I install a Park Model Trailer or Recreational Vehicle on a permanent foundation or tie down system and use it as a dwelling unit? No. Even though a park model trailer or recreational vehicle may closely resemble a Manufactured Home they are not built to the same standards and cannot be used in the same manor.
- May I get a Class K permit for the installation of my manufactured home? No. A Class K permit may be used for a mobile home that is being changed to a storage unit.
- What is an Engineered Tie-Down System? An Engineered Tie-Down System will allow the manufactured home unit to resist wind loads of fifteen pounds or the design wind load of the manufactured home whichever is greater. An Engineered Tie Down system used in conjunction with a temporary foundation will allow the home to be installed on real property.
- May I install a Manufactured Home on an Engineered Tie-Down System along with a Temporary Foundation and get the HCD433A form released from the Department? No. A manufactured home needs to be set on a permanent foundation to get the HCD433A released.
- What is a Permanent Foundation system? A permanent foundation system provides for the installation of a manufactured home on a foundation system, thereby becoming a fixture and an improvement to the underlying real property. When a manufactured home is installed and the local enforcement has approved the installation, the local enforcement agency must remit documentation and fees to the HCD. The information provided with the form HCD433A provides for the removal of the Department's temporary title record established when the manufacture reported the manufacture and shipment of the home.
- Does a Manufactured Home need to be on a continuous concrete spread footing to be considered a permanent foundation? No. There are numerous foundation systems that are designed by manufacturers that allow for the installation of manufactured homes with their setups that satisfy the requirements of Title 25 section 1333, thus allowing the release of the HCD433A form.
- Does the installer need to have legal steps installed at all exits of the manufactured home? Yes, no exceptions.



Planning and Building Services
BUILDING PERMIT APPLICATION

Permit # _____

Accepted By: _____

Date: _____

(Office Use Only)

Only property owners, licensed contractors or agents with written authorization may obtain permits.

MARK ALL THAT APPLY	1. <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> AGRICULTURAL <input type="checkbox"/> INDUSTRIAL
	2. <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel/Replace <input type="checkbox"/> Demolition
	3. <input type="checkbox"/> Single Family <input type="checkbox"/> Mobile Home <input type="checkbox"/> Grading <input type="checkbox"/> Window Change <input type="checkbox"/> Reroof w/Sheathing <input type="checkbox"/> Electrical <input type="checkbox"/> Other: _____ <input type="checkbox"/> 2-4 Unit Residential <input type="checkbox"/> Manufactured <input type="checkbox"/> Fire Repair <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Photovoltaic <input type="checkbox"/> Class K <input type="checkbox"/> 5+ Unit Residential <input type="checkbox"/> Modular <input type="checkbox"/> Garage/Storage <input type="checkbox"/> Siding <input type="checkbox"/> Mechanical <input type="checkbox"/> Ag Exempt <input type="checkbox"/> Second Residence <input type="checkbox"/> Foundation Only <input type="checkbox"/> Deck/Patio Cover <input type="checkbox"/> Reroof <input type="checkbox"/> Plumbing <input type="checkbox"/> Occupancy Change

Project Address: _____ APN: _____

Driving Directions: _____

Complete scope of work: _____

Valuation: \$ _____

	Existing	Proposed	
<u>Residential</u>			<u>Grading</u> <input type="checkbox"/> YES <input type="checkbox"/> NO
<input type="checkbox"/> Living Area		sf	Cut _____ (cy) Fill _____ (cy) Slope _____
<input type="checkbox"/> Garage/Storage		sf	Area of disturbance _____ (sf)
<input type="checkbox"/> Deck		sf	<u>Utilities</u>
<input type="checkbox"/> Porch		sf	<input type="checkbox"/> Well <input type="checkbox"/> Septic <input type="checkbox"/> Public: _____
<input type="checkbox"/> Carport		sf	<u>Will you or your contractor perform any of the following?</u>
<input type="checkbox"/> Remodel		sf	<input type="checkbox"/> Construct/upgrade a fence?
<input type="checkbox"/> Other: _____		sf	<input type="checkbox"/> Construct/upgrade driveway?
<u>Commercial/Industrial</u>			<input type="checkbox"/> Construct new road or upgrade an existing approach?
<input type="checkbox"/> Office		sf	<input type="checkbox"/> Install/replace culvert in roadside ditch?
<input type="checkbox"/> Medical		sf	<input type="checkbox"/> Install utilities/services in County Right-of-Way?
<input type="checkbox"/> Retail		sf	<input type="checkbox"/> Trim/remove any trees within County Right-of-Way?
<input type="checkbox"/> Restaurant		sf	<input type="checkbox"/> Will not be performing any of the above actions.
<input type="checkbox"/> Warehouse		sf	Are there any other buildings on the site? If so, please describe:
<input type="checkbox"/> Other: _____		sf	_____
<u>Agricultural</u>			_____
<input type="checkbox"/> Other: _____		sf	_____
Size of Structure: _____ sf			Are there any other adjoining properties owned? If so, list APN's:
Total # of Bedrooms: _____ Existing _____ Proposed			_____
If Mobile Home, Year: _____ Make: _____			_____
Model: _____ Serial #: _____			_____

Applicant Information: Please check the appropriate box for the primary contact

- PROPERTY OWNER AGENT CONTRACTOR
- OWNER/BUILDER? *Proof of Ownership will be required

Property Owner Name: _____ Phone: _____ Email: _____

Address: _____

Agent Name: _____ Phone: _____ Email: _____

Address: _____

Contractor Name: _____ Phone: _____ Email: _____

Address: _____ License # & Class: _____

Waste Management-Recycling Plan

- Yes -I understand that a Construction Waste Management Plan is required for all construction permits of 1,000 sf or more and all demolition permits. 50% diversion of your waste may be required.

LICENSED CONTRACTOR DECLARATION: I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date: _____ Contractor Signature: _____

OWNER/BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of OR () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Date: _____ Owner Signature: _____

WORKER S' COMPENSATION DECLARATION: *Please read carefully and check the applicable statement below:*

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy No _____ Expiration Date _____
Name of Agent _____ Phone Number _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy Number _____

CONSTRUCTION LENDING AGENCY:

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code). N/A

Lender's Name _____

Lender's Address _____

By my signature below, I certify to the following: I am () a California licensed contractor or () the property owner* or () authorized to act on the property owner's behalf**. I have read this construction permit application and the information I have provided is correct. I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

TIME LIMITATIONS OF APPLICATION: *An application for a permit for any proposed work shall be deemed to have been abandoned 1 year after the date of filing, unless a permit has been issued. The destruction of documents may occur 180 days after application expiration date.*

Date: _____ SIGNATURE OF APPLICANT: _____

* Requires Separate Owner Verification

**Requires Separate Agent Authorization Form



County of Mendocino
Department of Planning and Building Services

860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
120 WEST FIR STREET · FORT BRAGG · CALIFORNIA · 95437

JULIA KROG, DIRECTOR
PHONE: 707-234-6650
FAX: 707-463-5709
FB PHONE: 707-964-5379
FB FAX: 707-961-2427
pbs@mendocinocounty.org
www.mendocinocounty.org/pbs

AGENT/APPLICANT AUTHORIZATION

I, _____, authorize the following Agent/Applicant to represent this project. The Authorized Agent/Applicant has my permission to make decisions regarding the processing of this application. If at any time I wish to remove/replace this authorization, I understand that I shall notify the Planning and Building Department in writing as to my decision.

Site Address: _____

Scope (description) of work: _____

Authorized Agent/Applicant

Name (Please Print): _____

Mailing Address: _____

City/State/Zip: _____

Phone Number: _____

E-Mail: _____

I declare under penalty of perjury that I am the property owner for the address listed above and I personally completed the above information and certify its accuracy.

Owner Signature: _____

Date: _____

TO BE FILLED OUT BY PLANNING AND BUILDING STAFF

APPLICATION NUMBER: _____

ACCEPTED BY: _____



COUNTY OF MENDOCINO

DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482

120 WEST FIR STREET • FORT BRAGG • CALIFORNIA • 95437

JULIA KROG, DIRECTOR

PHONE: 707-234-6650

FAX: 707-463-5709

FB PHONE: 707-964-5379

FB FAX: 707-961-2427

pbs@mendocinocounty.gov

www.mendocinocounty.org/pbs

Plot Plan Requirements

Your application for a building permit must include 3 copies of an 8½" x 11" Plot Plan. (Larger paper size (up to 11x17) may be accepted upon approval). The information shown on the plot plan should be legible, drawn to scale if possible and must show the following:

1. Property Owner's Name, Job Address, and Assessor's Parcel Number(s).
2. Legal Parcel Configuration clearly shown with all property boundaries, dimensions and acreage (must include all Assessors' Parcel Numbers).
3. Adjacent streets both public and private and any access easements.
4. Distance from centerline of any public/private roadway to property line.
5. North Arrow and scale if applicable.
6. Proposed structure or addition including distance from property lines and other structures (i.e. Proposed Single Family Residence, Proposed Garage etc...)
7. All Existing structures clearly labeled and distances from property lines (i.e. Existing Garage, Existing Barn etc...)
8. Driveways, Parking and Loading areas. Parking space size and setbacks from property lines must be shown for all commercial/industrial parking.
9. Existing and proposed septic systems/leach fields and wells, including distances from structures.
10. Easements and Utility lines (power, sewer, water, access etc...)
11. Fences, retaining walls.
12. Lakes, ponds or streams to be identified with names if appropriate. Setbacks from watercourse to proposed project.
13. Location of Floodplain/Floodway.
14. Location of any Signs and distances to property lines for commercial/industrial uses.

Plot Plans, which may not be acceptable:

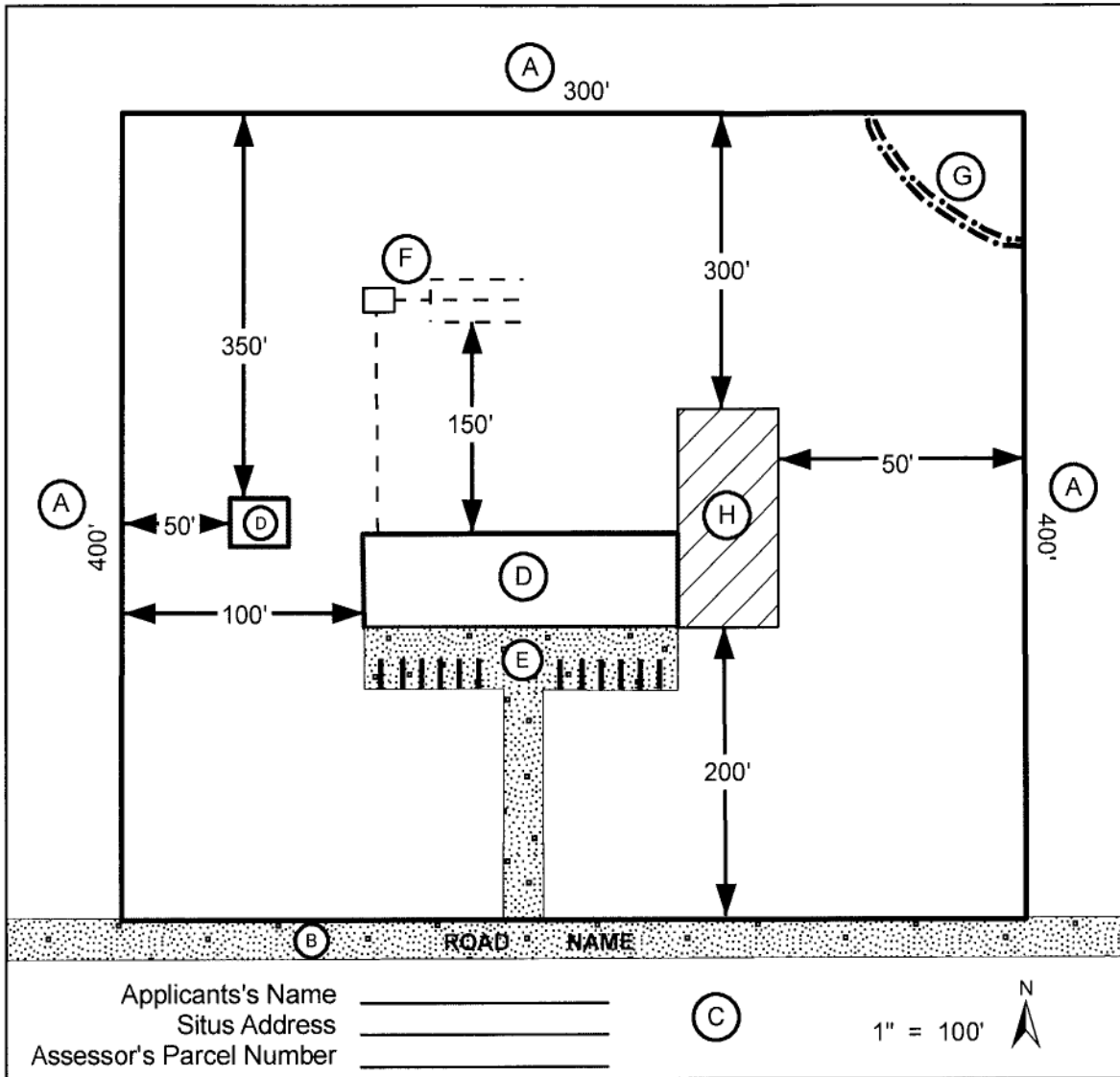
- a. Copies from the CDF application
- b. Portions of larger scaled plot plans
- c. Copies of plot plans used for previously approved building permits (plans which may include whited out areas, previous approval signatures, and illegible notations).

Failure to include any of the required information may result in the rejection of your application, in the delay of processing your building permit application or invalidate your approved building permit.

You may wish to use the Plot Plan Form supplied with your building permit application for your convenience.

See other Side for Sample Plot Plan

SAMPLE PLOT PLAN



- A. Parcel Shape and Dimensions.
- B. Adjacent Streets.
- C. North Arrow and Scale.
- D. Existing Buildings including distance from property lines.
- E. Driveways, Parking and Loading Areas.
- F. Existing and proposed septic system and wells including distances from structures.
- G. Easements and Utility Lines (power, sewer, water, etc.).
- H. Proposed structure or addition including distance from property lines.

PLOT PLAN



COUNTY
OF
Mendocino

APPLICATION# _____

JOB ADDRESS: _____ CITY OR TOWN: _____

ASSESSOR'S PARCEL #: _____ PROPERTY OWNER'S NAME: _____

SHOW ALL BUILDINGS, STRUCTURES, SEPTIC TANKS AND LEACH FIELDS, WELLS, STREAMS, LAKES, ROADS, STREETS, ALLEYS, RETAINING WALLS, FENCES, EASEMENTS, POWER POLES, AND ANY OTHER IMPROVEMENTS AND INDICATE ALL DISTANCES BETWEEN. SPECIFY WHETHER EXISTING OR PROPOSED. INDICATE ORIENTATION WITH A NORTH ARROW.



For Office Use Only:

Application Number: _____ Received By: _____ Date: _____

Application for Agricultural Exemption

Project Street Address:		<p>Under the provisions of Section 18.12.010 of the Mendocino County Code, the undersigned does hereby make application for an exemption of the following described agricultural building. I (We) certify that the building meets the specific standards and limitations listed below:</p> <ol style="list-style-type: none"> 1. Ag Exempt structures are limited to one (1) story above grade and are designed and constructed primarily for use in housing livestock, poultry, hay or grain and is located on a parcel of land that is currently zoned or primarily used for agriculture and/or growing and drying of plants. 2. Ag Exempt structures shall not have employees or customers present, and is not a place of public accommodation. Therefore, current accessibility regulations will not be required. Bathrooms, display of products, packaging, sales, work stations, or processing of products shall not be allowed within this permit. 3. Ag Exempt structures shall not be located on a parcel of land less than one acre in size. 4. Ag Exempt structures shall not be located closer than 50 feet to a property line or 50 feet to any structure that is not a Group "U" (Utility) structure. 5. Ag Exempt structures shall not be used as a winery, sawmill, dairy, trimming, processing, or firewood storage area. 6. Cargo or Shipping containers shall not exceed 320 square feet per container. A maximum of 2 containers will be allowed on a parcel 1-5 acres, and a maximum of 3 containers will be allowed on a parcel 5-10 acres. Cargo containers must be painted "Earth Tone Colors" to match the surroundings, and a permanent placard attached to the doors shall state "DOORS SHALL REMAIN UNLOCKED WHILE CONTAINER IS OCCUPIED" 7. Ag Exempt structures shall not be an addition to any structure other than a previously permitted Agricultural Exempt structure. 8. Each hoop house shall not exceed the following size limitations: 12 feet maximum height, 20 feet maximum width, and a maximum of 1,000 square feet total footprint. 9. The total combined square foot area of hoop houses and greenhouses are as follows: Parcels that are a minimum of 1 acre and less than 5 acres: 4,000 square feet maximum. A minimum of 5 acres and less than 10 acres: 8,000 square feet maximum. 10 acres and larger: 14,000 square feet maximum. 10. A hoop house shall not have any plumbing or electrical utilities connected to the structure. A greenhouse must have a CA licensed Engineer's approval for the attachment of utilities connected to the structure, although a CA licensed Electrical Contractor may approve the electrical equipment within and attached to the greenhouse structure. 11. A hoop house shall have framing members of schedule 40 (minimum) PVC or metal piping with a covering of a 6 mil minimum industrial or industry approved material. 12. Structures other than a hoop house or greenhouse on 1-10 acre parcels are limited to 600 square feet and 15 feet in height. 13. Structures other than a hoop house or greenhouse on parcels larger than 10 acres have no maximum square feet restrictions, but the height is limited to 25 feet. 14. Ag Exempt structures over 1,000 square feet in area that do not meet the conventional construction requirements of the California Building Code must be designed by a CA licensed Architect or Engineer. 15. The ground floor must be on a relatively level grade (maximum 20% slope) Floor materials may be concrete, asphalt, dirt or wood. Any wood material that is in contact with concrete or exposed ground, or wood joists closer than 18 inches, wood girders closer than 12 inches to the exposed ground must be naturally durable wood or wood that is preservative-treated. 16. Electrical and plumbing installations must be included on the plans, and inspections will be required prior to covering. Electrical installations are limited to 100 amp services (total amperage allowed to each structure will be based on a submitted electrical load calculation). Plumbing is limited to exterior hose bibs and a clean-up sink. Mechanical installations are prohibited. 17. Exiting from Agricultural Exempt structures shall be required as per the current California Building Code. Exception: Cargo containers 18. All Agricultural Exempt structures shall be subject to review by CalFire and/or the local Fire Authority. Applicant is responsible for obtaining Fire department approval prior to submitting an application and plans to the Planning and Building department. 19. Construction of the Agricultural Exempt structure must be completed and a final inspection made within one year from the date of obtaining the permit from Mendocino County Planning and Building.
City/State/Zip:		
Owners Name:		
Mailing Address:		
City/State/Zip:	Phone Number:	
Applicants Name(If Different Than Owner):		
Mailing Address:		
City/State/Zip:	Phone Number:	
Property Size:		
Size of Building:		
I (we) Are Engaged in the Following Agricultural Endeavor:		

I certify the above to be true and accurate and that I will allow the Mendocino County Building Inspector to conduct a site inspection of the agricultural exempt building to ascertain compliance with minimum setback and agricultural use requirements.

Owners Signature: _____ Date: _____ revised: _____



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DEPARTMENT OF PLANNING AND BUILDING SERVICES

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IGNACIO GONZALEZ, INTERIM DIRECTOR
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pbs@mendocinocounty.org
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Building Policy #3

Subject: Pre-manufactured Metal Shipping and Cargo Containers, Cargo Containers and Railroad Box Cars Used For Residential Storage Buildings.

Definitions:

Shipping and/or Cargo Container: A container used by the transportation industry to store and deliver goods on an ocean going vessel or on a railroad car.

Railroad Box Car: A four sided railroad car used by the railroad to store and deliver goods by train.

Submittal Requirements:


1. A building permit application declaring the use of the building as residential storage.
2. Three sets of plans showing the size (footprint) of the building and the door location.
3. Three copies of an 8 ½" x 11" plot plan showing the location of the building.
4. The building must meet setbacks to property lines per Chapter 20 of the Mendocino County Zoning Code.
5. A permanent placard attached to the doors of the container shall state " DOORS SHALL REMAIN UNLOCKED WHILE CONTAINER IS OCCUPIED"
6. Buildings may not be stacked or be more than one story in height.
7. Building may not be modified or altered and no additions added to other than the door hardware.
8. Electrical, mechanical or plumbing installations are prohibited.
9. Buildings are restricted to 400 Square feet in size, or less.
10. Buildings may rest on their bellies (bottom) without a permanent foundation.
11. Non-residential, alterations, additions or other uses of a shipping container, cargo container or railroad box car will require plans designed by a California Licensed Engineer or Architect addressing unconventional construction requirements in the California Building Codes.
12. Maximum of two containers allowed on any parcel one to five acres in size. Maximum of five containers allowed on any parcel five acres or larger.

This policy is derived from Section 104 of the California Building Code which authorizes the Building Official to render interpretations of the code and adopt policies and procedures to clarify the application of its provisions.

Mendocino County Planning and Building Services - Building Inspection Division

Adopted: June 11, 1996

Revised: December 20, 2017


Ignacio Gonzalez, Interim Director of Planning & Building



STATE OF CALIFORNIA- THE NATURAL RESOURCES AGENCY
 DEPARTMENT OF FORESTRY AND FIRE PROTECTION
 MENDOCINO UNIT
 17501 NORTH HIGHWAY 101
 WILLITS, CA 95490
 (707) 459-7414
 www.fire.ca.gov

GAVIN NEWSOM, GOVERNOR

Mendocino4290@fire.ca.gov
 MEU 4290 Rev 04/2023 Fillable

CAL FIRE MENDOCINO UNIT STATE MINIMUM FIRE SAFE REGULATIONS APPLICATION

CAL FIRE File Number (Office Use Only)	Mendocino County Planning and Building Services Department Building Permit Number Enter Building Permit Number
---	---

Building / Project Site Information	
Address: Enter Project Address	APN: Enter APN
City: Enter Project City	Zip Code: Enter Project Zip Code

Property Owner Information	
Name: Enter Property Owner's Name	
Mailing Address: Enter Mailing Address	
City: Enter City	State: Select State
Zip Code: Enter Zip Code	Phone Number: Enter Phone Number
Email: Enter Property Owner's Email Address	

Property Owner's Agent or Representative	
Name: Enter Agent's Name	
Mailing Address: Enter Mailing Address	
City: Enter City	State: Select State
Zip Code: Enter Zip Code	Phone Number: Enter Phone Number
Email: Enter Agent's Email Address	
Mail Conditions of Approval to: Choose an item.	



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Project Information		
1. Project Classification: Select Project Classification		2. Project Type: Select Project Type.
3. Square Footage: Enter Square Footage	4. Will Hazardous Materials be stored on site? Select Yes/No	
5. Briefly describe the structure(s) to be built: Enter Structure Description		
6. Was this parcel formed prior to January 1 st , 1991?		Select Yes/No
7. Is there a working fire hydrant within ½ mile of the project parcel?		Select Yes/No
8. Is the parcel within a Fire Protection District?		Select Yes/No
9. Is the parcel within a 5-mile driving distance of a staffed, year-round fire station?		Select Yes/No
10. Is the parcel 1 acre or greater in size?		Select Yes/No
11. Will the proposed structure(s) have 30' setbacks from the property boundaries? If not, you will need to request an exception.		Select Yes/No
12. Will your project require a new road, or an extension of an existing road?		Select Yes/No
13. If yes, please answer the following questions:	How Many Feet? Enter Road Length	Road Grade: Select Road Grade
	Surface: Choose Surface Type	
14. Will your project require a new driveway, or an extension of an existing driveway?		Select Yes/No
15. If yes, please answer the following questions:	How Many Feet? Enter Driveway Length	Road Grade %: Select Road Grade
	Surface: Choose Surface Type	



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Project Information (Continued)	
16. Is there an existing bridge on the parcel that provides access to the project site?	Select Yes/No
17. Will a bridge be installed or constructed to provide access to the project site?	Select Yes/No
18. Is a plot plan attached as required?	Select Yes/No
Subdivision Information (Only Required for Subdivision Projects)	
19. Current acreage before split? Enter Pre-Split Acreage	20. Number of newly created parcels: Enter Number of Newly Created Parcels
21. Acreage of newly created parcel(s): Enter Parcel Sizes	
Timber and Land Conversion Activities	
22. Will trees be cut, and timber products be sold, bartered, traded, or exchanged?	Select Yes/No
23. Will timberland be converted to non-timber use?	Select Yes/No
If yes, a harvest permit may be required from the CAL FIRE Resource Management office. For questions regarding Timber or Land Conversions, call (707) 459-7440.	
Exception Request	
24. Will your project require an exception to ANY State Fire Safe Regulation?	Select Yes/No
If YES, attach a separate page identifying the applicable section pertinent to your request, facts supporting the request, as well as details of the exception or mitigation measures proposed, and a map showing the proposed location of the exception or mitigation measure.	
<i>I hereby agree to maintain the property in compliance with the Fire Safe Regulations established in the Public Resources Code Section 4290. The information submitted in this application is complete and accurate to the best of my knowledge.</i>	
Signature of Property Owner or Authorize Agent:	
Date: Click or tap to enter a date.	Print Name: Type Authorizer's Name



STATE OF CALIFORNIA- THE NATURAL RESOURCES AGENCY
DEPARTMENT OF FORESTRY AND FIRE PROTECTION
MENDOCINO UNIT
17501 NORTH HIGHWAY 101
WILLITS, CA 95490
(707) 459-7414
www.fire.ca.gov

GAVIN NEWSOM, GOVERNOR

Mendocino4290@fire.ca.gov
MEU 4290 Rev 04/2023 Fillable

STATE MINIMUM FIRE SAFE REGULATIONS APPLICATION INSTRUCTIONS

1. Type or print neatly in INK.
2. Answer ALL questions, be as thorough as possible in the space provided.
3. Submit a plot plan on 8 ½ X 11 paper ONLY. Multiple sheets are ok. Failure to submit an incomplete plot plan or on the correct size paper will result in your application package being returned.
4. Plot plan must show the following elements:
 - a) All existing and proposed roads and/or driveways.
 - b) All turnouts and turnarounds on driveways and/or roads.
 - c) Road and/or driveway widths, lengths, and maximum steepness (in % grade).
 - d) Any bridges or gates on the subject parcel that provide access to project.
 - e) Setbacks of all buildings from property lines.
 - f) Water system that supplies hydrants or valves on subject parcel.
 - g) Location of buildings on the subject parcel (existing and proposed).
5. Subdivisions and parcel splits must include tentative parcel map(s).
6. Do not submit architectural drawings of any building. If architectural drawings are needed the Mendocino Unit Fire Prevention Bureau will request them from you.
7. If your project does not meet the setback standard an exception letter is required.
8. If you are requesting an exception to any of the regulations, you must submit your request with this application package. Requests for exception, from a specified requirement, shall be submitted by the applicant in writing. The request must list the applicable code section, the material facts supporting the exception request, listing the proposed mitigation measure(s) and provide a map of the requested change.
9. Make sure you or your authorized agent have signed the application.
10. The application shall be printed single sided and should only be **3** total pages, including these instructions. If there are formatting issues, please obtain a clean copy of this document prior to submission.
11. Your application may be mailed, or hand delivered during normal business hours, excluding holidays, from 8am-5pm M-F.

**CAL FIRE- Mendocino Unit
Fire Safe Regulations
17501 N. Hwy 101
Willits, Ca. 95490**

Once received your application will be reviewed, and if approved a CONDITIONS of APPROVAL will be mailed to the address indicated or held for pick up at CAL FIRE Howard Forest Headquarters. If there are questions or more information required to assess your project, the Fire Prevention Bureau will contact you. Please allow up to two weeks for processing your application.

WILDFIRE IS COMING. ARE YOU READY?



Defensible Space is your property's front line defense against wildfire. Creating and maintaining defensible space around your home can dramatically increase your home's chance of surviving a wildfire and improves the safety of firefighters defending your property. 100 feet of defensible space is required by law.*



ONE LESS SPARK
ONE LESS WILDFIRE

*For more information on creating defensible space and legal requirements visit READYFORWILDFIRE.ORG

TWO ZONES MAKE UP THE REQUIRED 100 FEET OF DEFENSIBLE SPACE:

ZONE 1: 30 feet of Lean, Clean & Green

- 1 Remove all dead plants, grass and woods.
- 2 Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- 3 Keep tree branches 10 feet away from your chimney and other trees.

ZONE 2: 30-100 feet of Reduced Fuel

- 4 Cut or mow annual grass down to a maximum height of 4 inches.
- 5 Create horizontal spacing between shrubs and trees.
- 6 Create vertical spacing between grass, shrubs and trees.

Use Equipment Properly to Keep from Sparking a Wildfire

- 7 Mow before 10 a.m., and never on a hot or windy day. String trimmers are a safer option (vs. lawnmowers) for clearing vegetation.



VERTICAL SPACING

Large trees do not have to be cut and removed as long as all of the plants beneath them are removed. This eliminates a vertical "fire ladder."



HORIZONTAL SPACING

Create horizontal and vertical spacing between plants, the amount of spacing will depend on how steep the slope is and the size of the plants.



CLASS K PLAN CHECKLIST

The following list of items is meant to provide aide when preparing or revising Class K plans. Some of these items may not be applicable to all situations, or may have already been shown on plans that were submitted; but they are the types of things the Department typically look for on Class K plans.

1. Provide the owner's name and the complete site address on the front sheet of the plans.
2. Please provide plans that are not on grid paper. We only will accept plot plans on grid paper.
3. Cal Fire approval will be required.
4. Please provide 2 complete sets of plans. A complete set of plans consists of a plot plan, a floor plan, an electrical plan (on the floor plan or separate), a foundation plan and foundation details, floor framing (except where the floor is a slab) roof framing, ceiling framing, wall framing, two minimum elevation drawings, and construction details. The construction of any decks, covered decks/porches should be included as well.
5. The plans should also show any roof sheathing materials and the roofing type, wall sheathing materials and/or the siding type, sub-floor materials, and any interior wall and ceiling materials like sheet rock, T & G pine, etc.
6. We need enough dimensions on the plans so that we can calculate the areas of all conditioned and unconditioned areas from the outside of exterior walls. We should also be able to calculate the area of any decks porches, arbors etc.
7. Provide one floor plan for each level. Please be sure all of the rooms and spaces on the floor plans are labeled for their use(s).
8. Show the sizes of all lumber and other applicable materials on the plans, especially any beams or headers with long spans.
9. If the structure and/or its decks and porches have stairs, a typical stair construction detail should be shown on the plans.
10. Each stairway should have a handrail for the stairs, placed not less than 34" and not more than 38" above landings and the nosing of stair treads. One handrail minimum is required that runs the full length of the stairs. The handgrip portion of the handrail shall not be less than 1 ¼" or more than 2" in cross sectional dimension or the shape shall provide an equivalent gripping surface.
11. Guards shall protect the open sides of stairs when they are more than 30" above grade or the floor below. A 4" sphere cannot pass through the stair guards. The triangular openings formed by the riser, stair tread and bottom element of a guard at the open side of a stairway may be of such size that a sphere 6 inches in diameter cannot pass through. At stairways the height of the guard(s) shall be 34" to 38" above the nosing of the stair treads.

12. Guardrails shall protect unenclosed stair openings and floor openings. A 4" sphere cannot pass through the guardrail. The minimum height of the guardrail is 42" for Class K permits.
13. A guard (guardrail) shall protect the edges of landings, balconies or porches when they are more than 30" above grade or the floor below. A 4" sphere cannot pass through any required guard. Any required guard shall be 42" minimum in height.
14. If applicable, show any attic access and/or any under floor access.
15. If applicable, show any attic ventilation and/or under floor ventilation.
16. Provide window sizes, and types on the plans, i.e. 4/0 3/0 slider, 2/6 4/6 double hung etc. We need this information to verify the ventilation requirements and the bedroom egress requirements of section 1026, and to verify/check the fenestration areas in the Title 24 energy report.
17. Each bedroom/sleeping area must have a window or door that meets egress requirements. It must open directly to the outside, providing egress without passing through another room. It must have a minimum openable area of 5.7 square feet with a 44" maximum sill height. The openable area can be reduced to 5.0 sq. ft. at ground level windows. It must require no special knowledge to open. The openable area can be 20" wide minimum and 24" high minimum. (Please note that 24" x 20" does comply with the required openable area.)
18. Windows within a 24" arc of either edge of door in the closed position and within 60" of the floor need to be tempered.
19. Windows that meet **all** of the 4 following conditions are required to be tempered: 1) The exposed area of an individual pane is greater than 9 square feet. 2) The exposed bottom edge is less than 18" above the floor. 3) The exposed top edge is greater than 36" above the floor. 4) One (or more) walking surface is within 36" horizontally of the plane of the window.
20. Glazing in walls adjoining a stairway or stairway landing, or within 5 feet of the bottom of a stairway where the bottom edge of the glass is less than 60" above the nosing of the stair treads or walking surface needs to be tempered.
21. Any window immediately adjoining or in a shower or the area of a bathtub shall be tempered if the window is less than 60" above the drain inlet of the shower or tub.
22. Show the locations and types of all plumbing fixtures and the water heater(s) on the floor plans, including any hose bibs. Hose bibs should have permanent anti-siphon devices.
23. Per Mendocino County Code, provide a minimum of one hose bib with a permanent anti-siphon device at the exterior of the building.
24. Provide the water heater secured by straps to resist seismic forces, one strap within the upper third and one strap within the lower third of the water heater.
25. Water heaters or other gas fire appliances in a confined space, which depend on the combustion of fuel for heat, require combustion air. A confined space is less than 50 cubic feet per 1000 BTU. The minimum would be two openings of 100 square inches each within 12 inches of the top and the bottom of the water heater. The openings shall not be less than 3" in the least dimension. "Direct Vent" appliances that supply their own combustion air are exempt from this requirement.
26. Show the locations of all appliances on the plans, kitchen appliances, clothes washers, clothes dryers etc.

27. Show the location and types of any heating appliances on the plans, wood stoves, wall heaters, HVAC units, FAU's, etc.
28. If you have a fireplace: As of May 5, 2007 Mendocino County Air Quality Management District requires all open face fireplaces to have an EPA approved air tight fire place insert installed in the fireplace but recently they have become aware that some EPA approved products do not meet their air quality standards, so we are now requiring that plans specify not only that the fireplace insert is EPA approved, but that it meets the Clean Air Act standard and that the fireplace insert is NSPS certified. Please show on the plans that your fireplace will comply. Pre-manufactured fireplaces with glass doors, wood stoves, or any other wood burning appliance also have to be EPA approved and meet the Clean Air Act standard by being NSPS certified, if you decide to change to another wood burning appliance.
29. As of May 5, 2007 Mendocino County Air Quality Management District requires all wood stoves be EPA approved, but recently they have become aware that some EPA approved products do not meet their air quality standards, so we are now requiring that plans specify not only that the wood stove is EPA approved, but that it meets the Clean Air Act standard and that the wood stove is NSPS certified. Please show on the plans that your wood stove meets these requirements.
30. Please specify a spark arrestor on the top of any chimney.
31. Please specify a minimum of 2 ft. of chimney height above any part of the building within a 10 ft. horizontal distance from any chimney.
32. Any useable space under any interior stairway shall be sheet rocked with ½" minimum sheet rock.
33. Provide all appliances in any garage 18" above the floor.
34. Provide any wall(s) between the garage and the house covered with ½" minimum gypsum board on the garage side up to the roof sheathing.
35. Provide any ceiling between the garage and living space above covered with 5/8" type X sheet rock minimum on the garage side of the floor ceiling assembly.
36. Any door between garage and dwelling shall be a self-closing and self-latching door, and a 1 3/8" minimum thick solid wood door, or a 1 3/8" minimum thick solid or honeycomb steel door, or a 20-minute fire rated door.
37. Provide all electrical wiring in the garage protected from physical damage up to 8 feet above the floor in the garage where the electrical is not enclosed in the walls.
38. Provide an electrical plan for each level. This can be on the floor plan(s) or a separate plan. Show the location of all electrical receptacles (plugs). Show the location and types of all light fixtures, and show how and what controls them; for examples a switch, a dimmer or a manual-on occupant sensor with a dotted line to the light(s) it controls.
39. Show the location of the main electrical service and/or any sub-panel(s).
40. All exterior receptacles must be GFI protected and be weatherproof.
41. All receptacles in bathrooms, at kitchen counters, in a garage, in a basement, or within 6 ft. of a sink at other locations must be GFI protected.

42. Please show any exhaust fans or exhaust hoods on the plans.
43. Show the location of all smoke detectors on the plans. A smoke detector is required in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. One minimum smoke detector is also required at each floor level.

Other life, fire and safety issues could come up when we review your plans, so this list should not be considered conclusive for complete Class K compliance



RESIDENTIAL PLAN SUBMITTAL REQUIREMENTS AND EXAMPLE PLANS

Submit:

- One (1) properly completed permit application.
- Three (3) sets of building plans.

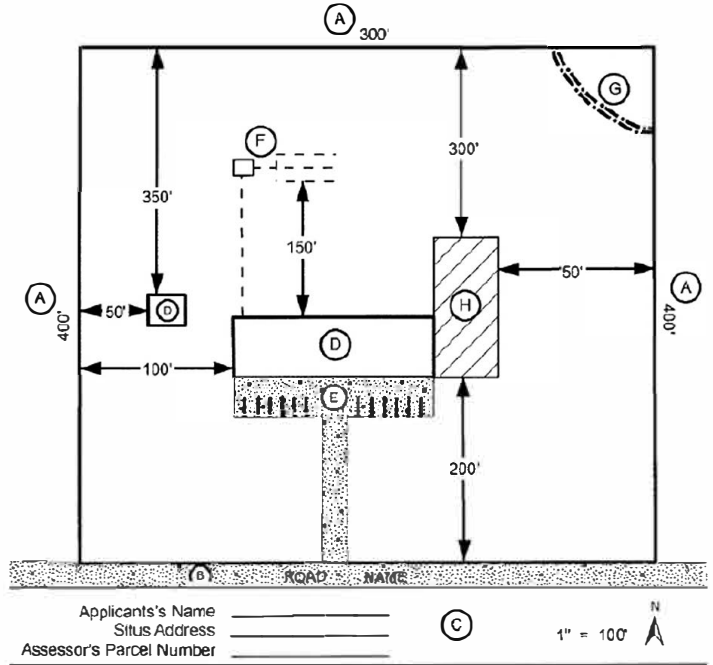
Plot Plan Information:

- Parcel shape and dimensions.
- Adjacent streets/roads.
- Location and uses of existing building(s) and proposed addition
- Distances from proposed addition to existing buildings and property lines.
- North arrow and Scale.
- Location of all underground or overhead utilities and size of sewer, and easements.
- Project data table showing new & existing use, occupancy, area, stories, height, sprinklers, etc.
- Provide a note on site plan: ***"The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system."***
- Existing and proposed septic system and wells including distances from structures.

General Requirements

- Be sure that your proposed project is permitted by the following agencies: Planning (707) 234-6650; Environmental Health Department (707) 234-6625; and your local fire district.

Example Plot Plan

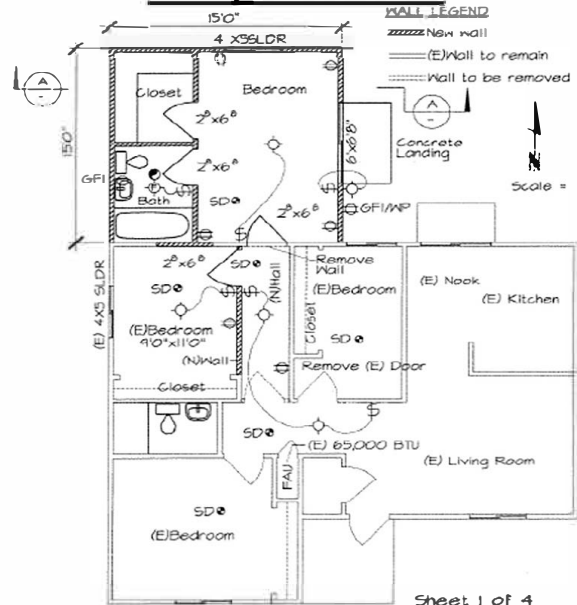


NOTE: Refer to the County of Mendocino Plot Plan Requirements for additional information.

Floor Plan Information:

- Dimensions of new exterior walls, and new interior partitions.
- Complete floor plan of existing
- Dimensions of existing adjoining room and window sizes
- Locations and sizes of new windows, doors, stairways and plumbing fixtures
- Use of all rooms.
- Show all new and existing smoke/carbon monoxide detectors. Refer to the County's C.O. and Smoke Detector Handout for additional information.
- Show all new electrical outlets, lights, switches, F.A.U., wall heaters, fire places, etc...
- Exterior door landings (dimensioned)

Example Floor Plan



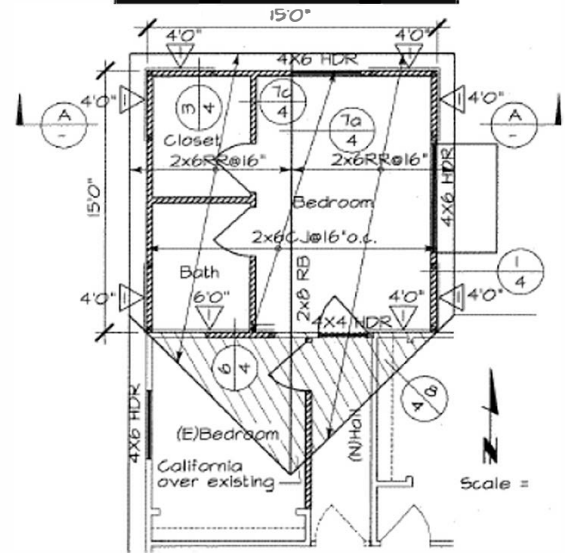


RESIDENTIAL PLAN SUBMITTAL REQUIREMENTS AND EXAMPLE PLANS

Framing Plan Information:

- o Types of material, location, sizes, spans, & spacing of all new structural members (ridge, sheathing, roof and ceiling joist, post, etc...)
- o Structural connections between addition and adjoining rooms.
- o Brace wall locations, lengths & brace wall schedule.
- o Continuous boundary element, blocking, strapping, etc...

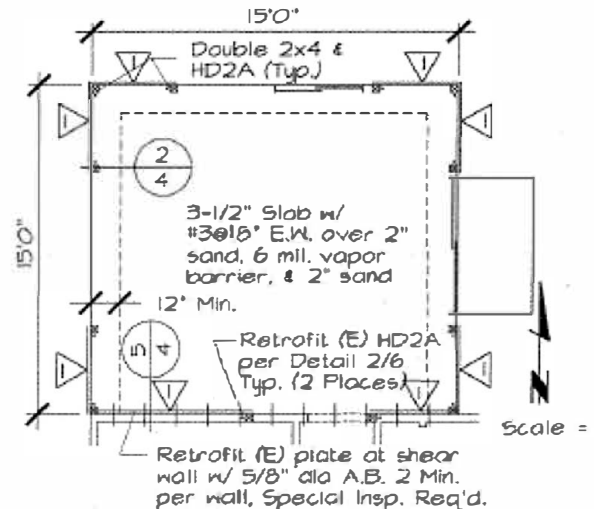
Example Framing Plan



Foundation Plan Information:

- o Slab thickness, reinforcing, and underlayment
- o Dimensions and width of continuous footing.
- o location of new piers and crawl space opening
- o Sizes, spans & spacing of joist, girders, and size of sheathing (for raised floor only).
- o Connection of existing to new foundation.
- o Location of any embeds including post bases, hold downs, anchor bolts.

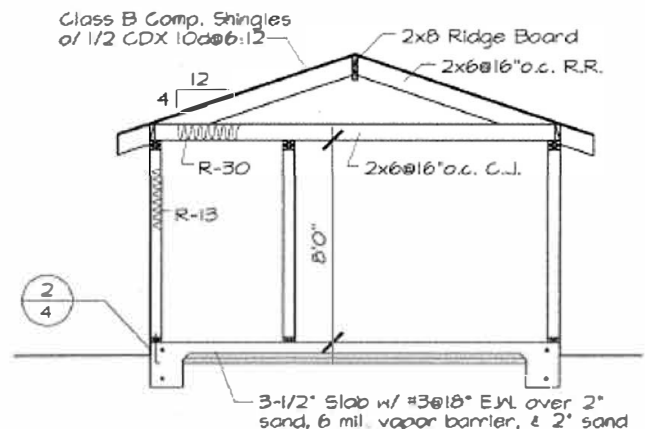
Example Foundation Plan



Building Section Information:

- o Ceiling height of addition.
- o Insulation materials for wall, floor, & attic interior and exterior finish.
- o Sizes, spans, & spacing of new structural members for roof/ceiling, floor/wall & foundation assemblies.

Example Building Section

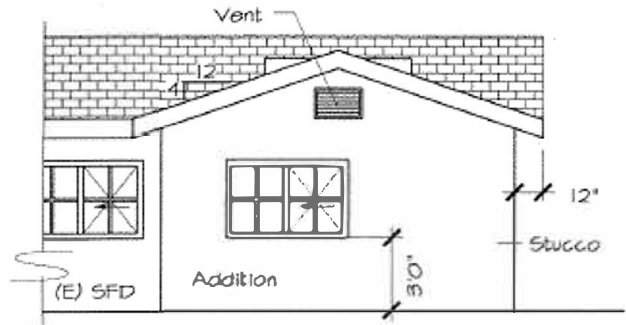


FRAMING SECTION A-A

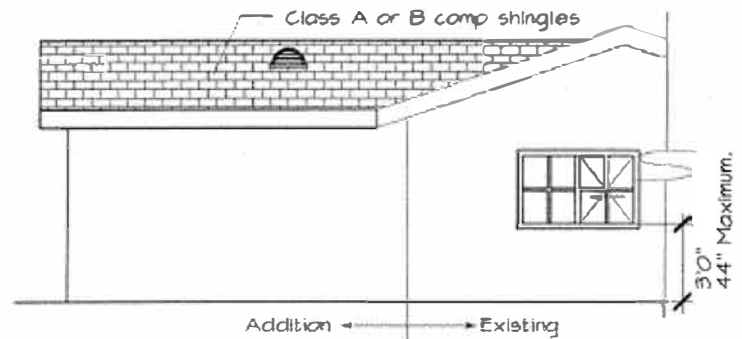


RESIDENTIAL PLAN SUBMITTAL REQUIREMENTS AND EXAMPLE PLANS

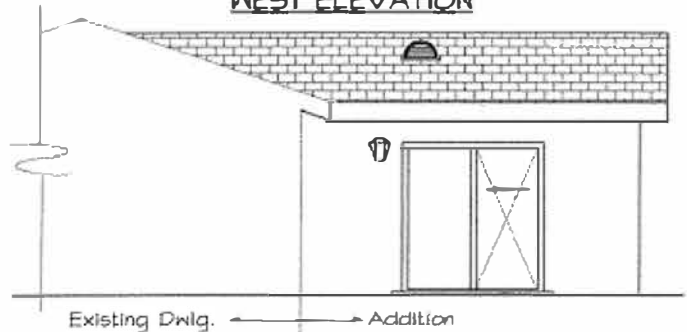
Example Elevations



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Elevations Information:

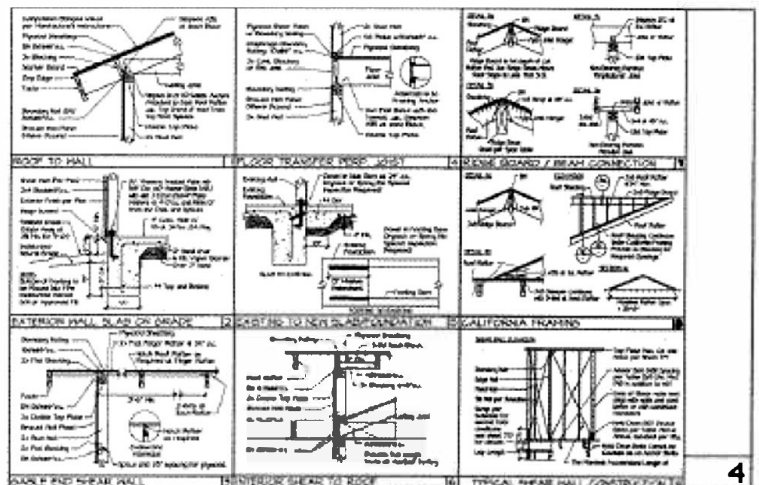
- o Exterior views of addition.
- o Roofing material and pitch.
- o Location of new windows, doors and attic ventilation opening.
- o Exterior finish materials.
- o Weep screed (stucco applications).
- o Egress windows (bedroom) requirements
- o Tempered glass requirements

Construction Details Information:

- o Details showing connection of new to existing
- o Foundation construction, anchor bolt (type/sizes), reinforcement (size/types) etc...
- o Typical shear wall and shear transfer details, foundation, top plate, floor, roof, new to existing, interior shear wall, shear wall to roof sheathing
- o Special detail such as stair framing, deck construction, ridge beam, post connections, hold down anchors, weep screed etc...

o Best Management Practice details. Refer to the County's website for additional information:
<http://www.co.mendocino.ca.us/planning/stormwater.htm>

Example Construction Details





RESIDENTIAL PLAN SUBMITTAL REQUIREMENTS AND EXAMPLE PLANS

Example Construction Notes

Construction Notes:

- General code information for fire life safety
- Structural specifications for the grade of building materials – timber, steel, concrete, and masonry
- Non-structural component, specification such as piping to be used, or finishes to be applied, mechanical systems, etc...
- List any special inspections or required structural observation. Submit the County's Statement of Special Inspections Form available on the website.
- Imprint CBC Table 2304.9.1 Fastening Schedule

GENERAL NOTES	ADDITIONAL COMMENTS
<p>1. All construction and materials shall conform to the California Building Code, as amended, and the California Residential Code, as amended, as published by the State of California Building Division.</p> <p>2. All electrical wiring shall conform to the California Electrical Code, as amended, as published by the State of California Building Division.</p> <p>3. All plumbing shall conform to the California Plumbing Code, as amended, as published by the State of California Building Division.</p> <p>4. All mechanical shall conform to the California Mechanical Code, as amended, as published by the State of California Building Division.</p> <p>5. All fire protection shall conform to the California Fire Code, as amended, as published by the State of California Building Division.</p> <p>6. All structural shall conform to the California Building Code, as amended, as published by the State of California Building Division.</p> <p>7. All finishes shall conform to the California Building Code, as amended, as published by the State of California Building Division.</p> <p>8. All materials shall be of the highest quality and shall be approved by the State of California Building Division.</p> <p>9. All construction shall be in accordance with the California Building Code, as amended, as published by the State of California Building Division.</p> <p>10. All construction shall be in accordance with the California Residential Code, as amended, as published by the State of California Building Division.</p>	<p>1. All construction shall conform to the California Building Code, as amended, as published by the State of California Building Division.</p> <p>2. All electrical wiring shall conform to the California Electrical Code, as amended, as published by the State of California Building Division.</p> <p>3. All plumbing shall conform to the California Plumbing Code, as amended, as published by the State of California Building Division.</p> <p>4. All mechanical shall conform to the California Mechanical Code, as amended, as published by the State of California Building Division.</p> <p>5. All fire protection shall conform to the California Fire Code, as amended, as published by the State of California Building Division.</p> <p>6. All structural shall conform to the California Building Code, as amended, as published by the State of California Building Division.</p> <p>7. All finishes shall conform to the California Building Code, as amended, as published by the State of California Building Division.</p> <p>8. All materials shall be of the highest quality and shall be approved by the State of California Building Division.</p> <p>9. All construction shall be in accordance with the California Building Code, as amended, as published by the State of California Building Division.</p> <p>10. All construction shall be in accordance with the California Residential Code, as amended, as published by the State of California Building Division.</p>

Energy Conservation:

- Energy calculations are not required for non-habitable buildings (garage, storage, etc...), nor for buildings with no heating and air conditioning systems (workshop, recreation room with no insulation.. etc...). Compliance with mandatory measures is still required for lighting.
- Energy calculations are required for habitable buildings (accessory living quarters, recreation room with insulation ... etc...).
- Title 24 energy compliance documents (may be imprinted on plans, or submitted in an 8-1/2X11).

Structural Calculations:

- Plans may be prepared by unlicensed individuals when the proposed design complies with conventional construction requirements of the California Residential Code.
- When structural calculations are required, they shall be prepared by a licensed design professional (engineer or architect). Both calculations and plans shall be stamped and signed by the licensed design professional.

Frequently Asked Questions



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES
860 N. Bush Street- Ukiah, California 95482
Telephone 707-234-6650
Fax 707-463-5709

Rebuilding After the 2017 Redwood Complex Fire- or any Wildfire

- 1. When a home is rebuilt, must it be built in compliance with current building codes?**
Yes. The structure must be constructed according to current State Building Codes. The State Code in effect now is the 2016 California Residential Code, which applies to one- and two-family dwellings and their accessory structures.
- 2. Can a house be built on an existing foundation?**
Applicants who wish to use the existing foundation systems must have a "suitability analysis" of the existing foundation performed by a registered civil or structural engineer. This analysis shall state that the engineer has visited the site and investigated the condition of the existing building elements. It shall also state that the remaining foundation is suitable for the support of the new structure, and that all under-slab utility systems (such as drain, waste, vent, water, mechanical, electrical, etc.) are suitable for continued use. Electrical conduits may remain but all under-slab electrical conductors must be replaced.

Please be advised that a compaction report to address re-compaction of the lot after foundation removal, if soil was disturbed to a depth greater than 12 inches, may be needed depending on new building elevations. A licensed geotechnical or civil engineer may be needed to prepare the compaction report
- 3. How is Mendocino County determining the square footage of structures that were on my property prior to the fire?**
When determining square footage, County staff will refer to building permit history records and Assessors records. The County does not retain building plan sets in most cases, but will have permit application forms and inspection records for most permitted structure built after 1980. The County will consider the square footages in other formal documents, such as insurance papers or old building plans on a case-by-case basis.
- 4. Is a Demolition Permit required for removal of a building or portions of a building that were damaged or destroyed by a fire?**
Not if a RIGHT OF ENTRY (ROE) has been submitted to County Department of Planning and Building Services and your property is on the list for cleanup by Army Corp of Engineers. If you chose to remove the debris yourself or through a contractor, a demolition permit is required pursuant to State Code (2016 California Residential Code, Section R105.1). CAL OSHA Standards for handling and disposal of the debris still apply. Demolition permits for residences are issued over-the-counter, without delay. Receipts for debris disposal and post clean-up soil analysis is needed before issuance of building permits. In addition, a permit may also be required from Environmental Health.
- 5. Is a Building Permit required to repair damage to a structure?**
Yes. A Permit is required for repairs and construction pursuant to State Code (2016 California Residential Code, Section R105.1). Review of repair permit applications will be expedited. Some situations may necessitate that a Registered Engineer evaluates the condition of the damaged home and provide engineered plans for the repair.

Frequently Asked Questions

6. How long do I have to rebuild my permanent residence?

There is no timeline on when you have to start rebuilding your home provided that your property is zoned to allow for a single family residence. If your home was located on an industrially zoned parcel, it was considered legal non-conforming and in these situations you will need to file the building permit application within one (1) year.

Once a building permit is issued, an inspection is needed a minimum of once a year in order to keep the permit from expiring. Each inspection needs to indicate that consistent progress toward completion is being made. A one-time 6-month extension can be granted by the Building Official for hardship situations. However, we encourage property owners to complete construction as quickly as practical and not wait to the last minute to call for the next inspection.

7. What documents are needed for a Building Permit?

All required plans and documents required for a rebuild permit are identified on the *Building Permit Handout*. The Building Permit Application Form can also be found on our website <http://www.co.mendocinocounty.org/government/planning-building-services/forms-and-handouts>. **Applications for a Building Permit required:**

1. Three Sets of plans,
2. Three copies of site plan
3. Two copies of engineering calculations (if applicable)
4. Two copies of California Energy Compliance (for conditional space)
5. One copy of CalFire 4290 Preliminary Clearance (if located in a State Responsibility Area)

A complete submittal and detailed building plans often translate into quicker review times. The site plan must be drawn to scale and include all improvements. Multiple departments and agencies will need to review these plans prior to permit issuance.

8. Once I have all building permit plans ready, how do I submit them?

Applications can be submitted at the Department of Planning and Building Services, 860 North Bush Street, Ukiah, between 8:00 am to 4:30 pm, Monday through Friday.

9. What other agencies and fees might be involved in the Building Permit Process?

Mendocino County Department of Transportation - Encroachment & Road Impact fees is applicable
Mendocino County Department of Environmental Health – septic & well systems;
Local Water Company
Local and State Fire Agencies – SRA Title 14 Review;

10. Are fire sprinklers required for all new structures? Yes. Residential fire sprinkler systems are required as mandated by the 2016 California Residential Code Section R313. Accessory structures do not necessarily require sprinkler systems, with the exception of habitable residences or commercial buildings. Currently the State does not require sprinkler systems for Manufactured homes.

11. Do I need a licensed fire protection contractor to design and install the sprinkler system?

A homeowner can install the sprinkler system themselves. However, a fire sprinkler designer is required to design the system and prepare plans that will need to be signed off by the local Fire District. A licensed C-16 fire protection contractor can prepare plans and do the installation, but may require their client to use them for both the plans and installation.

Frequently Asked Questions

- 12. Can I live in a trailer or RV on my property while rebuilding a home?**
Yes, provided the County has issued a Temporary Administrative permit. Once the application is submitted, a permit will be issued if basic conditions can be met: such as an electrical permit for any necessary hookups; adequate water supply is available and accepted by the County, wastewater methods are approved by Environmental Health; the site is not at risk for landslides or debris flow; and, the placement of the temporary home does not preclude rebuilding.
- The Temporary Administrative Permit may be revoked if the terms and conditions of the permit have been violated. Otherwise the permit will expire on the expiration date stated within the permit or upon the completion of the reconstruction of your new home in which a Final Occupancy is issued by the Building Division (whichever occurs first).
- 13. Can I rebuild a garage or other accessory structure or continue an accessory use prior to rebuilding my home?**
The County can authorize reconstruction of an accessory structure. It will require a building permit as outlined in question #7.
- 14. Will my house plans for reconstruction be subject to Design Review?**
No. There is currently no county regulations to require Design Review within the area of the rebuild area.
- 15. Is a new owner required to meet all development standards, including setbacks?**
Yes. The same standards apply to existing and new lot owners.
- 16. Can I store materials in the County right-of-way?**
No.
- 17. Will I need a new encroachment permit with fee?**
It depends upon the condition and location of your current (past) driveway encroachment.
- 18. Do I need a Grading Permit to rebuild?**
If a homeowner wishes to reconstruct structures in approximately the pre-fire footprint, with minor additional grading then a grading permit in most cases will not be required.
- 19. Can I request a property tax reduction due to fire damage?**
Yes. In most cases your property has been reassessed for your loss and is being addressed by the County Assessor. There may be some cases where your property was missed or needs to be further evaluated. If that is the case, contact the County Assessor's Office, County Administration Center, 1440 Low Gap Rd., 707-234-6800.
- 20. If my home is on private well, do I need to have the well tested?**
Testing is not required, however, because the new home will require new plumbing, the well and plumbing should be disinfected and a water sample collected and analyzed for bacteriological quality prior to re-occupancy of the permanent building.
- 21. If my septic system or water well is damaged and I need to construct a new one, do setbacks apply for the new septic system or water well?**
Yes. Please contact the Environmental Health Division for set-back and distance requirements.

Frequently Asked Questions

24. **In certain cases, structures cannot meet current setback requirements due to lot sizes or topography. Will the County still issue building permits?**
The County will make every effort to accommodate challenging lot set-back issues. However, structures must meet setbacks to the greatest extent practical. All fire safe building regulations (Title 14 and 4290), environment, and other health and safety ordinances and standards shall apply.
25. **Will the County require evidence of a legal lot prior to issuance of a new building permit?**
Yes. Be aware that one legal lot may have several Assessor Parcel Numbers (APNs), and that APNs do not establish legal lot status. Therefore, the legal lot lines & status must be confirmed prior to issuance of building permits. The County will accept evidence of a prior Building Permit.
26. **Will building permits be issued for structures in a Floodway or Floodplain?**
Floodways are the drainage areas necessary for a 100-year flood (also indicated as "WW" on Zoning Map). No permits will be issued for structures within floodways. This is a health and safety issue and all structures must be located outside of the floodway. Regarding Floodplains (that area located on either side of the floodway, also indicated on the Zoning Map as "FF"), Yes. Habitable structures in the floodplain must conform to the flood control ordinance and have a building pad, or finished floor elevation, elevated above the 100-year flood level.
27. **Can I rebuild a structure within a public or private road easement?**
No. All structures must be located outside of all road right-of-ways, regardless of whether the structure was located within the easement prior to the fire.
28. **Must fire clearing and access width requirements be met for all rebuilds in High & Very High Fire Severity Zones?**
Yes. For lots that are an acre or more in size, set-backs of 30 feet from the property line for all structures is required as defensible space, in conformance with the State Natural Resources Code (Title 14, Chapter 7, Subchapter 2 SRA Fire Safe Regulations).
29. **Are any permits required to clear up to 100 feet away (Defensible Space) from an existing residence?**
No. Clearing for fire protection purposes can be done within 100 feet of existing dwelling units without a permit, provided that clearing is not performed by an excavator or bulldozer. This does not authorize off-site clearing, although clearing in cooperation with your neighbors is encouraged. You are encouraged to always check with your local fire agency or Cal-Fire if you have any questions regarding tree removal.
30. **If a building permit has been issued for a proposed building, is an additional clearing permit required to clear?**
No. Clearing and grading, (which are exempt from a grading permit if less than 50 cubic yards, cut less than 3 feet, and/or is less than 12,000 square feet of vegetation) DO NOT require an additional County grading permit provided they are incidental to the repair, alteration, or construction of a proposed structure with an approved building permit. The building permit authorizes the construction to begin and that includes clearing the building site. However, property owners must use caution regarding what is cleared and how the clearing is done. All disturbed earth will be required to have erosion control measures installed in accordance with County storm water pollution prevention standards (BMP's).

Frequently Asked Questions

31. **Who is responsible for clearing the brush from around buildings?**
The property owner.
32. **Who enforces the regulations regarding clearance of fuel around buildings?**
The Fire Agencies enforce weed abatement programs, requiring the clearance of flammable vegetation from around buildings.

Helpful Telephone Numbers

Mendocino County Agencies:

Planning and Building Services	707-234-6650
Environmental Health	707-234-6625
Department of Transportation	707-463-5363

Local Agencies:

Redwood Valley/Calpella Fire Dept.	707-485-8121
Redwood Valley County Water District	707-485-0679
Potter Valley Fire Dept.	707-743-1415
Potter Valley Irrigation District	707-743-1109

State Agencies:

Cal-Fire –Howard Forest	707-459-7414
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Department of Planning and Building Services – Building, Planning & Code Enforcement

www.mendocinocounty.org/pbs

HOW LONG WILL IT TAKE TO PROCESS MY BUILDING PERMIT?

For “non-conditioned” space (i.e., garage, swimming pool, outbuildings, etc.), the County’s goal is to plan check the project within 5 working days. For “conditioned” space (i.e., addition to single family dwelling, dwellings, commercial or industrial), the project will normally be plan checked in 2 to 3 weeks from the date the application was submitted. It should be noted that these time frames are for the initial plan check and may not represent how long it will take to obtain the permit.

I NEED TO CLOSE ESCROW, BUILD BEFORE IT RAINS, ETC. CAN I BE MOVED TO THE FRONT OF THE PLAN CHECK LINE?

The County plan check structure is based on the order the application was received- first come, first served. Provisions may be made for “foundation only” permits for commercial projects.

I DON’T HAVE ANY CHILDREN IN PUBLIC SCHOOLS, SO WHY DO I HAVE TO PAY SCHOOL IMPACT FEES?

School impact fees are established by the local school district and are assessed on new residential and commercial construction of 500 square feet or more, regardless of whether or not there are school age children in the household. School fees for residential construction apply only to living space; garages and workshops are exempt.

WHERE CAN I GET A COPY OF THE CODE BOOKS?

Copies of the California Codes are available for review at the County. Copies can be purchased from the International Code Council at 5360 S. Workman Mill Road, Whittier, California, 90601, www.ICCSAFE.org or by telephone at 1-888-422-7233.

WHAT IS CLASS K?

Class K is a relaxed construction standard available to owner-built rural dwellings and appurtenant structures intended “... to allow and facilitate the use of alternatives to the specifications prescribed by the Uniform technical code to the extent that a reasonable degree of health and safety is provided...” To qualify, the property must be zoned for a one acre or larger minimum lot size and the structure cannot exceed 2 ½ stories. The fee to process the permit is the same for a Class K or Uniform Building Code structure. (Note: Class K does not apply to commercial or industrial structures.)

DOES THE COUNTY HAVE A GRADING ORDINANCE? DO I NEED TO OBTAIN A PERMIT TO GRADE MY PROPERTY?

No. The County does not have a Grading Ordinance. Yes, a grading permit or an exemption from a permit must be obtained. Grading within the coastal zone may be subject to a Coastal Development Permit.

WHY DO I NEED TO PREPARE A PLOT PLAN WITH MY BUILDING PERMIT APPLICATION?

Most applications require that a plot plan be submitted. The information assists the County in determining setbacks, distance to other structures, septic tank and leach field location and other information necessary to evaluate the application for consistency with County Codes. The Plot Plan, or Site Plan, also provides a record of improvements for future owners/buyers/sellers.

DO I NEED A PERMIT FOR REROOFING?

Yes.

FREQUENTLY ASKED QUESTIONS REGARDING BUILDING PERMITS



COUNTY OF MENDOCINO DEPARTMENT OF PLANNING AND BUILDING SERVICES

Ukiah Office:

860 North Bush St.

Ukiah, CA 95482

Telephone: (707) 234-6650

Fax: (707) 463-5709

Fort Bragg Office:

120 West Fir St.

Fort Bragg, CA 95437

Telephone: (707)

964-5379 Fax: (707)

961-2427

<http://www.co.mendocino.ca.us/planning>

BUILDING INSPECTION

FREQUENTLY ASKED QUESTIONS

WHAT TYPES OF PROJECTS TYPICALLY DO NOT REQUIRE A BUILDING PERMIT?

Building:

1. One-story detached *accessory structures* used as tool and storage sheds, playhouses and similar uses, provided the floor area does not exceed 120 square feet (11.15 m²).
2. Fences not over 7 feet (2133 mm) high.
3. Retaining walls that are not over 4 feet (1219 mm) in height measured from the bottom of the footing to the top of the wall, unless supporting a surcharge.
4. Water tanks supported directly upon *grade* if the capacity does not exceed 5,000 gallons (18927L) and the ratio of height to diameter or width does not exceed 2 to 1.
5. Sidewalks and driveways.
6. Painting, papering, tiling, carpeting, cabinets, counter tops and similar finish work.
7. Prefabricated swimming pools that are less than 24 inches (610 mm) deep.
8. Swings and other playground equipment associated with single family dwellings.
9. Window awnings supported by an exterior wall which do not project more than 54 inches (1372 mm) from the exterior wall and do not require additional support.
10. Decks not exceeding 200 square feet (18.58 m²) in area, that are not more than 30 inches (762 mm) above *grade* at any point, are not attached to a *dwelling* and do not serve the exit door required by Section R311.4.

Electrical:

1. *Listed* cord-and-plug connected temporary decorative lighting.
2. Reinstallation of attachment plug receptacles but not the outlets thereof.
3. Replacement of branch circuit over-current

devices of the required capacity in the same location.

4. Electrical wiring, devices, *appliances*, apparatus or *equipment* operating at less than 25 volts and not capable of supplying more than 50 watts of energy.
5. Minor repair work, including the replacement of lamps or the connection of *approved* portable electrical *equipment* to *approved* permanently installed receptacles.

Gas:

1. Portable heating, cooking or clothes drying *appliances*.
2. Replacement of any minor part that does not alter approval of *equipment* or make such *equipment* unsafe.
3. Portable-fuel-cell *appliances* that are not connected to a fixed piping system and are not interconnected to a power grid.

Mechanical:

1. Portable heating *appliances*.
2. Portable ventilation *appliances*.
3. Portable cooling units.
4. Steam, hot- or chilled-water piping within any heating or cooling *equipment* regulated by this code.
5. Replacement of any minor part that does not alter approval of *equipment* or make such *equipment* unsafe.
6. Portable evaporative coolers.
7. Portable-fuel-cell *appliances* that are not connected to a fixed piping system and are not interconnected to a power grid.
8. Self-contained refrigeration systems containing 10 pounds (4.54 kg) or less of refrigerant or that are actuated by motors of 1 horsepower (746 W) or less.

The stopping of leaks in drains, water, soil, waste or vent pipe; provided, however, that if any concealed trap, drainpipe, water, soil, waste or vent pipe becomes defective and it becomes necessary to remove and replace the same with new material; such work shall be considered as new work and a *permit* shall be obtained and inspection made as provided in this code.

The clearing of stoppages or the repairing of leaks in pipes, valves or fixtures, and the removal and reinstallation of water closets, provided such repairs do not involve or require the replacement or rearrangement of valves, pipes or fixtures.

DO MY PLANS HAVE TO BE DRAWN BY AN ARCHITECT OR ENGINEER?

In general, state law requires that plans for commercial or industrial projects be drawn by a licensed engineer or architect. Other structures of a complex design or those not conforming to the California Building Code definition of conventional construction may also require plans by a licensed engineer or architect.

WHAT INFORMATION MUST I SUBMIT WITH ANY BUILDING PERMIT APPLICATION?

1. Three sets of plans, plus one reduced set of plan that are 11" x 17"
2. Three copies of the plot plan
3. Two copies of engineering calculations (if applicable).
4. Two copies of California Energy Compliance (for conditioned space).
5. One copy of CalFire 4290 Preliminary Clearance (if located in a State Responsibility Area).

WHY DO I NEED ENERGY CALCULATIONS AND WHERE DO I GET THOSE DONE?

Any conditioned space requires energy calculations. We cannot recommend anyone in particular, but you may wish to check the yellow pages of the telephone book under "architects" for assistance.



Environmental Health

Ukiah Office
860 N. Bush St.
Ukiah, CA 95482
Phone: 707-234-6625

Fort Bragg Office
120 W. Fir St.
Fort Bragg, CA 95437
Phone: 707-961-2714

**SITE EVALUATION AND PERMIT PROCESS
FOR ON-SITE SEWAGE DISPOSAL SYSTEMS**
*Modified to support Mendocino County
Planning & Building Services Amnesty Program
November 1, 2023 – November 1, 2024*

1. SEPTIC SYSTEMS INSTALLED WITHOUT PERMITS

Systems installed without county review and permits violate Section 16.08 of the Mendocino County Code. In order to facilitate the legal recognition of unpermitted systems, all penalties will be waived during the amnesty period. You will need to hire a qualified site evaluator to conduct soil testing and evaluate the design of the unpermitted system to see if it conforms to current regulations. It is possible the unpermitted system may need to be upgraded, expanded or replaced.

2. TESTING IS REQUIRED FOR A SEPTIC PERMIT

All parcels must be tested for suitability for installation of an on-site septic system. Commonly called the "perc" test, these soil tests serve as the basis for the system design of the which is required before a septic permit can be issued.

3. QUALIFIED PERSONS MUST DO THE TESTING

You will need to hire a qualified site evaluator to perform the testing on your property and to prepare the septic system design. These persons are Registered Environmental Health Specialists, Civil Engineers, or Certified Professional Soil Scientists. A list of local qualified site evaluators is available at the local office of Environmental Health. Those persons with acceptable certification who do not appear on our current list must be approved by the Environmental Health Division in advance and must notify us of the date of the tests.

4. THE SITE EVALUATION PROCEDURE

There are two primary methods of testing your soil for permeability: laboratory texture analysis and the soil percolation test in the field. The site evaluator may choose to do both procedures, if necessary. Regardless of the testing method, soil inspection pits and detailed descriptions of the soil strata are required. These form the basic data for issuance of a on-site sewage system permit. **Note: Certain tests can only be performed between January and April (wet weather testing). Therefore, it is critical that you contact a qualified site evaluator to begin testing as soon as possible.**

For existing unpermitted septic systems, the qualified site evaluator will also need to determine the size (length, width and depth) of the current leach lines as well as the size and condition of the septic tank. When sufficient facts have been gathered, the evaluator will prepare a Site Evaluation Report (septic system design) based on soil conditions, expected wastewater flow, setbacks and other site constraints. Although an existing system may already meet the state's minimum requirements, some may need to be expanded. Systems that cannot meet state minimum requirements must be abandoned and replaced.

5. APPLYING FOR YOUR PERMIT

The Site Evaluation Report must be submitted to the Environmental Health Division in order to obtain a permit. The site evaluator must submit two (2) signed and stamped copies of the site evaluation report **with the current review fee** as established by the Mendocino County Board of Supervisors. The report must include all tests conducted, including failed soil tests, and their location. One area, or two separate areas, large enough for the initial and reserve absorption fields must be acceptable for an on-site sewage system permit in order for a permit to be issued. The report should include a current telephone number and address for the applicant.

The review time by the Environmental Health Division is approximately 5-10 working days. You will be notified by telephone or letter to let you know when the soil report is acceptable. You may apply for a permit in person or by mail. Permit fees will be accepted only for approved Site Evaluations Reports. Please check with the Environmental Health Division for the current permit fee amount as established by the County Board of Supervisors.

6. SITE INSPECTION OF PROPERTY

An Environmental Health Specialist **may** need to make a site inspection of your property prior to issuing your septic system permit. A Vicinity Map with adequate accurate mileage and directions for locating the property must be provided in the Site Evaluation Report.

7. ADDITIONAL DWELLING UNITS AND OTHER ACCESSORY STRUCTURES

Additional Dwelling Units of any type require approval of the Environmental Health Division. Additional Dwelling Units may require that a separate septic system be installed. Please contact Environmental Health for specific information on requirements for approval of such units.

8. NON-STANDARD SEWAGE SYSTEMS

Non-standard systems are used on sites which may not meet the standard criteria of the site evaluation process. Non-standard Systems have specific advantages which can overcome some site constraints. Installation must be according to the designer's plan and the Non-Standard System Program. On-going monitoring, an Operational Permit and a Recorded Notice on the property deed are required of all Non-Standard Systems. Copies of the program are available at the Environmental Health offices.



Environmental Health

Ukiah Office
860 N. Bush St.
Ukiah, CA 95482
Phone: 707-234-6625

Fort Bragg Office
120 W. Fir St.
Fort Bragg, CA 95437
Phone: 707-961-2714

Septic System Requirements for 2023 - 2024 Amnesty Program: **Instructions for Site Evaluators**

GUIDING PRINCIPLES:

- Goal is to bring properties into compliance through cooperation rather than enforcement.
- Penalties are waived, but system must comply with all other state and county requirements.
- A Qualified Site Evaluator (Evaluator) must describe existing septic system and submit design package.

1. Discovery of Existing System.

Determine what has been installed

- Septic tank: size and construction material
- Distribution: location of d-box, equal or serial distribution
- Leach lines: number, length, material, width and depth of trenches

2. Soils

Normal soils description adjacent to existing primary field, another for replacement.

- Minimum of 3 hand augers or one test pit per field
- Hydrometer and/or perc testing
- Description of soil profiles

3. Design Package

County will evaluate design package in accordance with normal criteria.

- Evaluator must submit two copies of a design package that meets requirements of County Form #42.04 (www.co.mendocino.ca.us/hhsa/chs/eh/landuse.htm)
- Normal review fees must be submitted with design package
- Must document Basin Plan compliance
- Effluent filter and inspection risers required; tank lid risers recommended
- If existing system does not meet appropriate sizing criteria, prepare design for necessary expansion
- If cannot meet Basin Plan, design must address demolition of existing system and construction of new system

4. Inspections

Site Evaluator will assume primary responsibility for most inspections. Photographic documentation with signed statement of acceptability from evaluator will be acceptable.

- Verify that existing system is not in failure - inspect for surfacing.
- Verify that lines are on contour
- Check septic tank inlet/outlet for tightness
- If new lines or other changes are required, DEH will inspect new construction unless owner hires designer to perform inspection.

5. Deadlines

Septic design or building permit application must be **submitted** by November 1, 2024.