



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

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July 7, 2023

**NOTICE OF PUBLIC HEARING, AVAILABILITY OF DRAFT MITIGATED NEGATIVE
DECLARATION FOR PUBLIC REVIEW, AND NOTICE OF INTENT TO ADOPT A
MITIGATED NEGATIVE DECLARATION**

The Mendocino County Coastal Permit Administrator, at a regular meeting to be held on Thursday, August 10, 2023, at 11:00 a.m. will conduct a public hearing on the following project located in the Coastal Zone at the time listed or as soon thereafter as the item may be heard. This meeting will take place at the Planning and Building Services Conference Room, located at 860 North Bush Street, Ukiah and Virtual attendance will be available via Zoom. Meetings are live streamed and available for viewing online on the Mendocino County YouTube page, at <https://www.youtube.com/MendocinoCountyVideo>. In lieu of personal attendance, the public may participate digitally in meeting by sending comments to: pbscommissions@mendocinocounty.org or via Telecomment. The telecomment form may be found at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas>.

CASE#: CDP_2018-0012

DATE FILED: 4/23/2018

OWNER/APPLICANT: NOAH & ZOE SHEPPARD

REQUEST: Standard Coastal Development Permit, after the fact, request to construct a single-family residence, associated and ancillary structures less than 100 ft. from sensitive habitat areas.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

LOCATION: In the Town of Mendocino, on the south side of Calypso Lane (Private), 800± ft. from of its intersection with Little Lake Road (CR 408), located at 10760 Calypso Ln, Mendocino (APN: 119-090-46).

SUPERVISORIAL DISTRICT: 5 (Williams)

STAFF PLANNER: LIAM CROWLEY

The staff report, and notice, will be available 30 days before the hearing on the Department of Planning and Building Services website at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/coastal-permit-administrator>

As you are an adjacent property owner and/or interested party, you are invited to submit comments, at or prior to the hearing; all correspondence should contain reference to the above noted case number. Written comments should be submitted by mail to the Department of Planning and Building Services Commission Staff, at 860 North Bush Street, Ukiah or 120 W Fir Street, Fort Bragg, California, or by e-mail to pbscommissions@mendocinocounty.org no later than August 9, 2023. Individuals wishing to address the Coastal Permit Administrator during the public hearing under Public Expression are welcome to do so via e-mail at pbscommissions@mendocinocounty.org, or telecomment, in lieu of personal attendance.

All public comment will be made available to the Coastal Permit Administrator, staff, and the general public as they are received and processed by the Clerk, and can be viewed as attachments under its respective case number listed at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/coastal-permit-administrator>

The decision of the Coastal Permit Administrator shall be final unless a written appeal is submitted to the Board of Supervisors with a filing fee within 10 calendar days thereafter. If appealed, the decision of the Board of Supervisors to approve the project shall be final unless appealed to the Coastal Commission in writing within 10 working days following Coastal Commission receipt of a Notice of Final Action on this project. If you challenge the above case in court, you may be limited to raising only those issues described in this notice or that you or someone else raised at the public hearing, or in written correspondence delivered to the Coastal Permit Administrator at or prior to, the public hearing.

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE. Mendocino County complies with ADA requirements and upon request, will attempt to reasonably accommodate individuals with disabilities by making meeting material available in appropriate alternate formats (pursuant to Government Code Section 54953.2). Anyone requiring reasonable accommodation to participate in the meeting should contact the Department of Planning and Building Services by calling (707) 234-6650 at least five days prior to the meeting.

Additional information regarding the above noted item may be obtained by calling the Department of Planning and Building Services at (707) 234-6650, Monday through Friday, 8:00 a.m. through 5:00 p.m.

JULIA KROG, Director of Planning and Building Services



SUMMARY

OWNER/APPLICANT:	NOAH & ZOE SHEPPARD PO BOX 112 ALBION, CA 95410
REQUEST:	Standard Coastal Development Permit, after the fact, request to construct a single-family residence, associated and ancillary structures less than 100 ft. from sensitive habitat areas.
LOCATION:	In the Town of Mendocino, on the south side of Calypso Lane (Private), 800± ft. from of its intersection with Little Lake Road (CR 408), located at 10760 Calypso Ln, Mendocino (APN: 119-090-46).
TOTAL ACREAGE:	2.02± Acres
GENERAL PLAN:	Rural Residential Two-Acre Minimum (RR-2)
ZONING:	Mendocino Rural Residential (MRR-2)
SUPERVISORIAL DISTRICT:	5 th (Williams)
ENVIRONMENTAL DETERMINATION:	Mitigated Negative Declaration
RECOMMENDATION:	APPROVE WITH CONDITIONS
STAFF PLANNER:	LIAM CROWLEY

BACKGROUND

On April 23, 2018, Planning and Building Services (PBS) received an application to construct a single-family residence with an attached garage and detached guest house; remove the compacted road and establish a driveway within the boundaries of the road easement; covert the existing well to a production well; install a sewage system; and install PG&E power drop. The project would include legalizing after-the-fact work done without a permit

On August 4, 2020, the project revisions were submitted, including removal of the guest house from the Project and reconfiguration of proposed structures. The reconfigured location of structures increased the distance between development and an identified Grand Fir Forest ESHA. On June 30, 2020, a Special Status Community Avoidance and Replanting Plan was submitted proposing avoidance measures and a restoration plan to replant within fifty (50) feet of the outward extent of the identified ESHA. Planting would occur after a Building Permit for the residence was finalized.

On August 12, 2021, CDP_2018-0012 (the "Project") was heard by the Coastal Permit Administrator (CPA). After receiving a number of public comment letters and requests to revise the conditions, the Project was continued to the August 26, 2021 CPA meeting. At that meeting, the Coastal Permit Administrator requested that: (1) the applicant submit an exhibit showing the sewer lateral and septic tank locations and the driveway realignment; (2) the applicant furnish a groundwater extraction permit from Mendocino City Community Services District (MCCSD); and (3) that staff provide an additional finding pursuant to Title 14 CCR Section 15074.1 regarding the substitution of mitigation measures. Improvement Plans prepared by Pope Engineering were received on March 3, 2023. The plans show the extent of grading associated with the

proposed driveway realignment, the location of the septic tank, and the location of the sewer lateral (see *Improvement Plans*). On March 23, 2022, MCCSD confirmed that a Groundwater Extraction Permit application for 10760 Calypso Lane had been approved (see attached *MCCSD Letter*). Finally, staff has determined that an additional finding regarding Title 14 CCR Section 15074.1 is not needed at this time because the Mitigated Negative Declaration has been recirculated. The project is appealable to the California Coastal Commission because it is within a “sensitive coastal resource area” as defined by Public Resources Code Section 30116. The Project is within the Town of Mendocino, which has been recognized as a special community in Mendocino County Code Chapter 20.504.020(A).

On March 3, 2023, Planning and Building Services received revised Improvement Plans showing the proposed driveway realignment, septic tank location, sewer lateral connection, associated grading, culverts, hammerhead turnaround, and drainage.

PROJECT DESCRIPTION: A Coastal Development Permit to authorize after-the-fact construction of a single-family residence, detached garage, and pump house less than 100 feet from environmentally sensitive habitat areas (ESHA). The application also includes a request to convert a well (e.g., WW16552F) into a production well for residential use and a request to realign the driveway as shown on the revised Improvement Plans. In addition, a review of site conditions and aerial imagery indicate that vegetation removal occurred on the site sometime between 2009 and 2017 without the benefit of a Coastal Development Permit. As the extent of vegetation removal appears to exceed 6,000 square feet, staff requests consideration of this activity within the Project, including adoption of the proposed avoidance and replanting plan to address the vegetation removal in accordance with Mendocino Town Zoning Code Section 20.608.032(D)(2).

RELATED APPLICATIONS: CDMS 28-2006 – A Minor Subdivision which established the subject parcel. A Unilateral Agreement for the subdivision was recorded April 3, 2006. The subject parcel was previously known as APN 119-090-35.

SITE CHARACTERISTICS: The project site is located within the Town of Mendocino and Historical Preservation District Zone B, but the parcel is not visible from public vantage points or Zone A. The parcel is bisected by an existing Road and Utility Easement and overhead electrical line. At the time CDMS 28-2006 was approved, a test well was mapped adjacent to the 350 foot elevation contour line (WW16552F); a second well is shown near Slaughterhouse Creek between the 310 and 305 foot elevation contour lines; and an existing pump house and water tank are mapped near the eastern property boundary and south of the road easement.

SURROUNDING LAND USE AND ZONING:

	GENERAL PLAN	ZONING	LOT SIZES	USES
NORTH	Rural Residential (RR-2)	Mendocino Rural Residential (MRR-2)	2.5± Acres	Residential
EAST	Rural Residential (RR-2)	Mendocino Rural Residential (MRR-2)	2.4± Acres	Residential
SOUTH	Rural Residential (RR-2)	Mendocino Rural Residential (MRR-2)	1.3, 1.6± Acres	Residential
WEST	Rural Residential (RR-2)	Mendocino Rural Residential (MRR-2)	5.3± Acres	Residential

PUBLIC SERVICES:

Access: Easement via Calypso Lane (private)
 Fire District: Mendocino Fire Protection District
 Water District: Mendocino City Community Services District
 Sewer District: Mendocino City Community Services District
 School District: Mendocino Unified

AGENCY COMMENTS: In October 2019, March 2020, September 2020, and April 2023, project referrals were sent to the following agencies with jurisdiction over the Project. Any comment that would trigger a project modification, denial, conditions of approval, or required permits are discussed in full in the following section.

REFERRAL AGENCIES	COMMENT
Archaeological Commission	No Comment
Assessor's Office	No Response
Building Division (Fort Bragg)	No Comment
Department of Transportation (DOT)	Comment
Environmental Health (EH)	Comments
Mendocino City Community Services District (MCCSD)	Comments
Mendocino Fire Protection District	No Response
Mendocino Unified School District	No Response
Planning Division (Ukiah)	Comments
Sonoma State University	Comments
CAL FIRE (Land Use)	No Comment
California Coastal Commission	Comments
California Department of Fish and Wildlife (CDFW)	Comments
California Native Plant Society	No Response
Cloverdale Rancheria	No Response
Redwood Valley Rancheria	No Response
Sherwood Valley Band of Pomo Indians	No Response

LOCAL COASTAL PROGRAM CONSISTENCY

Land Use: The site is within the Town of Mendocino and is governed by the Mendocino Town Plan (MTP) (Chapter 4.13 of the Mendocino County General Plan Coastal Element). The site is classified as Rural Residential (RR-2) on the Mendocino Town Land Use Map. According to Section 5.2 of the MTP, the Rural Residential classification is intended “to be a low density residential growth area”. The Project involves legalizing after-the-fact development of a single-family residence, accessory structures, and proposed access road improvements. The residence and accessory structures are less than 28 feet in height, and parking is provided by a two-car garage. As such, the Project matches the principal permitted use, density, height limitation, and parking requirements for the Rural Residential Classification. Therefore, the Project is consistent with Mendocino Town Plan Section 5.2.

Zoning: The site is within the Mendocino Rural Residential zoning district (MRR-2) as outlined in Mendocino Town Zoning Code (MCC) Chapter 20.644. The MRR-2 district is intended “to create and enhance residential areas, and is intended to be a low density residential growth area, while allowing a second residential unit, subordinate in size and scale, in keeping with the existing pattern of development...” The Project resembles a “Family Residential: Single-Family” use type, a principal permitted use in the MRR-2 district. Accessory structures such as the detached garage and pump house are allowable in accordance with MCC Chapter 20.704. The Project would not exceed the Maximum Dwelling Density of one (1) primary dwelling unit per two (2) acres. Structures subject to setback requirements are located more than twenty (20) feet from all property boundaries and are less than twenty-five (25) feet in height. Two (2) parking spaces are provided by the proposed detached garage, and the estimated lot coverage is approximately three percent (3%). As such, the Project is consistent with MCC Chapter 20.644. The proposed detached garage and pump house are considered accessory uses which are appropriate for, incidental to, and subordinate to the principal use in accordance with MCC Section 20.704.015(A) and (N). The proposed parking meets the applicable requirements of MCC Chapter 20.714 and Town Plan Policy CP-1.

Limitations and Exceptions: In accordance with MCC Section 20.692.020, the Project is not within the

designated scenic corridor parallel to State Route 1 and is not within three hundred fifty (350) feet of State Route 1. The project is located within MTP Historical Zone B and is not visible to other properties within the historical district. As the project would not be visible to other properties within Historical Zone A, staff finds that the project is consistent with Mendocino Historical Preservation District standards. In accordance with MCC Section 20.692.025, the Project shall comply with applicable chapters and sections of Division II of Title 20.

Grading, Erosion, Runoff, and Water Quality Protection: Ground disturbing activities would include grading associated with proposed road improvements, foundations for structures, installation of a septic tank, connection to wastewater treatment services, and others. The Improvement Plans submitted in March 2023 identifies Best Management Practices (BMPs) for grading, erosion control, storm drainage, and other features to be implemented during construction. Some features include installing straw rolls, drainpipes, and mulching or hydroseeding. The applicant also submitted a Subsurface Investigation Report prepared by a State of California certified engineering geologist dated May 16, 2023 (available on file at Planning and Building Services). The report notes that a field investigation was performed, including test pit excavation, soil and bedrock sampling, and laboratory testing. The report concluded that the proposed residence and detached garage are feasible with regard to soil properties and geologic engineering, provided recommendations are followed and noted conditions and risks are acknowledged. The report includes recommendations for site preparation and grading, foundations, drainage and erosion, maintenance, plan and specification review, and construction phase monitoring. To ensure compliance with MCC Chapter 20.492 and 20.717, staff recommends a condition of approval requiring a grading permit or grading permit exemption for grading or transfer of more than two (2) cubic yards of material. Staff also recommends a condition of approval requiring the use of BMPs on-site to reduce the effect of construction-related erosion, and a requirement that the property owner follow the recommendations contained in the Subsurface Investigation Report for project activities. As conditioned, the project would be consistent with MCC Chapters 20.492 and 20.717, including specified standards for grading, erosion, sedimentation, runoff, and water quality protection. With conditions of approval in place, the project would also comply with Town Plan Policy S-1, S-3, S-4, S-5, and S-6.

Public Access: The nearest public access trail follows Little Lake Road (CR 408) about 1,200 feet from the project site. The property does not border the shoreline or the coast. Staff finds that adequate public access exists along Little Lake Road and the Project is exempt from the requirement to provide public access. Therefore, the Project is consistent with Town Plan Policy PAR-1 and MCC Chapter 20.718.

Environmentally Sensitive Habitat Areas (ESHA): In accordance with MCC Section 20.719.015, biological surveys and other documents have been submitted in association with the project for the purpose of determining potential impacts to ESHA. These surveys and documents are available on file with Planning and Building Service, including the following:

- "Botanical Survey for 10770 Calypso Lane (APN: 119-090-35)." William Maslach. August 2006.
- "Update Letter to Botanical Survey for 10770 Calypso Lane (APN: 119-090-46)." Spade Natural Resources Consulting. August 27, 2019 Revised. (Including Table 4, a reduced buffer analysis).
- "CDP_2018-0012 Sheppard Botanical Update Report and Clarifications." Spade Natural Resources Consulting. September 9, 2019.
- "Report of Compliance for 10770 Calypso Lane (APN: 119-090-46)." Spade Natural Resources Consulting. March 26, 2020.
- "Special Status Community Avoidance and Replanting Plan for 10770 Calypso Lane (APN: 119-090-46)." Spade Natural Resources Consulting. July 28, 2020.
- "CDP 2018-0012 Sheppard Botanical Update Report Clarifications (supersedes September 9, 2019 clarification letter)." Spade Natural Resources Consulting. August 25, 2021.

The 2006 Maslach Botanical Survey prepared in association with CDMS 26-2008 identified two small creeks and corn-lily individuals on the Project site. The 2019 Spade Update Letter confirmed the presence of corn lilies and streams on the site. As shown on the site plans and Improvement Plans submitted, the Project (CDP_2018-0012) would maintain a minimum one hundred (100) foot buffer between the proposed structures and the identified streams and corn-lily individuals. The letter recommended avoidance

measures for special status species. Staff recommends a condition of approval memorializing this buffer distance for the Project and future development in accordance with Section 20.719.020(A), as well as a condition of approval requiring the applicant to comply with recommended avoidance measures.

The September 2019 Sheppard Botanical Update Report prepared by SNRC included corrections and clarifications regarding soils, including the determination that no wetland areas were observed outside of the mapped riparian area and no rare pygmy vegetation was found on or near the site. The report explains that upon consultation with California Department of Fish and Wildlife (CDFW) staff, the surrounding forest area was reclassified as Grand Fir Forest (Abies grandis Forest Alliance (G4 S2.1) and therefore should be considered Other Resources ESHA per CDFW guidance. A revised map showing the Grand Fir Forest and a reduced buffer analysis was provided. The reduced buffer analysis proposed a minimum buffer of fifty (50) feet.

The March 2020 Report of Compliance prepared by SNRC was submitted in accordance with MCC Section 20.532.060(E). The report presents two (2) project alternatives within the building envelope established by CDMS 26-2008. The report concludes that the second alternative is the least impactful option and provides recommendations for buffer distances from the Grand Fir Forest, streams and riparian areas, invasive plant removal, erosion control BMPs, and other avoidance measures. Staff recommends a condition of approval requiring the applicant to comply with the recommended avoidance measures.

The July 2020 Special Status Community Avoidance and Replanting Plan prepared by SNRC was submitted to address previously unaddressed vegetation removal with a total contiguous ground area of more than 6,000 square feet pursuant to MCC Section 20.308.080(C)(2). The report includes an impact avoidance plan which identifies several measures to be implemented to minimize potential impacts to special status vegetation alliances. The report also includes a restoration plan to be implemented if special status vegetation alliances are accidentally disturbed or destroyed during project activities.

The August 2021 Botanical Update Report Clarifications submitted by SNRC sought to reclassify the vegetation surrounding the building site as a Douglas Fir – Tanoak Forest and Woodland alliance rather than Grand Fir Forest. The report notes that the Douglas Fir – Tanoak Forest and Woodland alliance is ranked G3 S3 by the California Department of Fish and Wildlife. The G3 S3 ranking is considered sensitive. The report contends that *“data and local knowledge of vegetation abundance both point to this forest type as being common rather than sensitive.”* Based on the contention that the surrounding forested area should be reclassified as common, the report recommended changes to the conditions of approval proposed as part of the August 26, 2021 Coastal Permit Administrator meeting.

A site visit was conducted on April 28, 2023 between County Planning and DOT staff, CDFW staff, and the property owner. Based on this site visit, CDFW staff submitted additional comments to County staff on June 7, 2023 (see attached). The comments state that CDFW staff concurs with the recommendations contained in the August 12, 2021 staff Memorandum, and recommends that the County consider recording a deed restriction as described in the Memorandum.

Together, these documents address three primary issues regarding ESHA. First, the identified streams and associated buffer distances; second, treatment of the surrounding vegetation alliance, including associated buffer distances and recommended avoidance measures; and third, the treatment of previously unaddressed vegetation removal, including any recommended avoidance or restoration measures. Correspondence and discussion between County Staff, CDFW, and the California Coastal Commission occurred regarding these issues as noted in the August 12, 2021 Coastal Permit Administrator Staff Report. CDFW staff approved of the reduced fifty (50) foot buffer on August 16, 2021. After consideration of all the analysis submitted and written or verbal comments received from the Coastal Commission, CDFW staff, the applicant, and their former agent, staff recommends the following solutions to these issues:

1. A one hundred (100) foot stream ESHA buffer be maintained based on the streams discussed in the 2006 Maslach survey and mapped by SNRC in 2019 (see attached *ESHA Buffer Map*).
2. Regardless of whether the surrounding forest is considered a Grand Fir Forest alliance or a

Douglas Fir – Tanoak Forest and Woodland alliance, the sensitive status of both alliances as defined by CDFW indicates that the surrounding forest should be considered an ESHA. As such, a fifty (50) foot ESHA buffer shall be established as measured from the 2019 surveyed canopy and the Reduced Buffer Analysis submitted by SNRC (available on file at Planning and Building Services). Limited development would be allowed within the 50-foot buffer area in accordance with MCC Section 20.719.020(D), and any necessary measures shall be implemented to ensure compliance with this section.

3. As proposed in the Special Status Community Avoidance and Replanting Plan, require restoration planting to account for previously unauthorized vegetation removal and development within the 50-foot buffer area.
4. Require a Coastal Development Permit for any future development within the established buffer areas, except for repair and maintenance activities. Limit uses within the established buffer areas to Open Space Use Types that are allowed, or conditionally allowed, within the MRR District.
5. Require that the property owner record a deed restriction as described in the August 2021 Staff Memorandum and as recommended by CDFW staff.

The submitted avoidance measures and restoration plan would ensure that adjacent habitat area would be maintained as required by the conditions of approval. The proposed site is the most feasible because it balances maximum avoidance of the 50-foot buffer with impacts due to additional driveway development and distance to nearby riparian areas. Conditions of approval are recommended as measures to avoid or reduce impacts to nearby ESHA to the extent feasible. The conditions of approval and above recommendations are intended to allow existing and proposed development while limiting impacts to nearby ESHA. As proposed and with inclusion of the recommended conditions, the Project would satisfy Coastal Element Chapter 4.13 Policy CNS-7, S-11, and MCC Chapter 20.719, including section 20.719.020(D).

Ground Water Evaluation: MCC Chapter 20.744 implements the water policies of the Mendocino Town Plan and establishes requirements for the evaluation and adequacy of ground water resources for development in the Town of Mendocino. The site is within the jurisdictional boundaries of the Mendocino City Community Services District (MCCSD) which provides water and sewage service. The Project would use an existing well as a water supply. According to the County of Mendocino Coastal Groundwater Development Guidelines prepared for the Environmental Health division, no proof of water or groundwater investigation is necessary for single-family residences on existing lots of record. In a letter from March 23, 2022, the MCCSD Superintendent confirmed that a Groundwater Extraction Permit for 10760 Calypso Lane was approved by the MCCSD Board of Directors for a three-bedroom single-family residence. The Board of Directors also approved a 2022 review of the 2005 hydrological study performed for the property and concluded that the 2005 results were still valid. The letter states that the property owners have met all MCCSD requirements for water service. A final permit will be issued upon completion of the project and inspection by MCCSD of the water meter (see attached *MCCSD Letter*). With conditions of approval in place, staff finds that adequate water supply is available to serve the Project as determined by MCCSD, and thus the Project is consistent with MCC Chapter 20.744 and Town Plan Policy GM-8 and S-2.

Hazard Areas: MCC Section 20.692.025 requires all proposed development in the Town of Mendocino, as applicable, to comply with the provisions of MCC Chapter 20.500 regarding hazard areas. LCP mapping does not associate the site with hazards from faults, bluffs, tsunamis, landslides, or erosion. According to LCP mapping, the site is associated with beach deposits and stream alluvium and terraces subject to intermediate shaking or Zone 3 seismic hazards. Soil erosion may occur due to rainfall and creeks may seasonally change or rise during storm events. The project may increase impervious surfaces and therefore add to potential stormwater runoff. However, staff finds that the BMPs identified within the Improvement Plans are considered sufficient to reduce the risk of erosion during construction. Road improvements would use pervious aggregate base rock materials consistent with conditions recommended by the Department of Transportation (available on file at Planning and Building Services). Further mitigation of geologic hazards is not necessary beyond the recommended conditions of approval. On May 21, 2018, CAL FIRE issued Permit 242-18 with required fire safe standards, including driveway and defensible space standards.

The project was referred to the Mendocino Fire Protection District on October 9, 2019 and March 16, 2020. No response was received. The project is not located in a flood hazard area as mapped by the Federal Emergency Management Agency (FEMA). With conditions of approval in place, staff finds the Project to be consistent with MCC Chapter 20.500 and Town Plan Policy GM-9.

Visual Resources: The project is subject to the visual resource requirements of MCC Chapter 20.504. The site is not mapped within a Highly Scenic Area and thus is not subject to highly scenic development criteria. The site is not within a Special Treatment Area as defined in Section 20.504.025 and does not propose the installation or use of satellite receiving dishes. The site is within the Town of Mendocino, which is recognized by Section 20.504.020 as a special community. Pursuant to MCC Chapter 20.760, the project is within Historical Zone B, but does not require prior approval from the Historical Review Board because the Project is not capable of being seen by a person standing on any point in Historical Zone A. Therefore, staff finds that the Project is consistent with the development criteria for the Town of Mendocino. Staff recommends a condition of approval requiring that exterior lighting be shielded, downcast, and otherwise established in a manner consistent with Section 20.504.035. With conditions of approval in place, staff finds the Project to be consistent with MCC Chapter 20.504 and Town Plan Policy DG-5.

Archaeological/Cultural Resources: On October 9, 2019, the project was referred to local tribes for comment, including Cloverdale Rancheria, Redwood Valley Rancheria, and Sherwood Valley Band of Pomo Indians. No response was received. The project was also referred to the Northwest Information Center at Sonoma State University (NWIC). On October 22, 2019, NWIC staff responded that Study 33181 (DeGeorgey 2007) identified no cultural resources and further study was not recommended at that time. A condition of approval advises the property owner of the "Discovery Clause", which prescribes the procedures after the discovery of any archaeological or cultural resources during project activities. With the condition of approval in place, staff finds that the Project is consistent with Town Plan Policy CNS-9, MCC Chapter 22.12, and other policies intended to protect cultural resources.

Transportation, Utilities, and Public Services: In their letter from March 23, 2022, MCCSD confirmed that the property owners have a valid sewer lateral connection permit on file. The sewer right of use permit has been paid. At the time of the letter, the owners had met all MCCSD requirements for sewer service. A final permit will be issued upon completion of the project and inspection by MCCSD of the sewer lateral. The submitted Improvement Plans show the location of a septic pump tank and sewer lateral to connect to the MCCSD system. On April 25, 2023, the Department of Transportation (DOT) responded to the April 2023 referral. DOT recommended several conditions of approval, including improvement of the subdivision road within the access easement to twenty-two (22) feet using eight (8) inch minimum thickness Class 2 aggregate base rocked road, slope requirements for the subdivision road, a turnaround requirement, installation of drainage culverts where necessary, and required encroachment permits for any work done within County rights-of-way. The Unilateral Agreement recorded in association with CDMS 28-2006 included a condition of approval requiring the access road to be improved to eighteen (18) feet. The submitted Improvement Plans show a twelve (12) foot road. To ensure consistency with prior approvals while limiting possible impacts of road improvement related to erosion or nearby habitat areas, staff recommends that the access road be improved to eighteen (18) feet using eight (8) inch minimum thickness Class 2 aggregate base rocked road to provide a balance between CDMS 28-2006 requirements and current DOT standards. Therefore, staff finds the Project to be consistent with Town Plan Policy CP-1 regarding traffic safety.

ENVIRONMENTAL DETERMINATION: An Initial Study for the proposed project was completed in accordance with the California Environmental Quality Act (CEQA). It was found that some environmental impacts could occur. However, mitigation measures were identified which would render these impacts less than significant. Thus, a Mitigated Negative Declaration was prepared. The mitigation measures identified in the Initial Study have been incorporated as recommended conditions of approval.

PROJECT FINDINGS AND CONDITIONS

FINDINGS:

1. Pursuant to MCC Section 20.720.035(A)(1), the proposed development is in conformity with the certified Mendocino Town Local Coastal Program. The Mendocino Town Local Coastal Program is the Mendocino Town Plan. The site is classified as Rural Residential (RR-2) on the Mendocino Town Land Use Map. The Project meets the principal permitted use, density, height limitation, and parking requirements for the Rural Residential Classification. Therefore, the Project is consistent with Mendocino Town Plan Section 5.2. Applicable Town Plan policies include GM-6, GM-8, GM-9, DG-5, CP-1, S-1, S-2, S-3, S-4, S-5, S-6, S-11, PAR-1, CNS-7, and CNS-9. With recommended conditions of approval, the Project is consistent with these applicable policies as discussed throughout the staff report and as evidenced by the associated materials; and
2. Pursuant to MCC Section 20.720.035(A)(2), the proposed development will be provided with adequate utilities, access roads, drainage, and other necessary facilities. The applicant has provided Improvement Plans which identify measures to be undertaken during project activities to provide adequate drainage, and conditions of approval are recommended to require Best Management Practices for drainage. Conditions of approval are recommended to assure that improvement of the subdivision road matches subdivision requirements, and the property has been approved for groundwater extraction and connection to the Mendocino City Community Services District sewer system as discussed in the staff report; and
3. Pursuant to MCC Section 20.720.035(A)(3), the proposed development is consistent with the purpose and intent of the zoning district applicable to the real property on which the development is proposed, as well as the provisions of this Division, and preserves the integrity of the zoning district. The Project would establish single-family residential use and associated accessory uses, which are permitted uses in the Mendocino Rural Residential zoning district. The Project would preserve the integrity of the zoning district by restricting uses within ESHA and retaining land for potential agricultural use; and
4. Pursuant to MCC Section 20.720.035(A)(4), the proposed development will not have any significant adverse impacts on the environment within the meaning of the California Environmental Quality Act. An initial study was prepared for the proposed project. It was found that some environmental impacts could occur. However, mitigation measures were identified which would render these impacts less than significant. Thus, a Mitigated Negative Declaration was prepared. The mitigation measures identified in the Initial Study have been incorporated as recommended conditions of approval.; and
5. Pursuant to MCC Section 20.720.035(A)(5), the proposed development will not have any adverse impacts on any known archaeological or paleontological resource. An archaeological study was conducted on the property which found no cultural resources. A condition of approval is recommended requiring additional actions upon any unanticipated discovery of cultural resources during project activities in accordance with Mendocino County Code Chapter 22.12; and
6. Pursuant to MCC Section 20.720.035(A)(6), other services, including but not limited to, solid waste, public roadway capacity and proof of an adequate water supply pursuant to Chapter 20.744 have been considered and are adequate to serve the proposed development. The Project is accessed by a private road. Available capacity of the public roadway was considered when the Rural Residential land use classification was assigned to the site and when the property was subdivided. There are no solid waste landfills in Mendocino County, but transfer stations are available nearby to transport solid waste elsewhere. Proof of adequate water supply has been demonstrated as discussed in the staff report, including the letter from Mendocino City Community Services District confirming that a groundwater extraction permit for a 3-bedroom single-family residence has been approved and the associated hydrological study is still valid; and
7. Pursuant to MCC Section 20.720.035(A)(7), the proposed development is in conformance with the design standards of Section 20.760.050. The property is within Historical Zone B and is not visible from any point within Historical Zone A. As such, prior approval from the Historical Review Board is not necessary; and

8. Pursuant to MCC Section 20.720.035(D) and 20.532.100(A)(1), the proposed development is not located within an Environmentally Sensitive Habitat Area (ESHA). Rather, it is located adjacent to an ESHA within the recommended fifty (50) foot buffer area. The Project conforms to Chapter 20.712 *Environmentally Sensitive Habitat and Other Resource Areas* regulations as conditions of approval are recommended to establish appropriate buffers to identified ESHA, limitation on uses within ESHA buffers and a replanting plan is recommended to restore habitat, and appropriate findings have been made for development within identified ESHA buffer areas as discussed in the staff report and associated application materials. A project alternative was considered, and it was determined that the proposed site would limit the amount of development within the ESHA buffer while locating development further away from riparian areas and the nearby subdivision road to be improved.

CONDITIONS OF APPROVAL:

1. This action shall become final on the 11th day following the decision unless an appeal is filed pursuant to Section 20.720.015 of the Mendocino Town Zoning Code. The permit shall become effective after the 10th working day appeal period to the Coastal Commission has expired and no appeal has been filed with the Coastal Commission. This Coastal Development Permit shall expire and become null and void at the expiration of two years after the effective date, except where construction and use of the property in reliance on such permit has been initiated prior to expiration. **The applicant has sole responsibility for renewing this application before the expiration date. The County will not provide a notice prior to the expiration date.**
2. The use and occupancy of the premises shall be established and maintained in conformance with the provisions of Division III of Title 20 of the Mendocino County Code (MCC).
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and that compliance therewith is mandatory, unless an amendment has been approved by the Coastal Permit Administrator.
4. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State, and Federal agencies having jurisdiction, including all required Building Permits for the proposed project as required by the Building Division of the Department of Planning and Building Services.
5. This permit shall be subject to revocation or modification upon a finding of any one or more of the following:
 - a. The permit was obtained or extended by fraud.
 - b. One or more of the conditions upon which the permit was granted have been violated.
 - c. The use for which the permit was granted is conducted so as to be detrimental to the public health, welfare or safety, or to be a nuisance.
 - d. A final judgement of a court of competent jurisdiction has declared one or more conditions to be void or ineffective or has enjoined or otherwise prohibited the enforcement or operation of one or more such conditions.
6. This Coastal Development Permit is issued without a legal determination having been made upon the number, size or shape of parcels encompassed within the permit described boundaries. Should, at any time, a legal determination be made that the number, size, or shape of parcels within the permit described boundaries are different than that which is legally required by this permit, this permit shall become null and void.
7. If any archaeological sites or artifacts are discovered during site excavation or construction activities, the applicant shall cease and desist from all further excavation and disturbances within one hundred

(100) feet of the discovery and make notification of the discovery to the Director of Planning and Building Services. The Director will coordinate further actions for the protection of the archaeological resources in accordance with Section 22.12.190 of the Mendocino County Code.

8. In accordance with MCC Section 20.719.020(A), a one hundred (100) foot buffer area shall be established from the identified Stream ESHA as mapped in the August 23, 2019 Update Letter to Botanical Survey prepared by Spade Natural Resources Consulting.
9. In accordance with MCC Section 20.719.020(A), a fifty (50) foot buffer area shall be established from the identified Grand Fir Forest ESHA as mapped by the red dotted line in the July 28, 2020 Special Status Community Avoidance and Replanting Plan prepared by Spade Natural Resources Consulting.
10. This permit authorizes development of portions of the single-family residence garage, and appurtenant structures associated with CDP_2018-0012 within the fifty (50) foot buffer area. However, future development within the established buffer areas not authorized by CDP_2018-0012 shall be limited to Open Space Use Types and shall require a Coastal Development Permit or permit amendment, except exemptions allowed by MCC Section 20.720.020(A)(1) for repair and maintenance activities.
11. This permit authorizes a sewer connection to Mendocino City Community Services District and installation of an on-site septic tank intended to connect to a sewer lateral. A Coastal Development Permit shall be required for development of any future on-site solid waste treatment system.
12. Exterior lighting shall be kept to the minimum necessary for safety and security purposes, shall be downcast and shielded, and shall be positioned in a manner that will not shine light or allow light glare to extend beyond the boundaries of the parcel.
13. The property owner shall comply with special status bird and bat, special status amphibian, Northern Red-Legged Frog, Sonoma Tree Vole, and Special Status Habitat avoidance measures as described in the August 23, 2019 Update Letter to Botanical Survey and March 26, 2020 Report of Compliance prepared by Spade Natural Resources Consulting.
14. The property owner shall comply with the Impact Avoidance Plan described in the July 28, 2020 Special Status Community Avoidance and Replanting Plan prepared by Spade Natural Resources Consulting, including staging, fencing, erosion, sedimentation, and dust control, invasive plant contamination avoidance, spill prevention, and contractor education.
15. The property owner is notified of the recommendations for invasive plant removal as described in the March 26, 2020 Report of Compliance prepared by Spade Natural Resources Consulting.
16. Standard Best Management Practices (BMPs) shall be employed during construction activities to avoid or minimize erosion, sedimentation, and storm water pollution from construction activities. Additional measures shall be employed as described in the 2023 Improvement Plans prepared by Pope Engineering.
17. Restoration planting shall occur as follows:
 - a. Prior to issuance of a certificate of occupancy, restoration planting will occur as shown in Figure 2 of the Special Status Community Avoidance and Replanting Plan prepared by Spade Natural Resources Consulting. Should adjustments need to be made to accommodate available plant species, changing regulatory protocols or changes of circumstance that prevent planting as shown, an alternative planting plan shall be reviewed by the Coastal Permit Administrator or their designee in consultation with California Department of Fish & Wildlife staff.
 - b. Plants used will be purchased in a minimum 5-gallon size container and will be irrigated or hand watered daily to twice a week as need for at least the first dry season. Plants will be

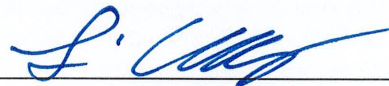
protected from deer browse and dead plants will be replaced as needed.

- c. If any detrimental impacts to the mapped Grand Fir Forest occur during project implementation, all disturbances to the sensitive area shall cease. Any equipment or materials shall be removed from the area. The head contractor shall contact the Department of Planning & Building Services. Planning & Building Services staff shall consult with California Department of Fish & Wildlife staff, who may be allowed on site to assess and record the extent of the disturbance. If needed, any disturbed soils shall be replaced to previous conditions to the extent feasible.
 - d. Monitoring will occur until replacement goals are achieved as described in the Special Status Community Avoidance and Replanting Plan prepared by Spade Natural Resources Consulting.
18. Prior to the issuance of a Building Permit associated with CDP_2018-0012, the property owner shall execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall provide that:
- a. The conditions of Permit CDP_2018-0012 are imposed as covenants, conditions and restrictions on the use and enjoyment of the property; and
 - b. The adopted findings and conditions approving CDP_2018-0012 shall be attached as exhibits to the Deed Restriction.
 - c. An exhibit shall identify the property boundaries, all easements, wells, and the Grand Fir Forest ESHA, Riparian ESHA, and their buffers, and the 50-foot wide restoration planting area. The exhibit shall be prepared to the satisfaction of the Coastal Permit Administrator or their designee.
 - d. The document shall run with the land, bind all successors and assigns, and shall be recorded free of all prior liens and encumbrances, except for tax liens.
19. This entitlement does not become effective or operative and no work shall be commenced under this entitlement until the California Department of Fish and Wildlife filing fees required or authorized by Section 711.4 of the Fish and Game Code are submitted to the Mendocino County Department of Planning and Building Services. Said fee of \$2,814.00 or current fee shall be made payable to the Mendocino County Clerk and submitted to the Department of Planning and Building Services within five (5) days of the end of any appeal period. Any waiver of the fee shall be on a form issued by the Department of Fish and Wildlife upon their finding that the project has "*no effect*" on the environment. If the project is appealed, the payment will be held by the Department of Planning and Building Services until the appeal is decided. Depending on the outcome of the appeal, the payment will either be filed with the County Clerk (if the project is approved) or returned to the payer (if the project is denied). Failure to pay this fee by the specified deadline shall result in the entitlement becoming null and void. **The applicant has the sole responsibility to ensure timely compliance with this condition.**
20. Any outstanding code violations associated with storing an unassembled residence on the site shall be resolved to the satisfaction of the Mendocino County Code Enforcement Division prior to expiration of CDP_2018-0012.
21. The property owner shall comply with those recommendations in the California Department of Forestry and Fire Protection Conditions of Approval (CAL FIRE File Number 242-18) or other alternative acceptable to the Department of Forestry and Fire Protection. Prior to final inspection of the building permit for the single-family residence, written verification shall be submitted from the Department of Forestry and Fire Protection (CAL FIRE) to the Department of Planning and Building Services that this condition has been met to their satisfaction.

22. The subdivision road within the access easement located on APN 119-090-46 shall be improved in accordance with County of Mendocino Road and Development Standards drawing A10H and the following minimum standards: **Eighteen (18) foot wide, eight (8) inch minimum thickness Class 2 aggregate base rocked road.**
23. Grades for subdivision roads must not exceed sixteen percent (16%). Where topography requires grades of greater than 16%, if requested in writing by applicant and if approved in writing by the applicable fire protection service provider(s), the Director of Transportation may approve grades exceeding 16% provided that such grades are surfaced with a double chip seal and contain turnouts and other features consistent with Fire Safe Regulations. The process of allowing grades exceeding 16% shall be in accordance with County of Mendocino Road and Development Standards Tab H – Exception Procedures.
24. A 40-foot radius turnaround shall be constructed within a 50-foot radius easement at terminus of access easement to the satisfaction of the Mendocino County Department of Transportation. Where topography precludes the use of a cul-de-sac design, and if approved in writing by the applicable fire protection service provider(s), in lieu of the turnaround described above, subdivider shall construct a "Hammerhead-T" turnaround within a forty (40) foot wide by eighty (80) foot long easement at the terminus of the access easement. Turnaround shall be constructed with eight (8) inch minimum rock base, twenty (20) feet wide and sixty (60) feet long, with twenty (20) foot radius surfacing returns.
25. Drainage culverts shall be installed or replaced where necessary in association with road improvements. New or replaced culverts shall be a minimum of 12 inches in diameter and designed by a California Registered Civil Engineer to accommodate the 10-year storm event with a headwater to depth ratio of no greater than 1.0. In no case shall a new or replaced culvert be smaller than an upstream culvert.
26. Any proposed work within County rights-of-way requires obtaining an encroachment permit from the Mendocino County Department of Transportation.
27. No structure or portion of any structure shall be located within the access easement as described in the Unilateral Agreement associated with CDMS 28-2006 (Document No. 2008-04850).
28. The property owner shall comply with applicable recommendations contained in the Subsurface Investigation Report prepared in association with the project, dated May 16, 2023.

7/6/23

DATE



LIAM CROWLEY
PLANNER II

Appeal Period: 10 Days

Appeal Fee: \$2,674.00

ATTACHMENTS:

- | | |
|--|---|
| A. Location Map | J. LCP Habitats & Resources |
| B. Topographic Map | K. Appealable Areas |
| C. Aerial Imagery (Vicinity) | L. Adjacent Parcels |
| D. Aerial Imagery (Detail) | M. Fire Hazard Zones & Responsibility Areas |
| E. Topographic Map | N. Wetlands |
| F. Site Plan | O. Ground Water Resources |
| G. Zoning Display Map | P. Local Soils |
| H. General Plan Classifications | Q. Water Districts |
| I. LCP Land Capabilities & Natural Hazards | R. Improvement Plans |
| | S. Building Plans and Elevations |

T. 1998 Aerial Imagery
U. 2003 Aerial Imagery
V. 2005 Aerial Imagery
W. 2009 Aerial Imagery
X. 2010 NAIP Imagery
Y. 2012 Aerial Imagery

Z. 2014 NAIP Imagery
AA. MCCSD Letter
BB. ESHA Buffer Map
CC. ESHA Replanting Plan
DD. Botanical Update Letter
EE. 6-7-23 CDFW Comments

MITIGATED NEGATIVE DECLARATION / Initial Study available online at:





<https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/coastal-permit-administrator>

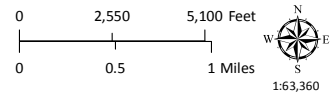


SUBJECT PARCEL/S



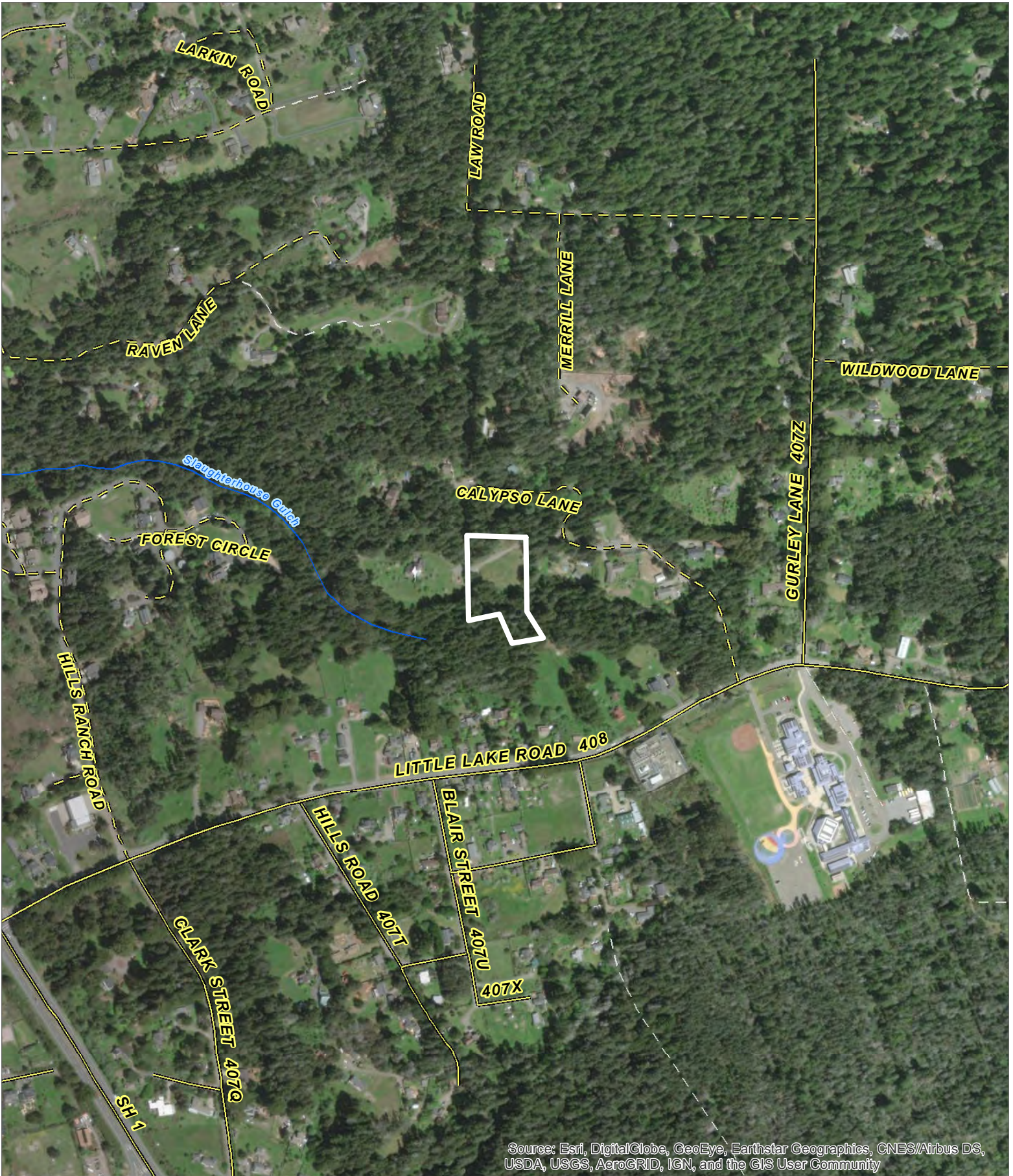
CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
 APN: 119-090-46
 APLCT: Noah Sheppard
 AGENT:
 ADDRESS: 10760 Calypso Lane, Mendocino

-  Major Towns & Places
-  Major Roads
-  Major Rivers
-  Highways







LOCATION MAP

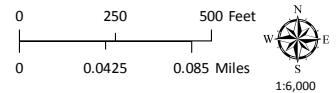
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Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

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-  Named Rivers
-  Driveways/Unnamed Roads
-  Public Roads
-  Private Roads



AERIAL IMAGERY

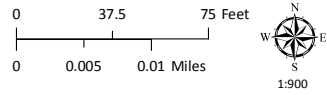
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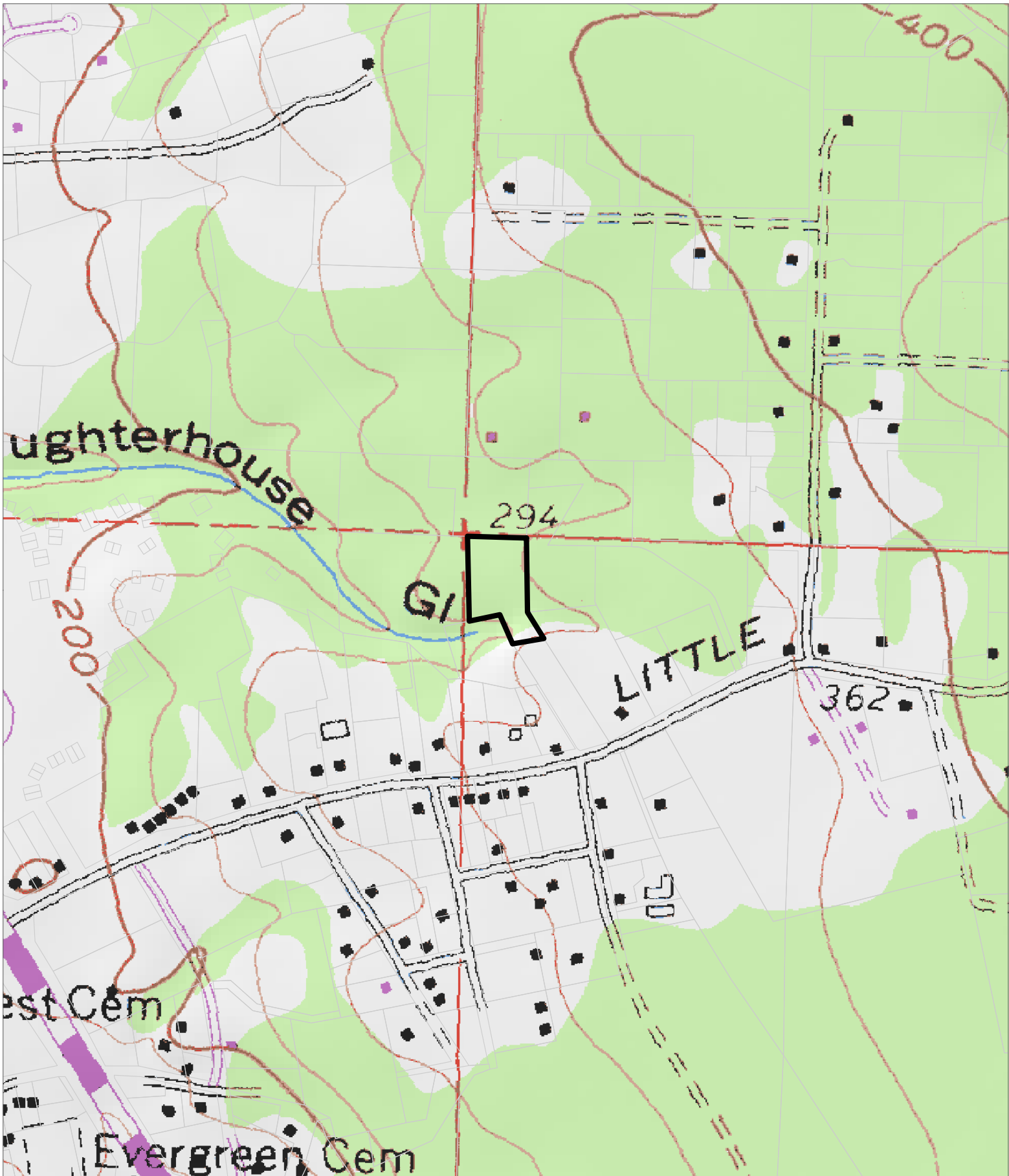
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APLCT: Noah Sheppard
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ADDRESS: 10760 Calypso Lane, Mendocino

== Private Roads

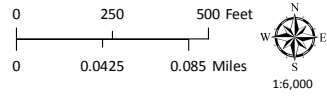


AERIAL IMAGERY

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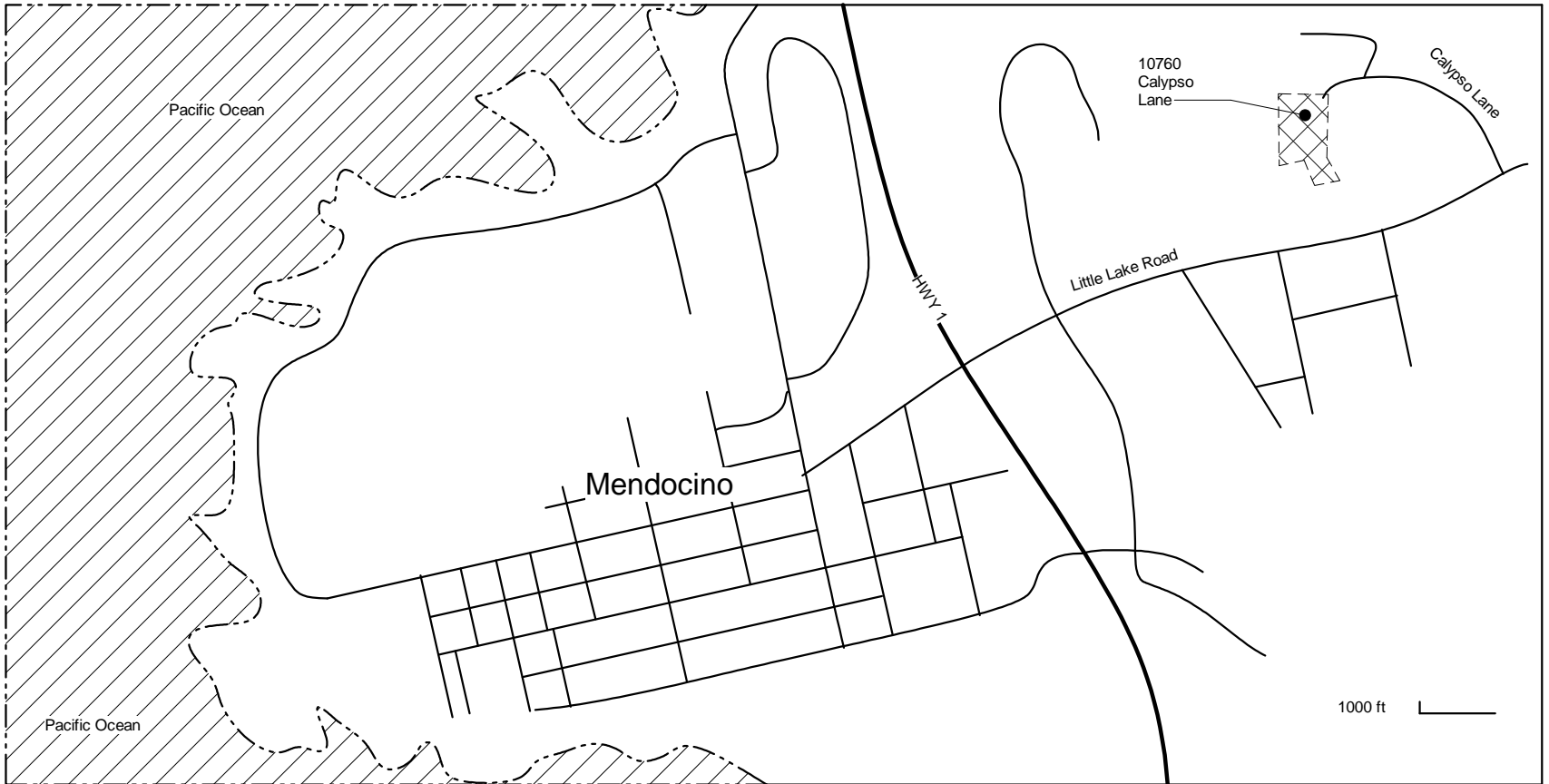
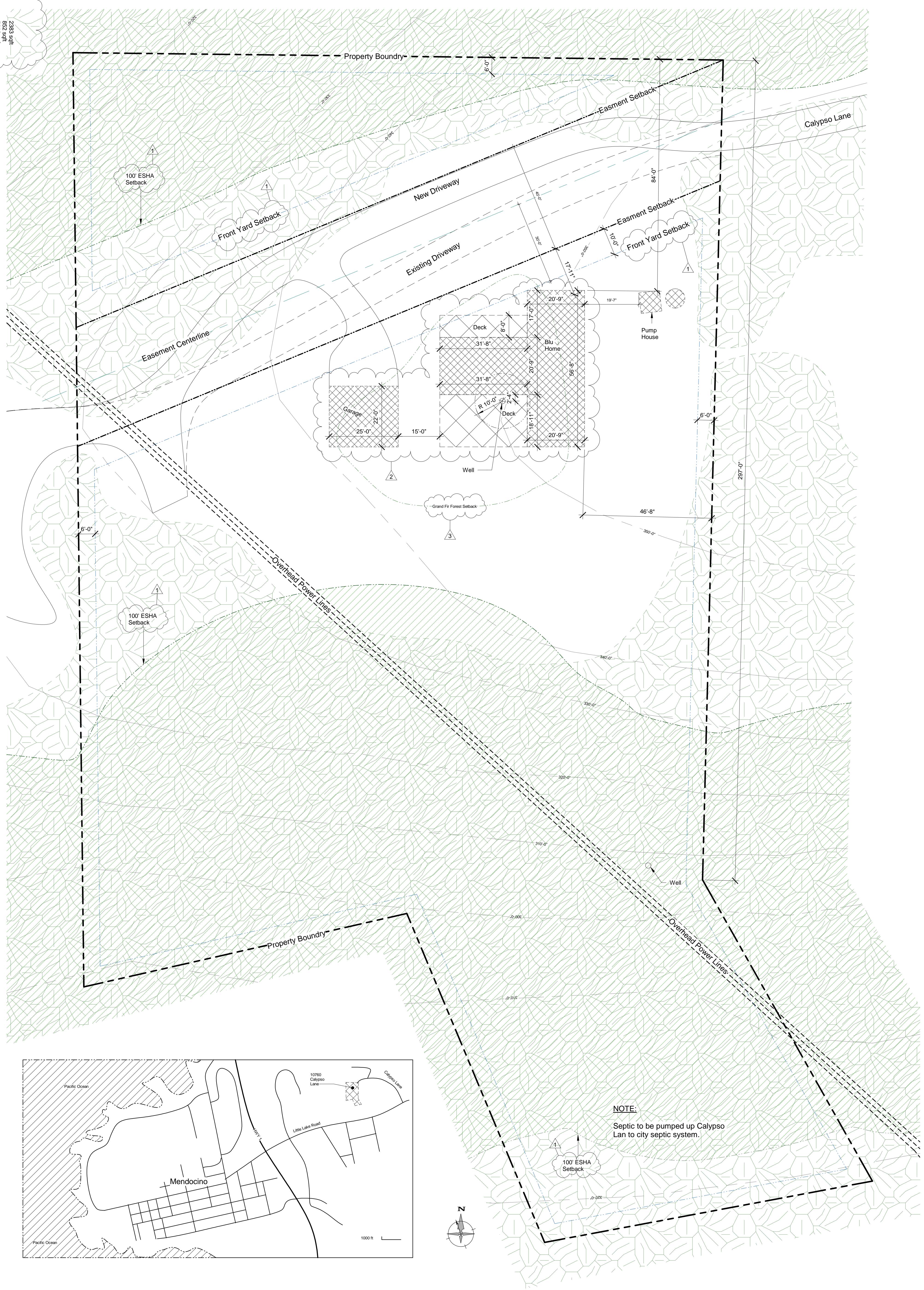
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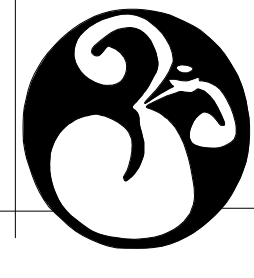
TOPOGRAPHIC MAP
 CONTOUR INTERVAL IS 40 FEET

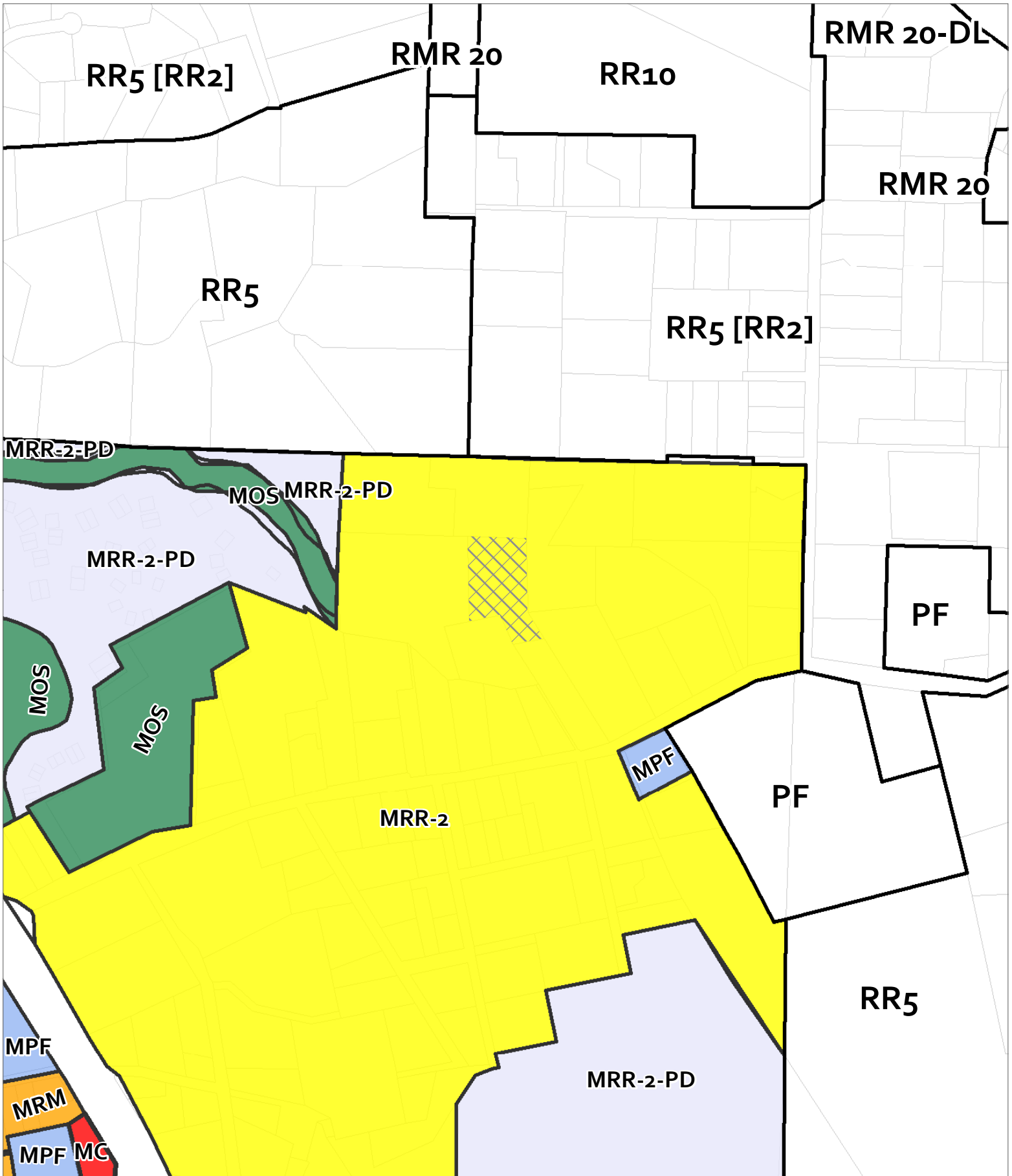
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Areas:
 Building Area - 2383 sqft
 Deck Area - 852 sqft
 Handicapped Area - 5110 sqft



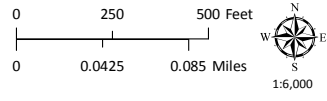
1 Site - CDP
 1/16" = 1'-0"

Site	SCALE : As indicated	CDP 1.1	APN # : 119-09-046	Sheppard, Noah Calypso Lane Property 10760 Calypso Lane, Mendocino, CA 95460	REVISIONS: <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>CDP Revision 1</td> <td>09/09/2019</td> </tr> <tr> <td>2</td> <td>CDP Revision 2</td> <td>03/05/2020</td> </tr> <tr> <td>3</td> <td>CDP Revision 3</td> <td>08/03/2020</td> </tr> </tbody> </table>	No.	Description	Date	1	CDP Revision 1	09/09/2019	2	CDP Revision 2	03/05/2020	3	CDP Revision 3	08/03/2020	CONTRACTORS: <div style="text-align: center;">  <p>Aum Construction Inc. General Contractor Lic. 817115 www.AumConstruction.com</p> </div>
	No.		Description			Date												
1	CDP Revision 1	09/09/2019																
2	CDP Revision 2	03/05/2020																
3	CDP Revision 3	08/03/2020																
DATE : 09/29/2019 DRAWN BY : SILC																		



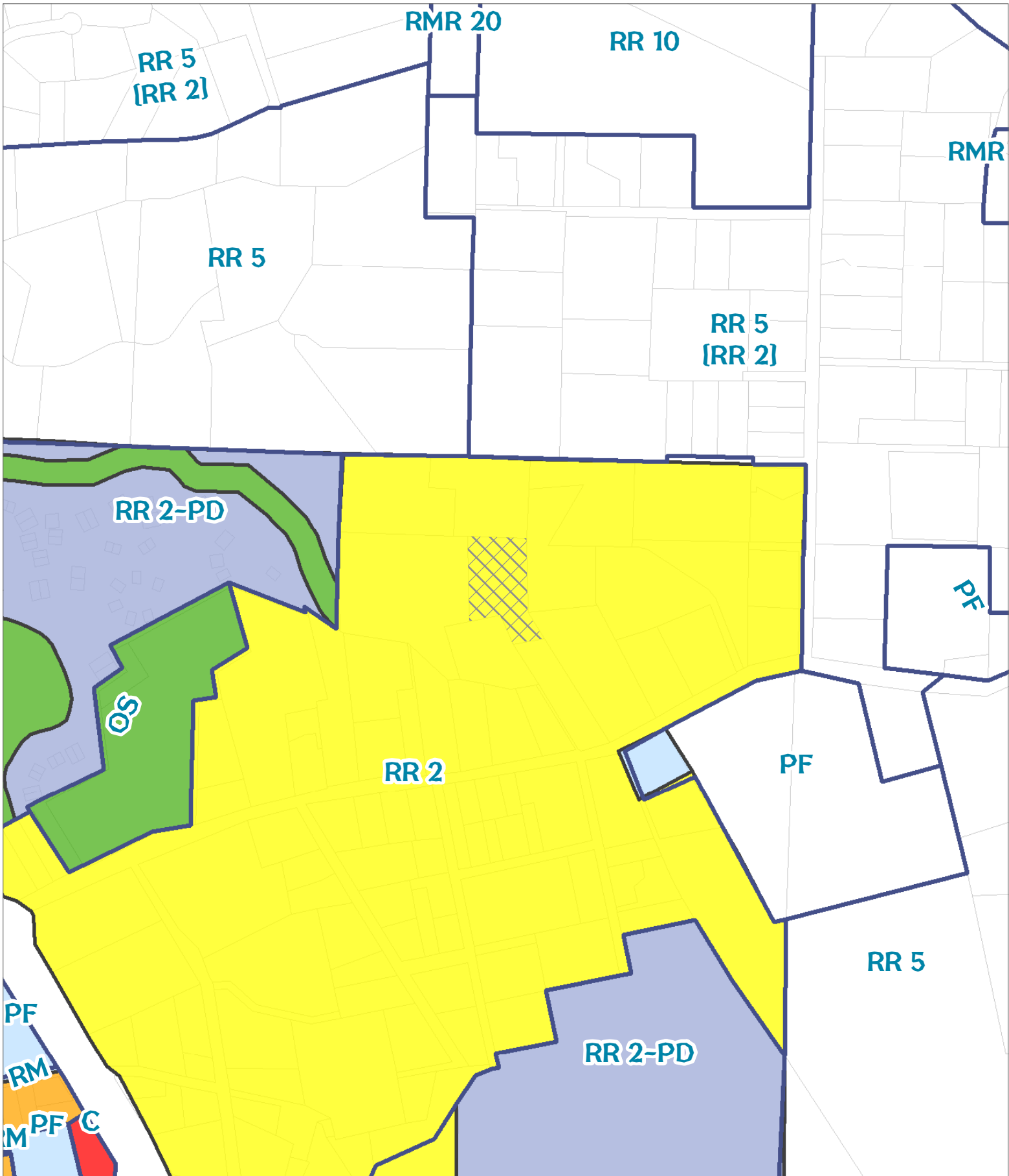
CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
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 Zoning Districts




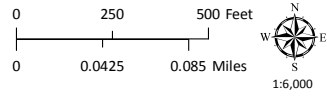
ZONING DISPLAY MAP

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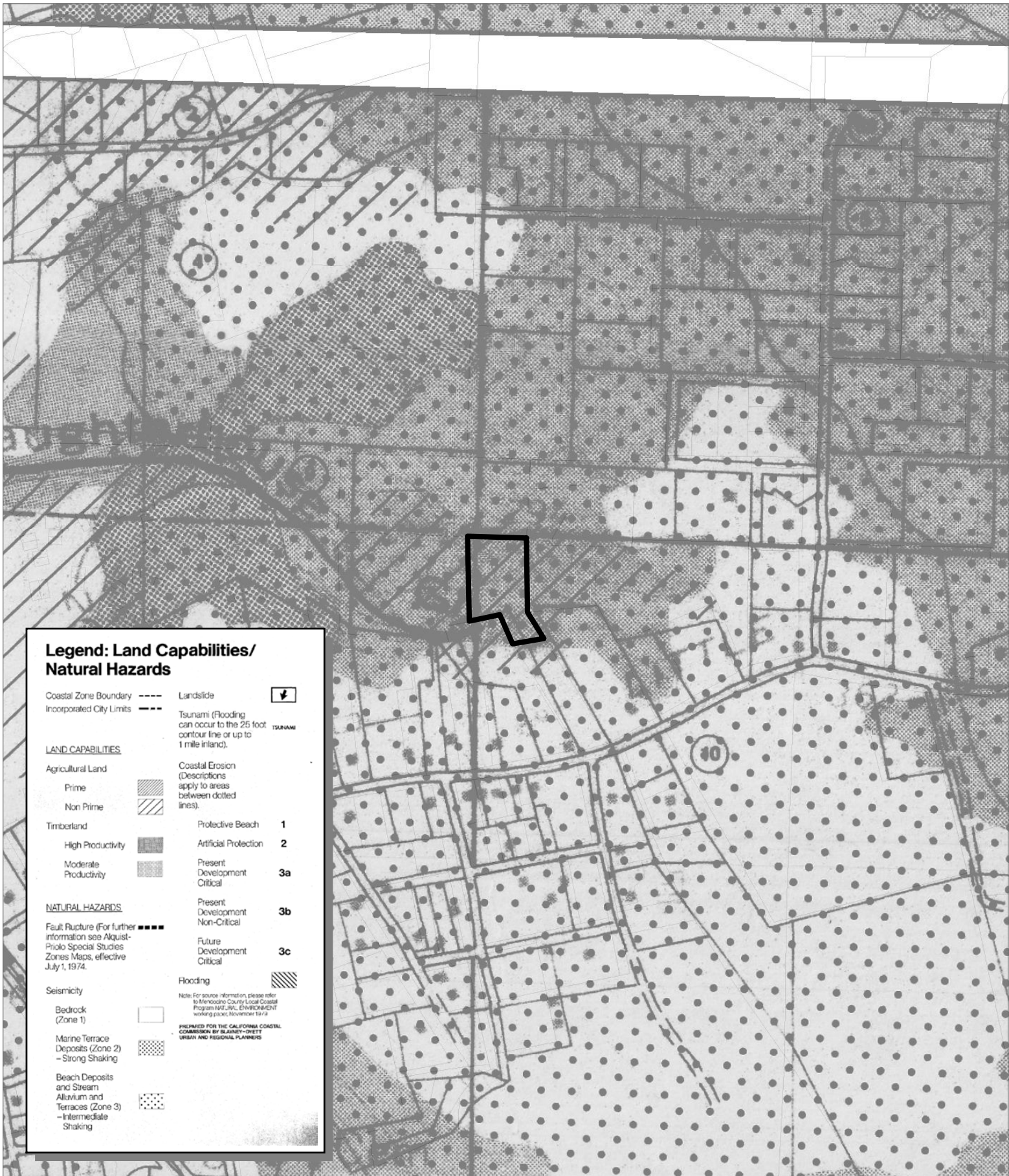
CASE: CDP 2018-0012
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 General Plan Classes



GENERAL PLAN CLASSIFICATIONS

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**Legend: Land Capabilities/
Natural Hazards**

Coastal Zone Boundary - - - - -
 Incorporated City Limits - - - - -

LAND CAPABILITIES

Agricultural Land
 Prime [diagonal lines] Non Prime [cross-hatch]

Timberland
 High Productivity [stippled] Moderate Productivity [dotted]

NATURAL HAZARDS

Fault Rupture (For further information see Alquist-Prado Special Studies Zones Maps, effective July 1, 1974) [thick dashed line]

Seismicity
 Bedrock (Zone 1) [white] Marine Terrace Deposits (Zone 2) - Strong Shaking [cross-hatch] Beach Deposits and Stream Alluvium and Terraces (Zone 3) - Intermediate Shaking [dotted]

Landslide [arrow pointing down]

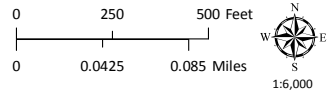
Tsunami (Flooding can occur to the 25 foot contour line or up to 1 mile inland). [wavy line]

Coastal Erosion (Descriptions apply to areas between dotted lines).
 Protective Beach 1
 Artificial Protection 2
 Present Development Critical 3a
 Present Development Non-Critical 3b
 Future Development Critical 3c

Flooding [diagonal lines]

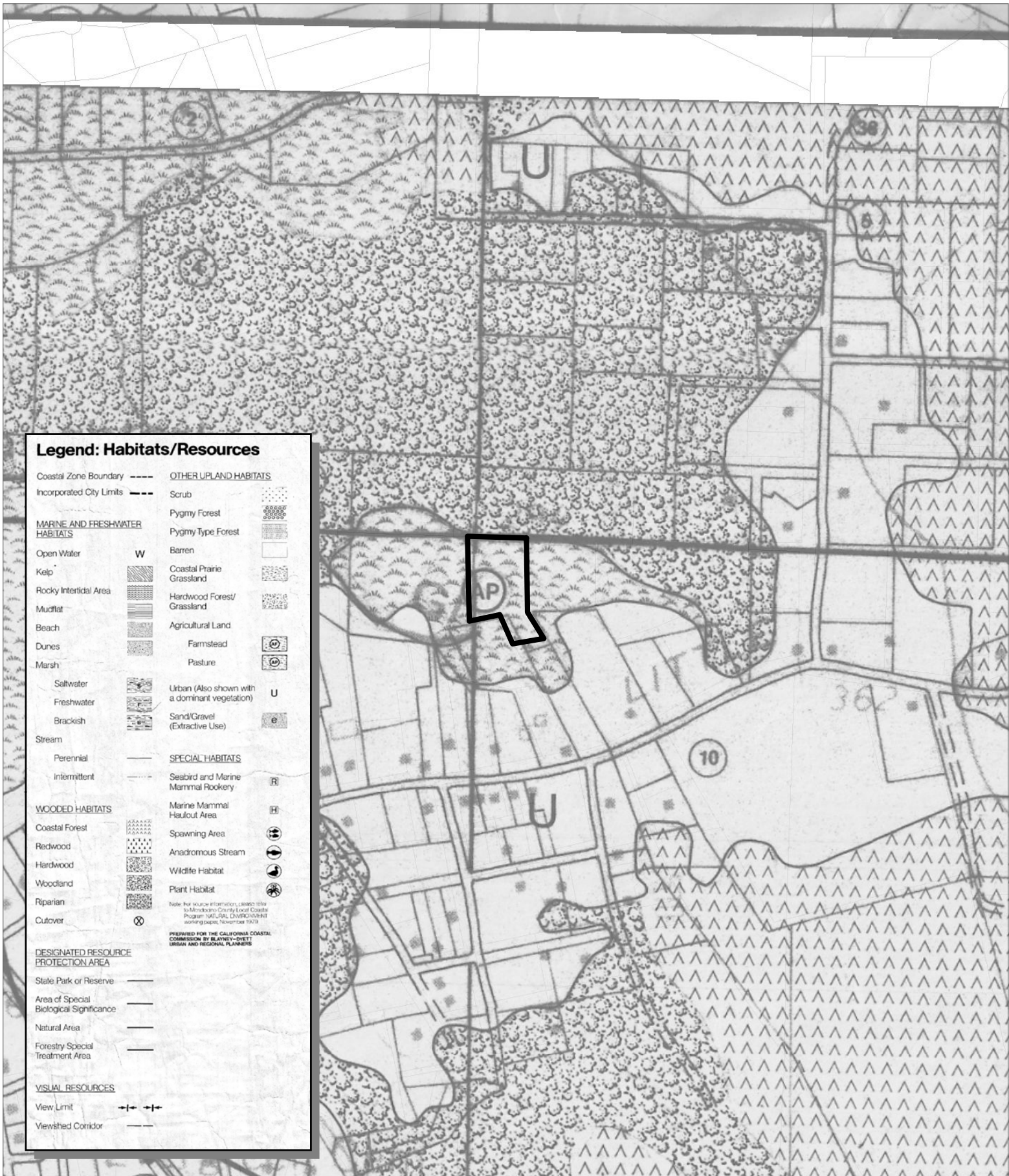
Note: For source information, please refer to Mendocino County Local Coastal Program NATURAL ENVIRONMENT working plan, November 2014.
 PREPARED FOR THE CALIFORNIA COASTAL COMMISSION BY BLAVNEY-OVETT URBAN AND REGIONAL PLANNERS

CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
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LCP LAND CAPABILITIES & NATURAL HAZARDS

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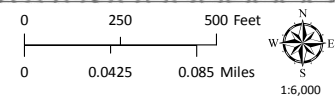
Legend: Habitats/Resources

Coastal Zone Boundary	----	OTHER UPLAND HABITATS
Incorporated City Limits	----	Scrub
MARINE AND FRESHWATER HABITATS		
Open Water	W	Pygmy Forest
Kelp	[Pattern]	Pygmy Type Forest
Rocky Intertidal Area	[Pattern]	Barren
Mudflat	[Pattern]	Coastal Prairie Grassland
Beach	[Pattern]	Hardwood Forest/ Grassland
Dunes	[Pattern]	Agricultural Land
Marsh	[Pattern]	Farmstead
Saltwater	[Pattern]	Pasture
Freshwater	[Pattern]	Urban (Also shown with a dominant vegetation)
Brackish	[Pattern]	Sand/Gravel (Extractive Use)
Stream	[Pattern]	
Perennial	—	SPECIAL HABITATS
Intermittent	---	Seabird and Marine Mammal Rookery
WOODED HABITATS		
Coastal Forest	[Pattern]	Marine Mammal Haulout Area
Redwood	[Pattern]	Spawning Area
Hardwood	[Pattern]	Anadromous Stream
Woodland	[Pattern]	Wildlife Habitat
Riparian	[Pattern]	Plant Habitat
Cutover	[Pattern]	
DESIGNATED RESOURCE PROTECTION AREA		
State Park or Reserve	—	
Area of Special Biological Significance	—	
Natural Area	—	
Forestry Special Treatment Area	—	
VISUAL RESOURCES		
View Limit	---+---+---	
Viewshed Corridor	---	

Note: For source information, please refer to Mendocino County Local Coastal Program NATURAL ENVIRONMENT zoning page, November 1978.

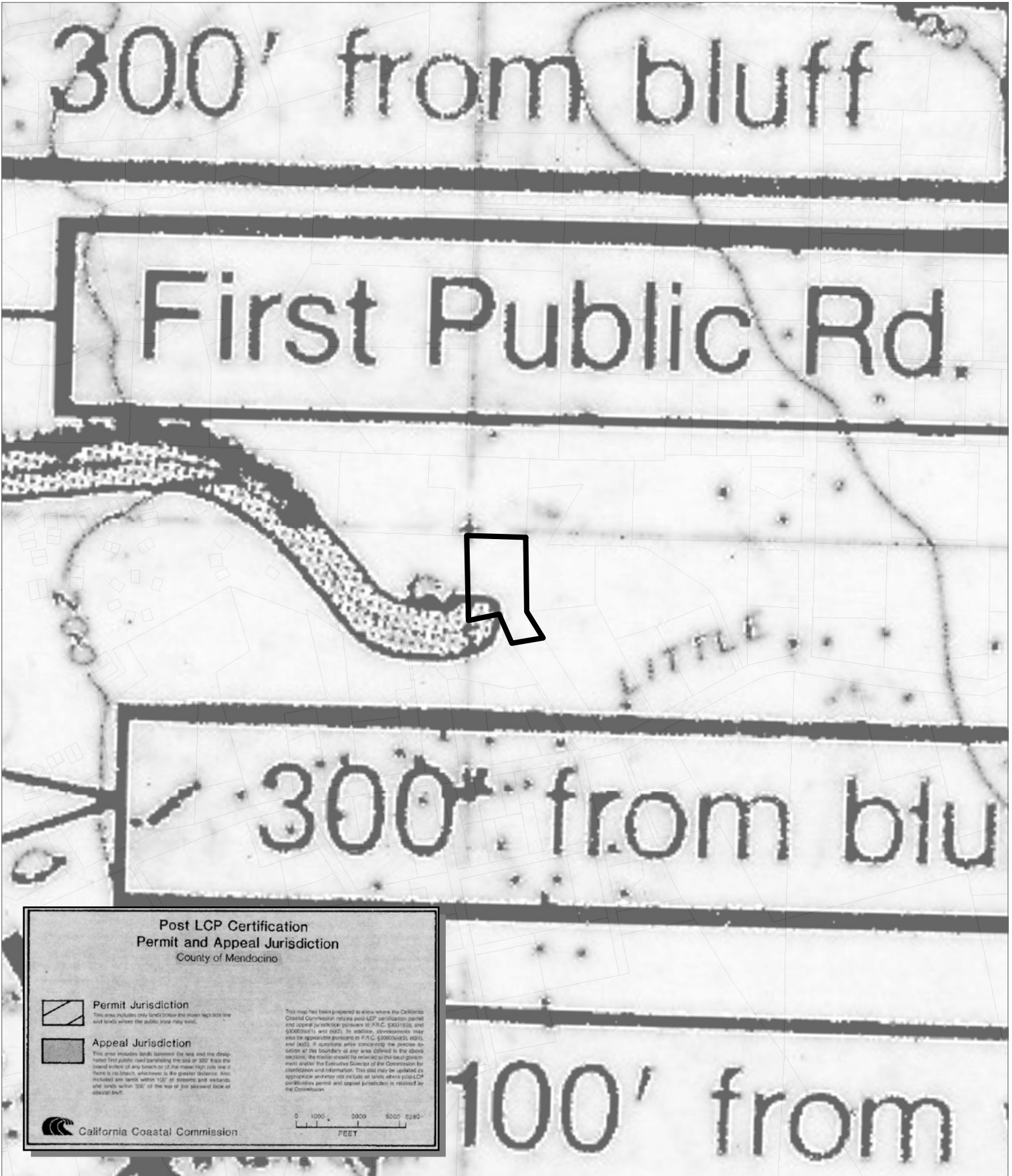
PREPARED FOR THE CALIFORNIA COASTAL COMMISSION BY BLAYNEY-DVETT URBAN AND REGIONAL PLANNERS

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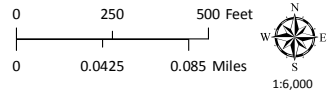


LCP HABITATS & RESOURCES

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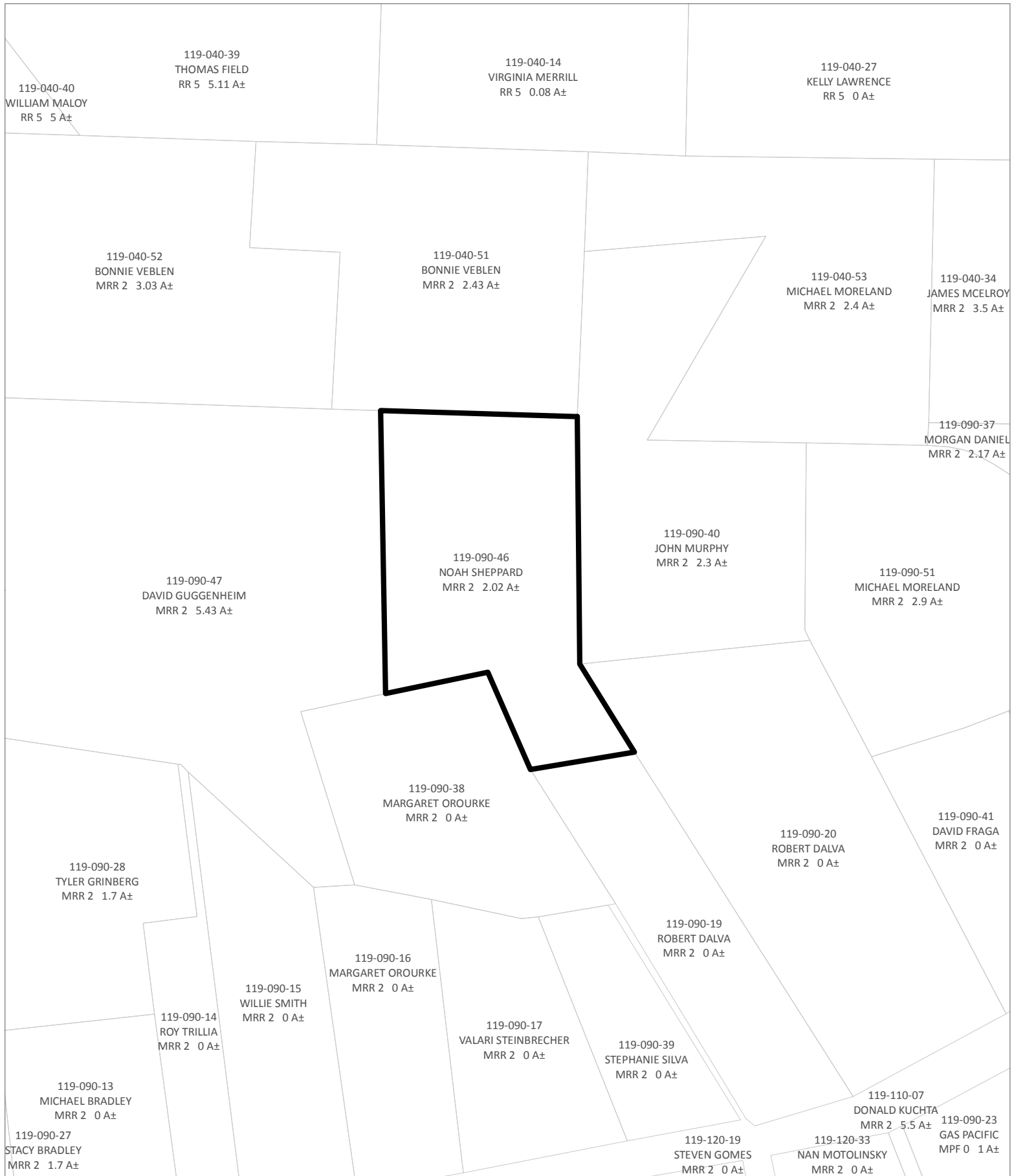


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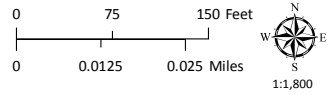


APPEALABLE AREAS

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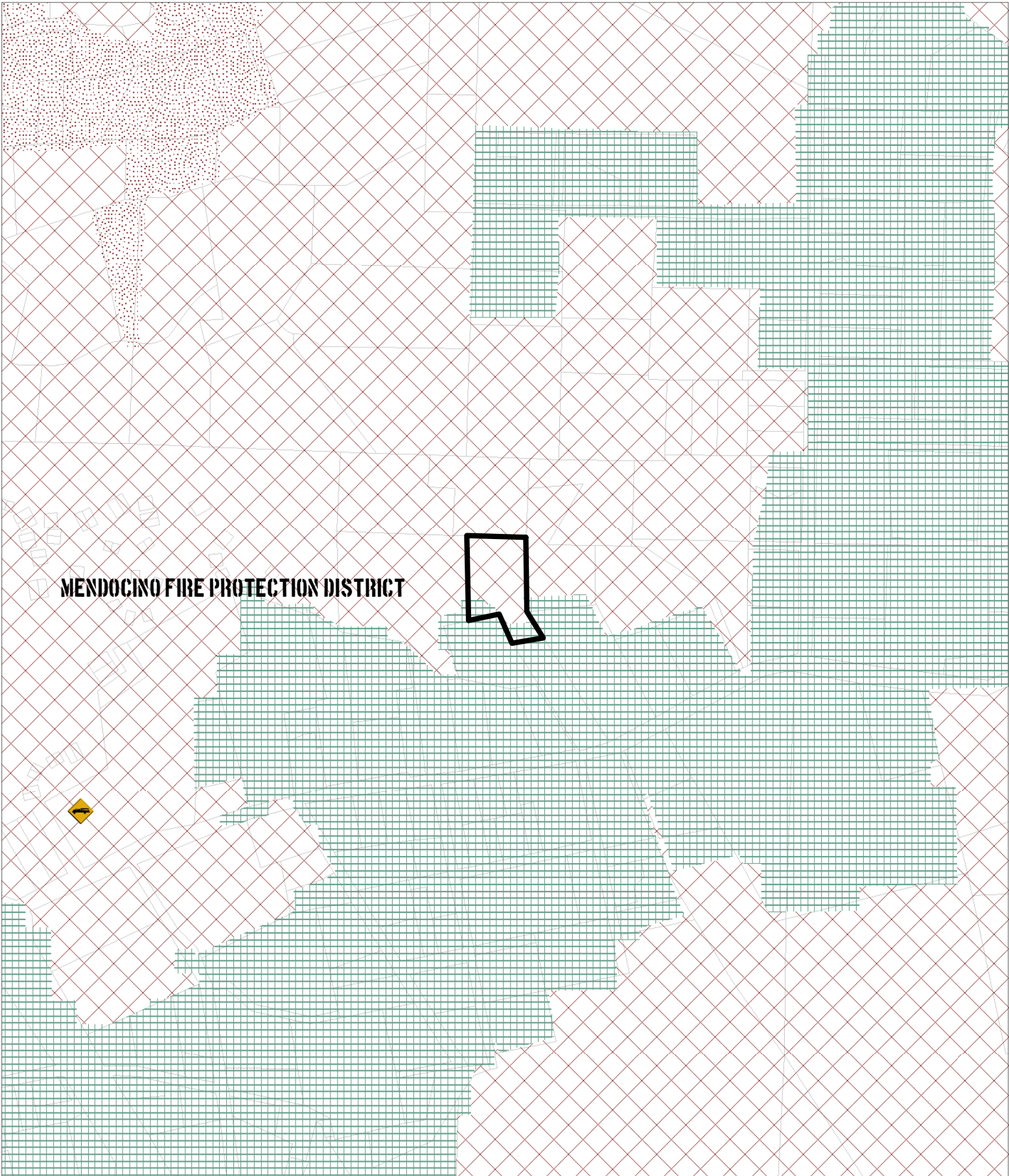


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ADJACENT PARCELS



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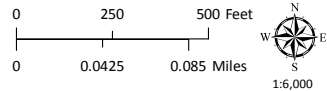


MENDOCINO FIRE PROTECTION DISTRICT

CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
 APN: 119-090-46
 APLCT: Noah Sheppard
 AGENT:
 ADDRESS: 10760 Calypso Lane, Mendocino

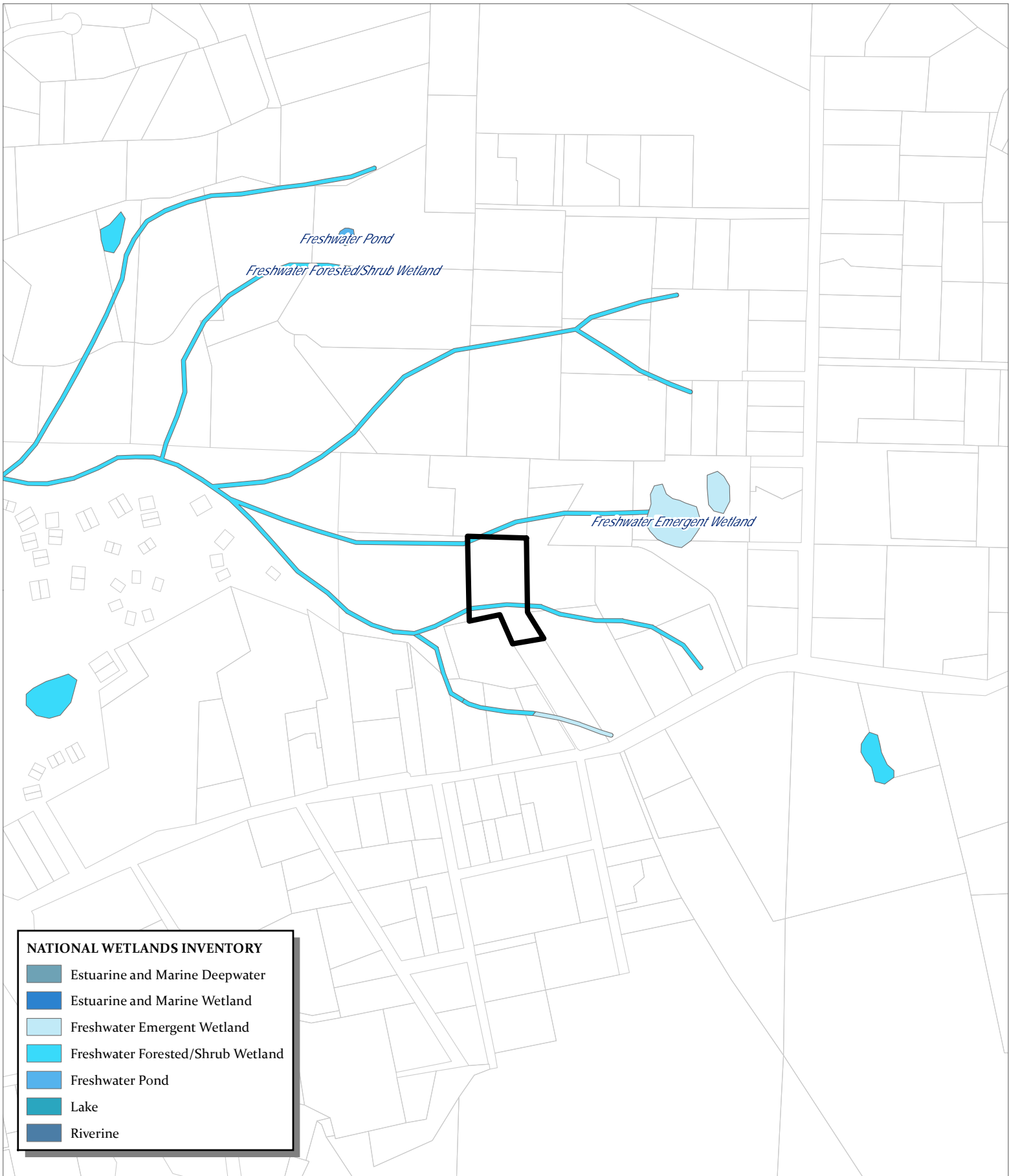
-  Fire Stations
-  County Fire Districts
-  Very High Fire Hazard

-  High Fire Hazard
-  Moderate Fire Hazard



FIRE HAZARD ZONES & RESPONSIBILITY AREAS
 STATE RESPONSIBILITY AREA








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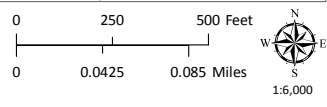
Freshwater Pond
Freshwater Forested/Shrub Wetland

Freshwater Emergent Wetland

NATIONAL WETLANDS INVENTORY

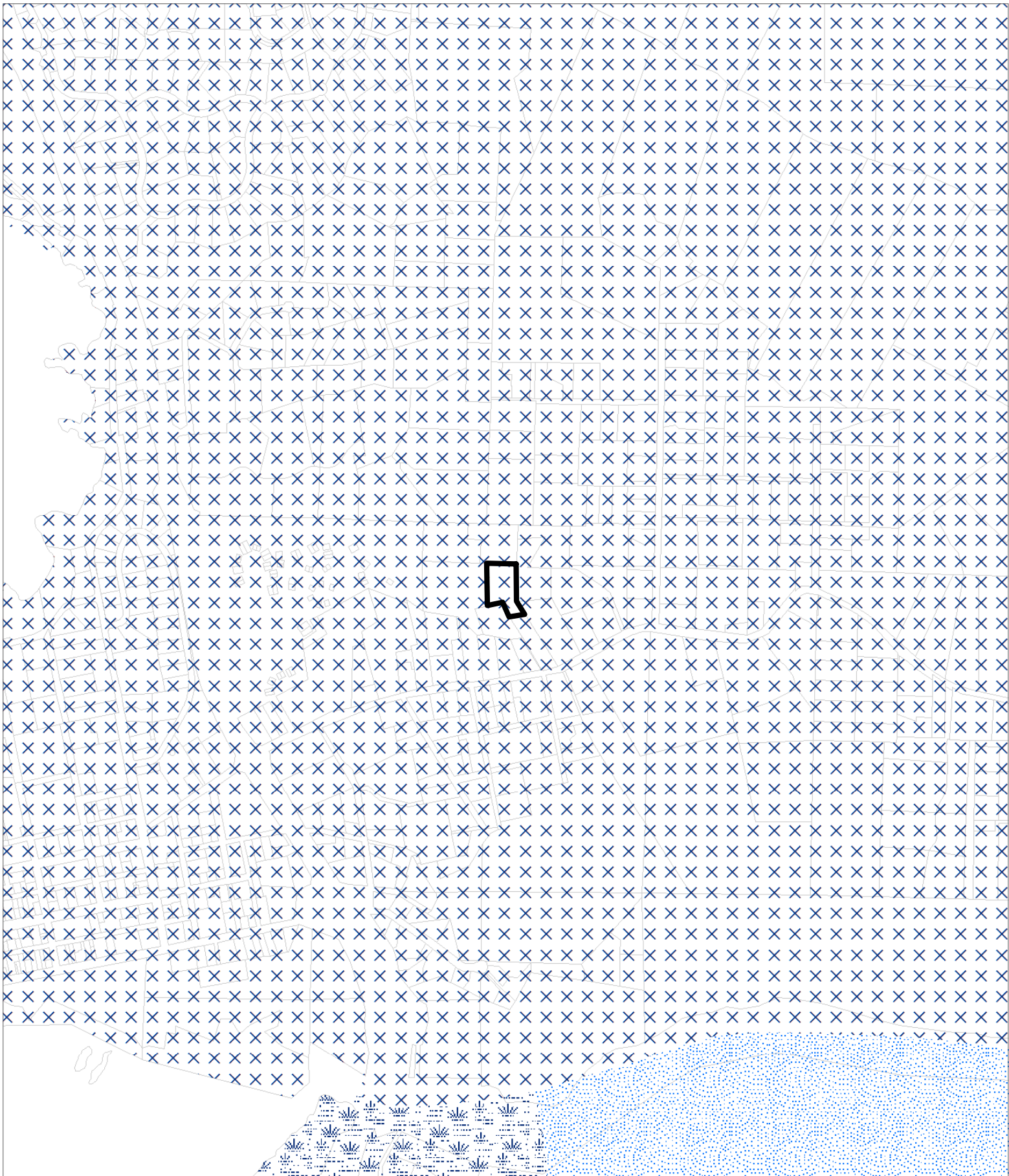
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine

CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
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



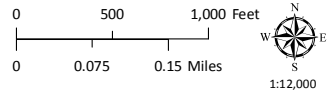
WETLANDS

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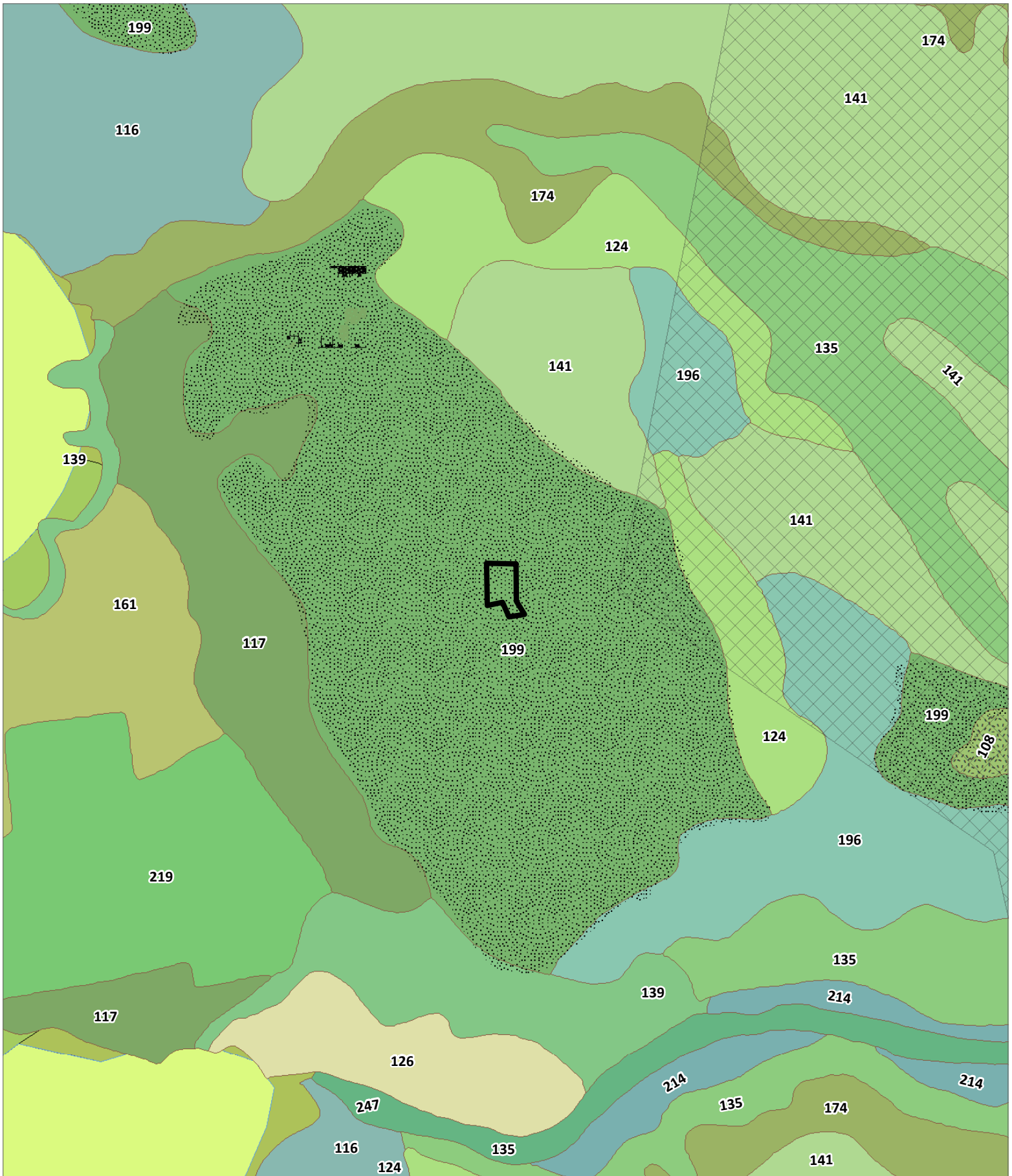
CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
 APN: 119-090-46
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 AGENT:
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-  Critical Water Areas
-  Sufficient Water Resources
-  Marginal Water Resources







GROUND WATER RESOURCES

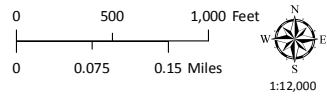
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CASE: CDP 2018-0012
 OWNER: SHEPPARD, Noah & Zoe
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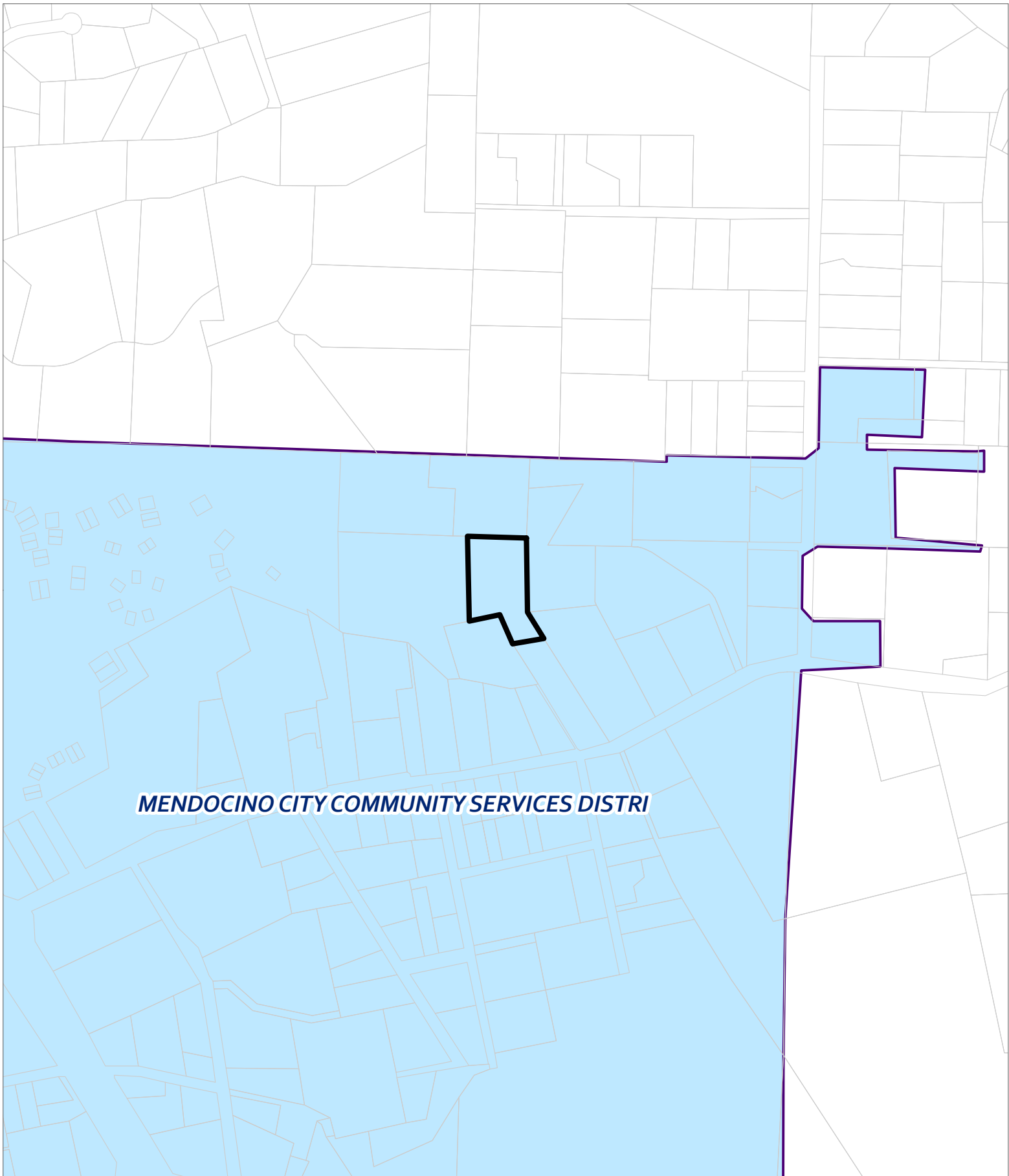
-  Blacklock & Aborigine
-  Shinglemill-Gibney Complex
-  Bishop Pine

 Western Study Soil Types



LOCAL SOILS

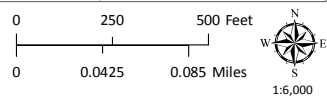
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MENDOCINO CITY COMMUNITY SERVICES DISTRI

CASE: CDP 2018-0012
OWNER: SHEPPARD, Noah & Zoe
APN: 119-090-46
APLCT: Noah Sheppard
AGENT:
ADDRESS: 10760 Calypso Lane, Mendocino

 County Water Districts

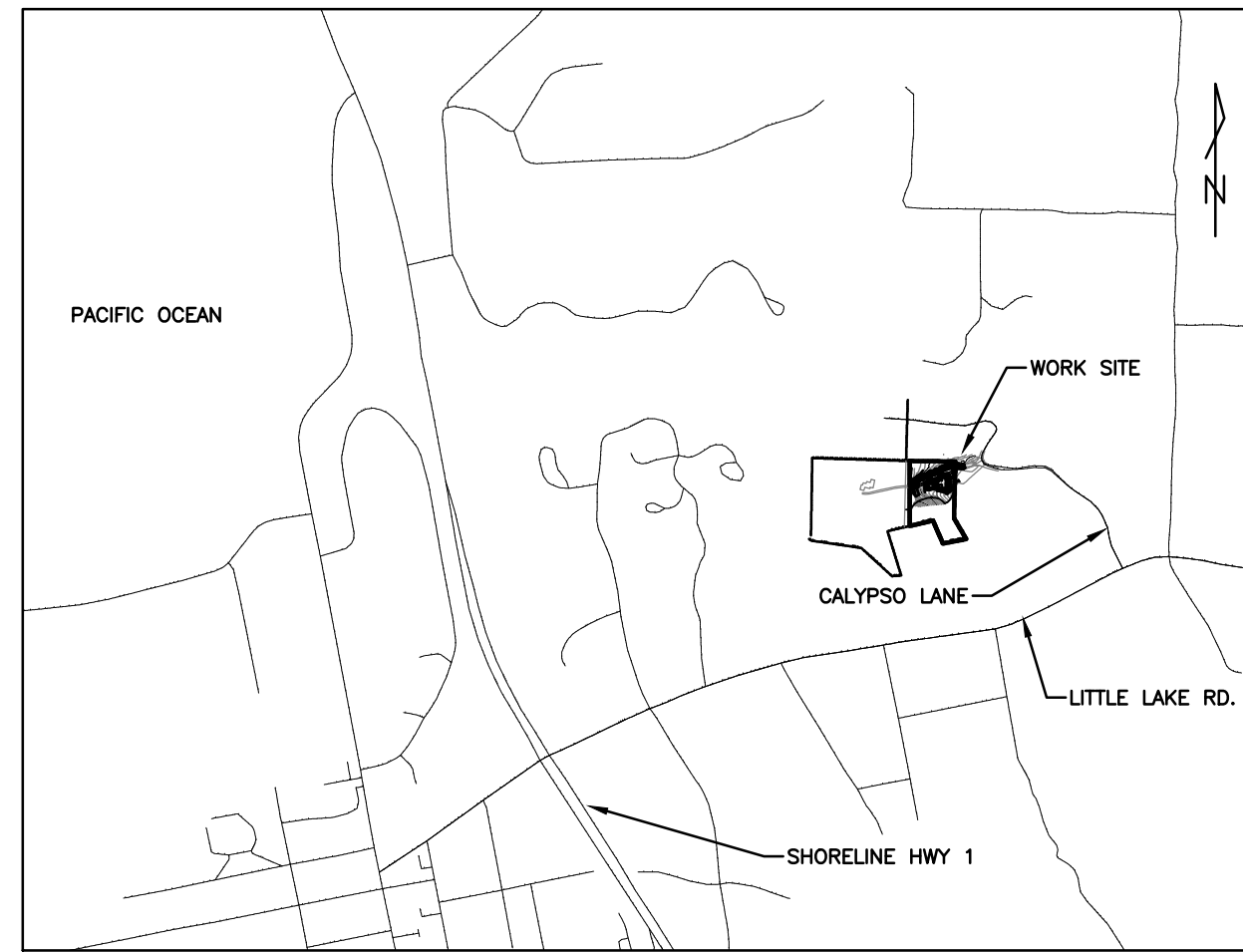


WATER DISTRICTS

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APN 119-090-46

IMPROVEMENT PLANS ROAD REALIGNMENT AND GRADING PLAN FOR LANDS OF SHEPPARD 10760 CALYPSO LANE MENDOCINO CALIFORNIA



LOCATION MAP
1" = 1000'

GENERAL NOTES

- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS, STANDARD PLANS AND THE MENDOCINO COUNTY STANDARD PLANS. (LATEST REVISION)
- FOR ANY WORK TO BE PERFORMED ON THE COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY OF MENDOCINO PLANNING AND BUILDING DEPARTMENT, 707-463-4281
- THE CONTRACTOR SHALL NOTIFY THE PLANNING AND BUILDING DEPARTMENT'S CONSTRUCTION INSPECTOR 48 HOURS BEFORE STARTING WORK. CALL 707-463-4281. SEE (INSPECTIONS) BELOW FOR REQUIRED NOTIFICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER AND/OR THE PROJECT ENGINEER IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE AND CABLE/TV.
- THE CONTRACTOR SHALL OBTAIN A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED AND APPROVED PRIOR TO ROAD SURFACING.
- THE CONSTRUCTION OF BRIDGES, RETAINING WALLS, AND REINFORCED BUTTRESSES REQUIRE A BUILDING PERMIT FROM THE PLANNING AND BUILDING DEPARTMENT.
- RESTORATION OF EXISTING SURFACING DUE TO CONSTRUCTION OF TRENCHES SHALL BE GOVERNED BY THE CONDITIONS IN THE ROAD ENCROACHMENT PERMIT.
- THE COUNTY MAY REQUIRE ADDITIONAL WORK OR FACILITIES IN THE COURSE OF THE CONSTRUCTION OF PROJECT IN ORDER FOR THE IMPROVEMENTS TO REASONABLY PROVIDE FOR THE INTENDED FUNCTION OR FOR PUBLIC SAFETY.
- ALL PROPERTY CORNERS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BEFORE THE FINAL ACCEPTANCE OF THE ROAD BY THE DESIGN ENGINEER.
- BENCH MARK: POINT NUMBER 121, NAIL, ELEVATION 997.86 ASSUMED DATUM TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY POPE ENGINEERING
- LOCATION OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE TYPES, LOCATIONS, SIZES AND DEPTHS OF EXISTING UNDERGROUND FACILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARIOUS RELIABILITY. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND FACILITIES. HOWEVER, THE ENGINEER, CITY AND COUNTY ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND FACILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR FACILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THOSE FACILITIES SHOWN AND ANY WHICH ARE NOT SHOWN PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL EXPOSE ALL UNDERGROUND FACILITIES THAT ARE TO BE CONNECTED TO OR THAT ARE IN THE PATH OF THE PROPOSED IMPROVEMENTS FOR VERIFICATION OF ELEVATION AND LOCATION BY DESIGN ENGINEER AND SHALL DETERMINE THAT THERE IS NO CONFLICT PRIOR TO COMMENCING CONSTRUCTION OF THAT PORTION OF THE WORK AND/OR ANY UPSTREAM WORK THAT WOULD BE AFFECTED BY A CONFLICT WITH THE EXISTING FACILITIES. IF THERE IS INTERFERENCE WITH PLAN UTILITY LOCATION THEN ADJUSTMENT OF NEW UTILITY GRADES ARE REQUIRED. THE ADJUSTED GRADE SHALL BE RECOMMENDED BY THE PROJECT/DESIGN ENGINEER IN WRITING AND SHALL BE APPROVED IN WRITING BY THE CITY OR COUNTY PRIOR TO INSTALLATION.

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER AND THE COUNTY OF MENDOCINO HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UNAUTHORIZED CHANGES OR USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER UPON DISCOVERING SIGNIFICANT DISCREPANCIES, ERRORS OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS OR OMISSIONS. THE REVISED PLANS SHALL BE SUBJECT TO REVIEW BY THE CHIEF BUILDING OFFICIAL.
- RETAINING WALLS ARE NOT APPROVED UNDER THIS GRADING PERMIT. RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT, UNLESS EXEMPTED.
- CUT SLOPES SHALL BE EQUAL TO OR LESS THAN 2:1. SLOPES MAY BE STEEPENED, WITH WRITTEN PERMISSION FROM A GEOTECHNICAL ENGINEER. FILL SLOPES SHALL BE EQUAL TO OR LESS THAN 2:1.
- ALL EXCESS SOIL MATERIAL, STUMPS AND BOULDERS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ANY ENVIRONMENTAL REGULATIONS AND PLANNING AND BUILDING DEPARTMENT GRADING ORDINANCE AS THEY MAY APPLY.
- IF CONSTRUCTION IS PERFORMED EARLIER THAN MAY 1 OR LATER THAN OCTOBER 15 IN ANY GIVEN YEAR, AN APPROVED SILTATION CONTROL PLAN, DESIGNED BY A CIVIL ENGINEER OR APPROVED, COMPETENT INDIVIDUAL IS REQUIRED.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IN THE AFFECTED AREA IMMEDIATELY AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION
- PLACEMENT OF MAILBOXES MUST BE COORDINATED WITH AND APPROVED BY THE LOCAL BRANCH OF THE UNITED STATES POST OFFICE.
- TRENCH AND BACKFILL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CALTRANS' STANDARD PLAN A62-D FOR CONCRETE CULVERTS AND A62-F FOR METAL AND PLASTIC CULVERTS, EXCEPT THAT THE TRENCH WIDTH NEED ONLY BE ONE FOOT ON EACH SIDE OF THE PIPE.

- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF POPE ENGINEERING. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF POPE ENGINEERING. POPE ENGINEERING TAKES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- COMPACTION OF FILL TO BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER PER THE MENDOCINO COUNTY SPECIAL INSPECTION REQUIREMENT.
- PERFORM GRADING IN ACCORDANCE WITH THE LATEST EDITION OF APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, APPLICABLE MENDOCINO COUNTY REGULATIONS.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS AT (707) 463-4363 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

GRADING

- THE CONTRACTOR SHALL ENLIST THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER TO MONITOR THE PLACEMENT OF EMBANKMENTS. THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SOILS REPORT WHICH CERTIFIES THAT THE EMBANKMENTS WERE PLACED IN ACCORDANCE WITH THE PROJECT PLANS (AND AMENDMENTS THERETO, IF ANY), SPECIFICATIONS, AND SOUND GEOTECHNICAL PRACTICE. THE REPORT SHALL ADDRESS IN PARTICULAR THE SUITABILITY OF THE NATIVE SOIL ENCOUNTERED AT THE TOE AND BASE OF ALL FILLS. FURTHER, THE REPORT SHALL CONTAIN ANALYSIS OF THE SOILS ENCOUNTERED AND A COMPILATION OF COMPACTION TESTS PERFORMED.
- CUT SLOPES SHALL BE EQUAL TO OR LESS THAN 2:1 WITH A GEOTECHNICAL ENGINEER'S WRITTEN PERMISSION, WEATHERED ROCK CUTS MAY BE STEEPENED. FILL SLOPES SHALL BE EQUAL TO OR LESS THAN 2:1.
- ALL EXCESS SOIL MATERIAL, STUMPS AND BOULDERS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ANY ENVIRONMENTAL REGULATIONS AND PERMIT AND RESOURCE MANAGEMENT DEPARTMENT GRADING ORDINANCE AS THEY MAY APPLY.
- IF CONSTRUCTION IS PERFORMED EARLIER THAN MAY 1 OR LATER THAN OCTOBER 1 IN ANY GIVEN YEAR, AN APPROVED SILTATION CONTROL PLAN, DESIGNED BY A CIVIL ENGINEER OR APPROVED, COMPETENT INDIVIDUAL IS REQUIRED.
- ANY GRADED AREAS 10% OR STEEPER WITHIN THE ROADWAY, ROAD RIGHT-OF-WAY, OR PUBLIC UTILITY EASEMENT SHALL BE SEEDED FOR EROSION CONTROL. EROSION CONTROL MATERIALS AND APPLICATION SHALL BE IN ACCORDANCE WITH SECTION 20 OF THE CALTRANS STANDARD SPECIFICATIONS AND SHALL CONSIST OF APPLYING SEED AND FERTILIZER AT THE RATES SPECIFIED ON THIS SHEET.
- ALL ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 6 TO 8 INCHES IN UNCOMPACTED THICKNESS, BROUGHT TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION, AND EACH LIFT SHOULD BE COMPACTED UNTIL A MINIMUM DEGREE OF COMPACTION OF 95% IS ACHIEVED, BASED ON ASTM TEST METHOD D1557. REFER TO GEOTECHNICAL REPORT FOR GRADING AND SITE PREPARATION RECOMMENDATIONS.

EROSION CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, APPLICABLE MENDOCINO COUNTY REGULATIONS, AND SECTION 20 OF THE CALTRANS STANDARD SPECIFICATIONS.
- THE APPROVED PLANS SHALL CONFORM WITH THE EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES CONTAINED IN THE LATEST EDITIONS OF THE FOLLOWING PUBLICATIONS OR AN EQUIVALENT BEST MANAGEMENT PRACTICE:
EROSION AND SEDIMENT CONTROL FIELD MANUAL BY THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD, MANUAL OF STANDARDS FOR EROSION & SEDIMENT CONTROL MEASURES BY THE ASSOCIATION OF BAY AREA GOVERNMENTS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES MANUAL BY CALTRANS, STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OF MANUFACTURE'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. CAS000002 WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY DISTURBING LAND EQUAL TO OR GREATER THAN ONE ACRE. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15)
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. STORM EVENTS PRODUCE AT LEAST 1 INCH OF PRECIPITATION IN A 24 HOUR PERIOD. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS. CHANGES SHALL BE NOTED ON THE PLAN WHEN MADE.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER AND CHLORINATED WATER.
- ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE ROADWAY SHALL BE CLEANED AS SOON AS PRACTICABLE AND SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.
- EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING 70% VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES PLASTIC COVERS, BLANKETS OR MATS.
- WHENEVER IS IT NOT POSSIBLE TO UTILIZE EROSION PREVENTION MEASURES, EXPOSED SLOPES SHALL EMPLOY SEDIMENT CONTROL DEVICES, SUCH AS FIBER ROLLS AND SILT FENCES. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEVED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE.
- APPLICATIONS SHALL BE BROADCAST MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RYE OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS APPLICATION RATE (POUNDS PER ACRE)

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	40
BROMUS MOLLIS (BLANDO BROME)	20
TREFOILUM HIRTUM (HYKON ROSE CLOVER)	20
FERTILIZER	500
16-20-0 & 15% SULFUR	500
MULCH	4000
STRAW	4000
HYDRAULIC STABILIZING*	75-100
M-BINDER OR SENTINEL	PER MANUFACTURER
EQUIVALENT MATERIAL	PER MANUFACTURER

- THE OWNER SHALL PROTECT STORM DRAIN INLETS FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY STORM WATER FLOW LEADING TO SOIL EROSION.
- SOIL AND MATERIAL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENTS AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY, OR AS NECESSARY, AND REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE ARRANGED.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS.
- PROPER APPLICATION, CLEANING AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- WHEN UTILIZED, TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

REQUIRED GRADING INSPECTIONS

- REQUIRED INSPECTIONS BY THE GRADING INSPECTOR ARE AS FOLLOWS:
- PRE-CONSTRUCTION MEETING WITH CONTRACTOR, GRADING INSPECTOR AND OTHERS, AS APPLICABLE.
- OTHER INSPECTIONS, AS AGREED AT THE PRE-CONSTRUCTION MEETING.
- PREPARATION OF GROUND FOR FILL PLACEMENT, ORGANIC LAYER REMOVED, SURFACE SCARIFIED, ETC. (UBC-3313.2).
- SURFACE BENCHED WHERE SURFACE RECEIVING FILL IS STEEPER THAN 5:1 (UBC-3312.2).
- KEY OR CORE (UBC-3313.2).
- SURFACE DRAINAGE FACILITIES INCLUDING INTERCEPTOR DRAINS, SWALES, DITCHES ON TERRACES, CONCRETE OR SHOTCRETE DITCH LINING, ETC. (UBC-3315.2).
- FINAL ROUGH GRADING OF BOTH CUT AND FILL SLOPES, INCLUDING TERRACING, ROUNDING OF TOP SOIL LAYER, SETBACKS FROM PERMIT AREA BOUNDARIES, ETC. (UBC-3312, 3313, 3314, 3315).
- EROSION CONTROL MEASURES, EITHER TEMPORARY OR PERMANENT, INCLUDING SEDIMENT FENCES, INSTALLATION OF FABRICS, SEEDING SLOPES, ETC. (UBC-3316).
- FINAL INSPECTION FOR CODE COMPLIANCE. IF ENGINEERED GRADING, THE FINAL REPORT IS ALSO REVIEWED BY THE GRADING INSPECTOR BEFORE THE GRADING PERMIT IS FINALED (UBC-3317).

CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BID.

REFER TO ANY GEOTECHNICAL RECOMMENDATIONS THAT MAY BE A PART OF THIS PROJECT.

QUANTITIES SHOWN ARE ESTIMATES ONLY. SITE CONDITIONS, CONSTRUCTION METHODS, ETC. CAN SUBSTANTIALLY ALTER VALUES.

CUT	380 C.Y.+/-
FILL	371 C.Y.+/-
TOTAL	751 C.Y.+/-

DISTURBED AREA: 0.4 ACRES

LEGEND

PROPOSED	EXISTING	
		DIRECTION OF SURFACE FLOW
		CONTOUR
		FEATURES
		TOE/TOP OF SLOPE
		STORM DRAIN
		PROPERTY LINE
		FENCE LINE
		SWALE
		CATCH BASIN
		SDMH
		GRAVEL
		RIP-RAP
		CONCRETE
		SPOT ELEVATION
		WATER LINE
		SILT FENCE
		STRAW ROLL

ABBREVIATIONS

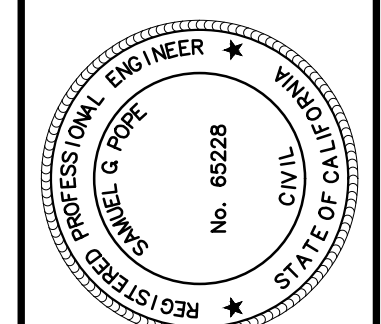
SDMH	STORM DRAIN MANHOLE	PSDE	PRIVATE STORM DRAIN EASEMENT
SSMH	SANITARY SEWER MANHOLE	BSL	BUILDING SETBACK LINE
SS	SANITARY SEWER	POS	PRIVATE OPENSOURCE EASEMENT
W	WATER	DI	DROP INLET
TC	TOP OF CURB	VM	VERTICE MAIN
FF	FINISH FLOOR	FC	VERTICAL CURVE
WM	WATER METER	MP	MIDPOINT
FS	FINISH SURFACE	PT	POINT OF TANGENCY
SD	STORM DRAIN	PC	POINT OF CURVATURE
WS	WATER SERVICE	BVC	BEGIN VERTICAL CURVE
FG	FINISH GRADE	EV	END VERTICAL CURVE
TG	TOP OF GRATE	(E)	EXISTING
IG	INVERT GRADE	EG	EXISTING GRADE
PL	PROPERTY LINE	FL	FLOW LINE
TW	TOP OF WALL	SW	SIDE WALK
BW	BOTTOM OF WALL	DW	DRIVEWAY
		ROW	RIGHT OF WAY
		NTS	NOT TO SCALE

BY	REVISIONS

COVER SHEET
LANDS OF SHEPPARD
10760 CALYPSO LANE
MENDOCINO CALIFORNIA

APPROVED BY

SAMUEL G. POPE DATE



POPE ENGINEERING - SURVEYING
CIVIL ENGINEERING - SURVEYING
SAMUEL G. POPE R.C.E. 65228
1640 UNIVERSITY DRIVE, WILSON, CA 95966
OFFICE: 707-707-4866 FAX: 707-707-4866
CELL: 707-327-7488

U.S.A. NOTIFICATION SERVICE



CALL U.S.A. BEFORE EXCAVATION
48 HOURS IN ADVANCE

SHEET INDEX

- C-1 COVER SHEET
- C-2 NEW ROAD PLAN
- C-3 PROFILES, SECTIONS AND DETAILS

SCALE: AS SHOWN

DESIGN: POPE

JOB: SHEPPARD

PLOT DATE: 3-1-2023

SHEET

C-1

OF 3 SHEETS

KEY NOTES

- Ⓐ 2:1 SLOPE MAX
- Ⓑ SLOPE GRADE AWAY 1/4" PER FOOT FOR 10'-0" MIN. AWAY FROM BUILDING.
- Ⓒ PRIOR TO CONSTRUCTION VERIFY FOUNDATION SECTIONS WITH STRUCTURAL ENGINEERS PLAN. SEE SOILS REPORT FOR PAD OVERBUILD REQUIREMENTS
- Ⓓ PROVIDE POSITIVE DRAINAGE TO PREVENT PONDING OF WATER AT UNDER FLOOR AREA. USE 3" SCH. 40 OR SDR 35 DRAIN PIPE THROUGH FOUNDATION FOOTING AT LOWEST CORNER WITH 1% MIN. SLOPE DISCHARGING INTO APPROPRIATE AREA.
- Ⓔ THE NUMBER AND LOCATION OF STEPS AND LANDINGS SHALL BE VERIFIED IN THE FIELD BY THE ARCHITECT AND/OR CONTRACTOR.

PRIVATE STORM DRAIN NOTES


1. ALL STORM DRAINS 8" OR SMALLER SHALL BE PVC, A.S.T.M. D3034, TYPE DSM SDR 35, A.S.T.M. D3212 GASKETED JOINTS WITH A.S.T.M. F477 ELASTOMERIC SEALS OR A.S.T.M. 2855 SOLVENT CEMENT JOINTS USING A.S.T.M. D2564 SOLVENT CEMENT, O.A.E. ALL STORM DRAINS LARGER THAN 8" SHALL BE ADS N-12 SMOOTH BORE (A.S.T.M. F-894) O.A.E.
2. WATER FROM ROOF RAIN LEADERS SHALL BE DEPOSITED ONTO A PAVED SURFACE OR VIA RIGID PIPE TO THE CLOSED STORM DRAIN SYSTEM. ROOF LEADERS SHALL NOT BE CONNECTED TO SUBDRAINS.
3. ALL STORM STRUCTURES SHALL BE CENTRAL PRECAST, INC., DURA DRAIN MODELS, O.A.E., UNLESS NOTED OTHERWISE. ALL GRATES ON P-12 BOXES OR GREATER SHALL BE BOLT-DOWN MODELS.

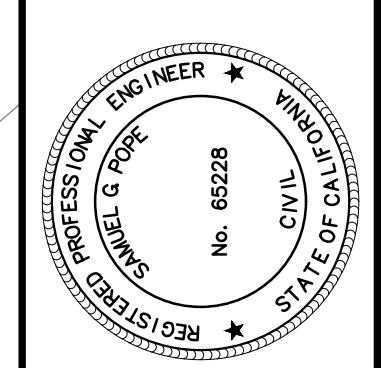
EROSION CONTROL NOTES

- ① INSTALL 6" TO 8" FRACTURED STONE OR COARSE AGGREGATE 10' MIN. INTO SITE THE WIDTH OF ROAD. IF AGGREGATE IS USED PLACE 8" THICK OVER GEOTEXTILE FABRIC.
- ② HYDROSEED ALL SLOPES. SEE EROSION CONTROL NOTE 16 FOR ALL APPLICABLE INFORMATION. (PERMANENT CONTROL)
- ③ SILT FENCE. SEE DETAIL. (TEMPORARY CONTROL)
- ④ SOIL SURFACE INLET BARRIER (TEMPORARY CONTROL)
- ⑤ IMPERMEABLE SURFACE INLET BARRIER (TEMPORARY CONTROL)

REVISIONS	BY

NEW ROAD PLAN
 LANDS OF SHEPPARD
 10760 CALYPSO LANE
 MENDOCINO CALIFORNIA

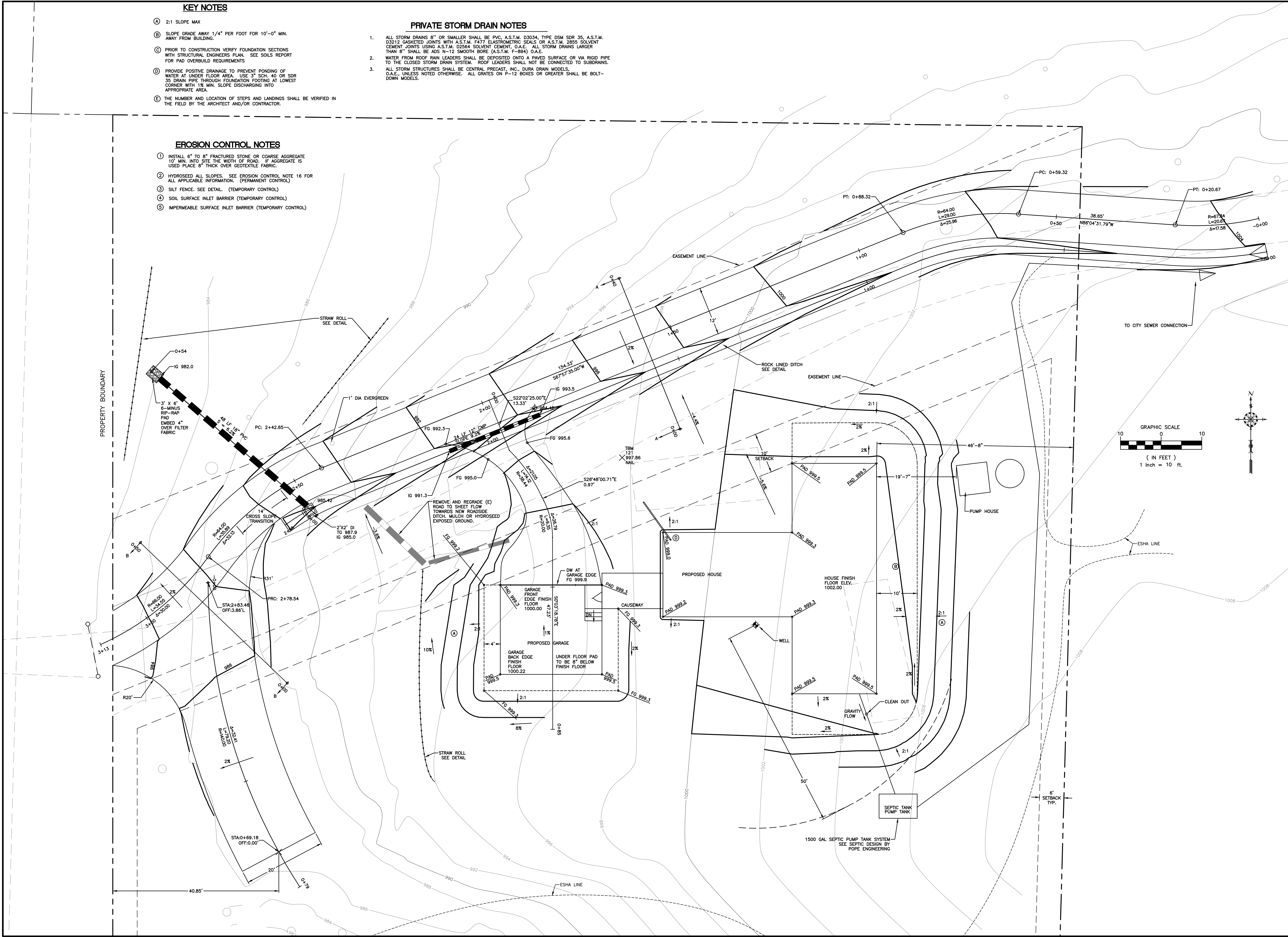
APPROVED BY

 SAMUEL G. POPE
 DATE

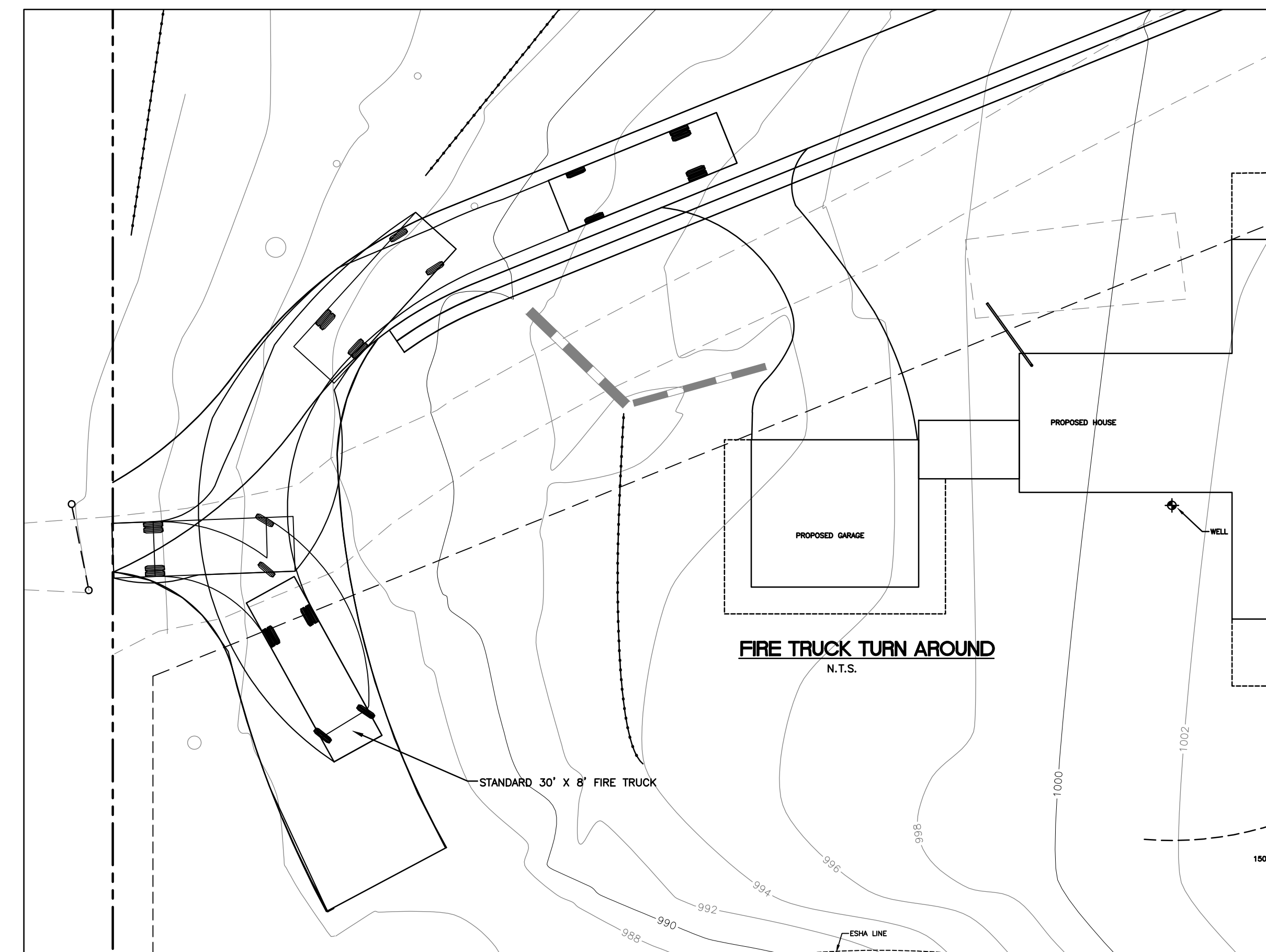
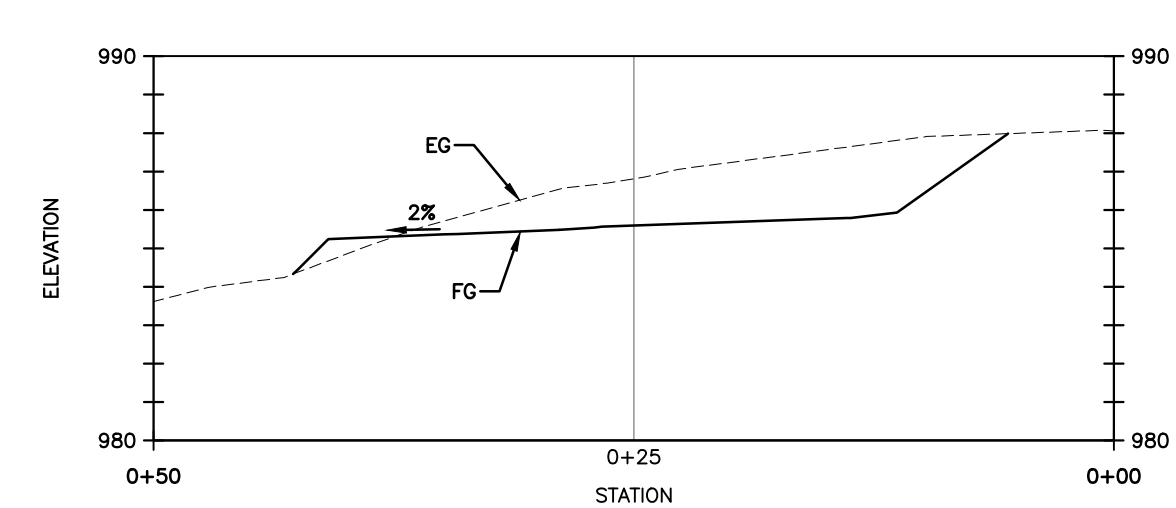
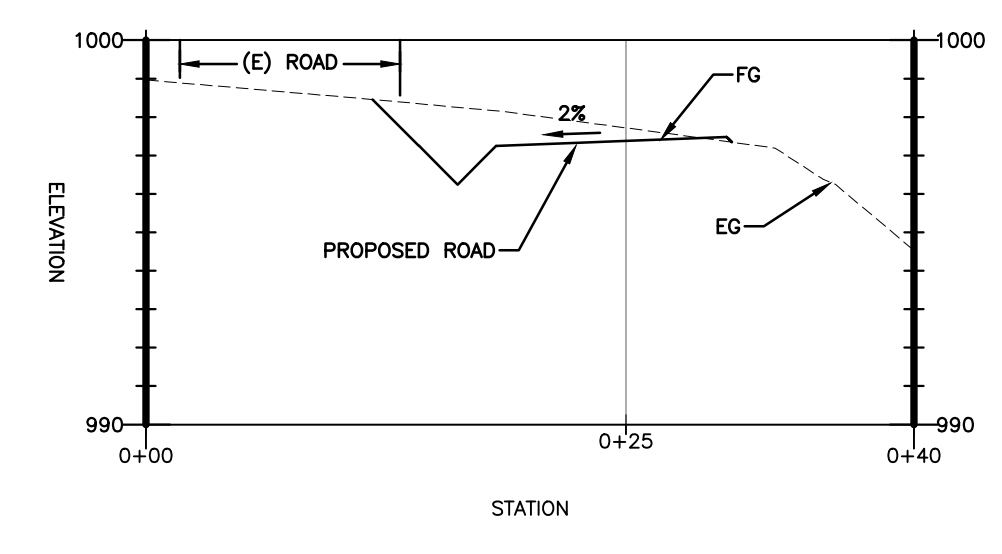
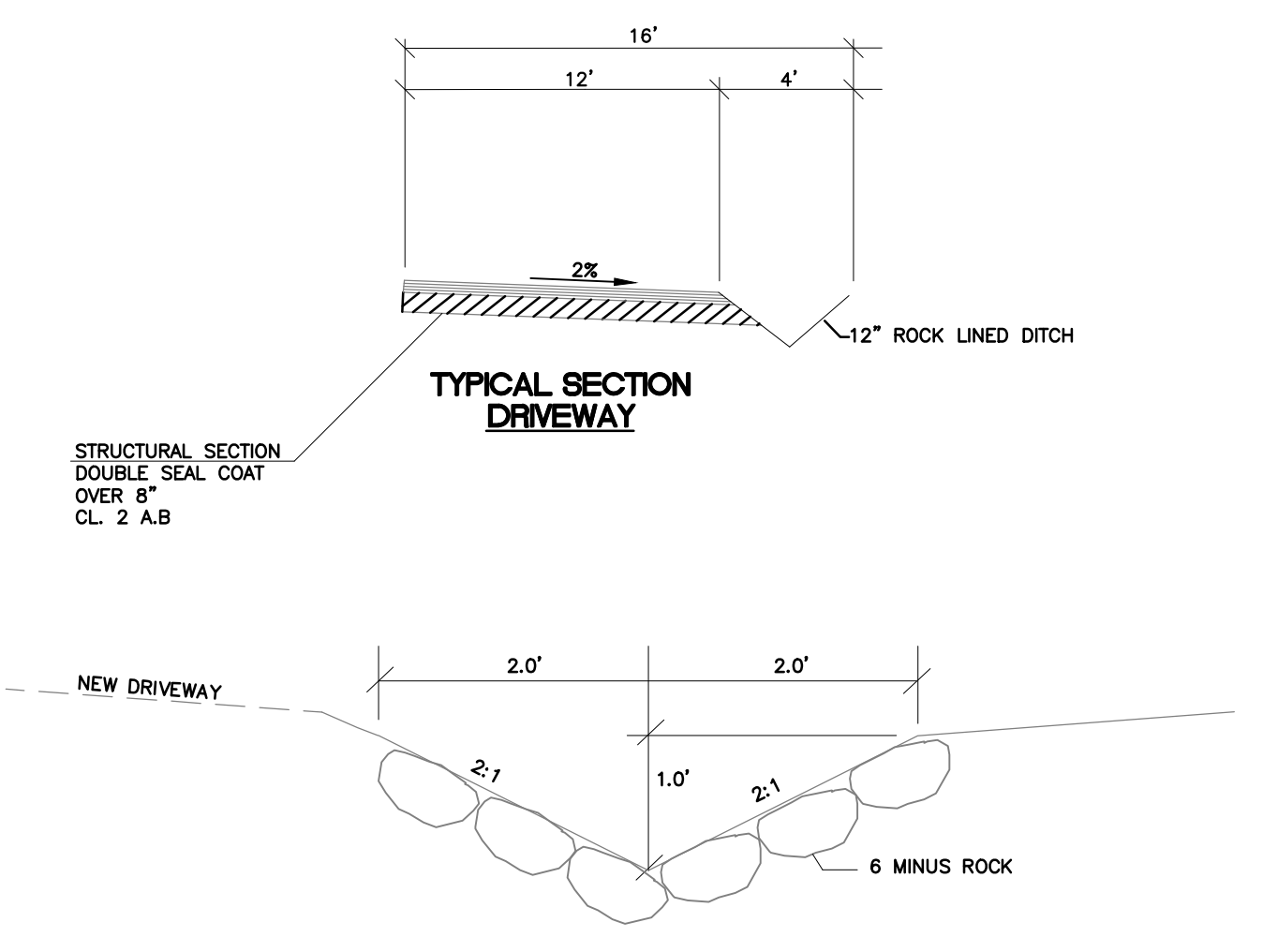
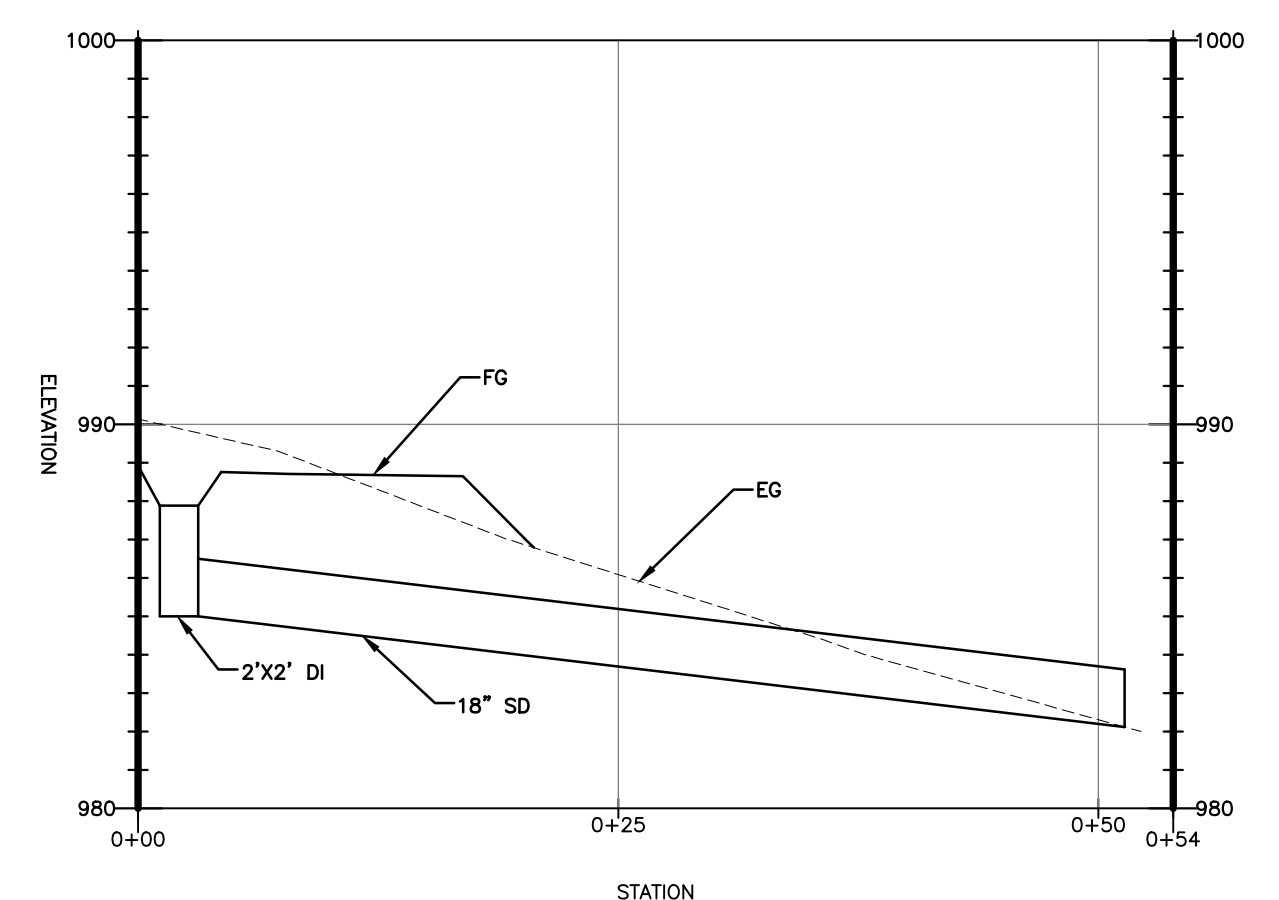
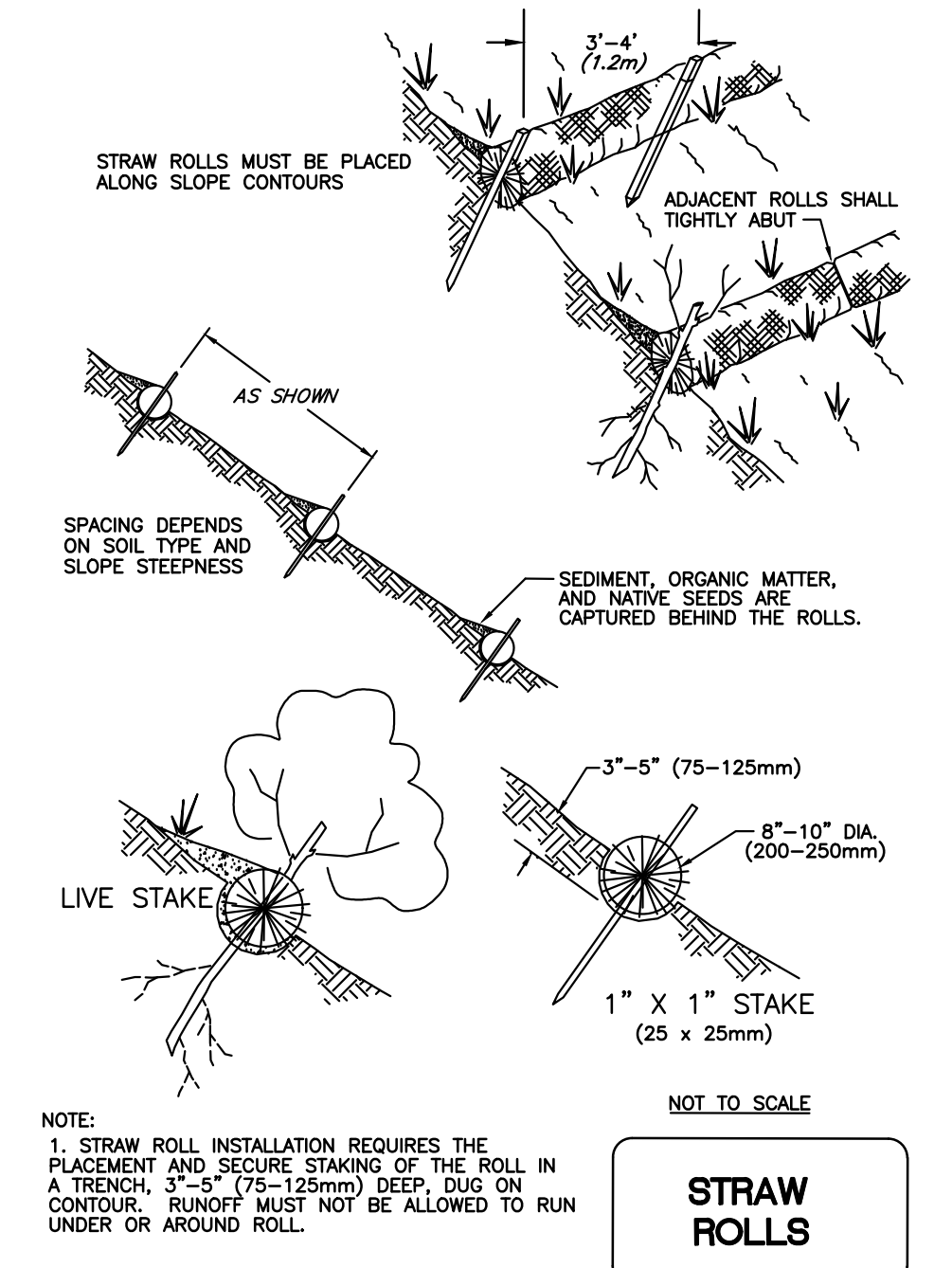
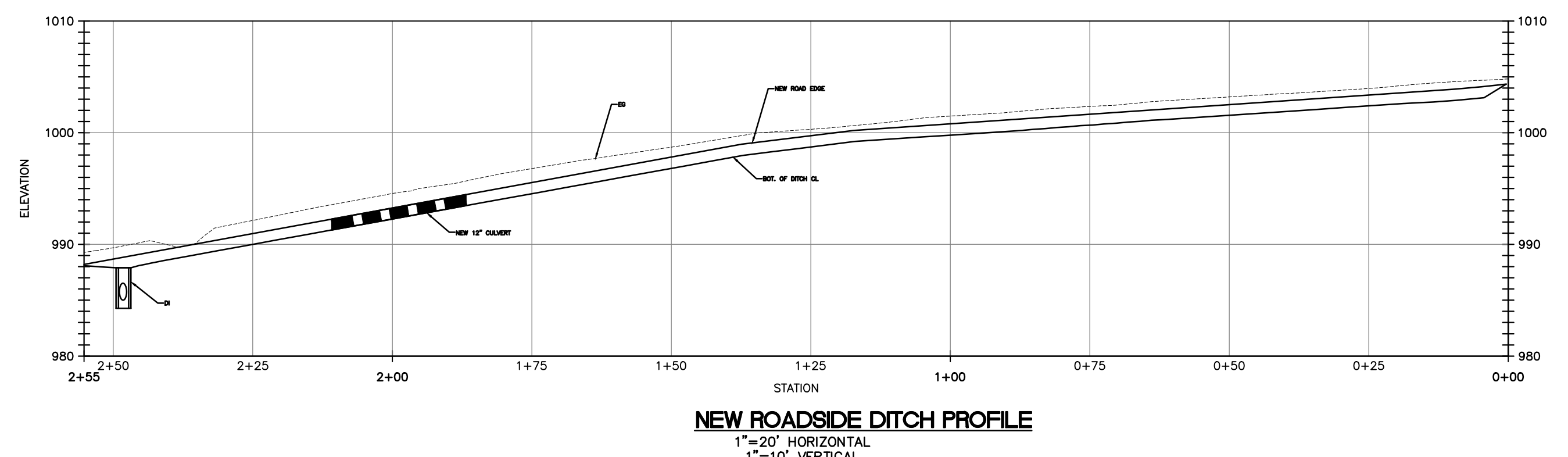
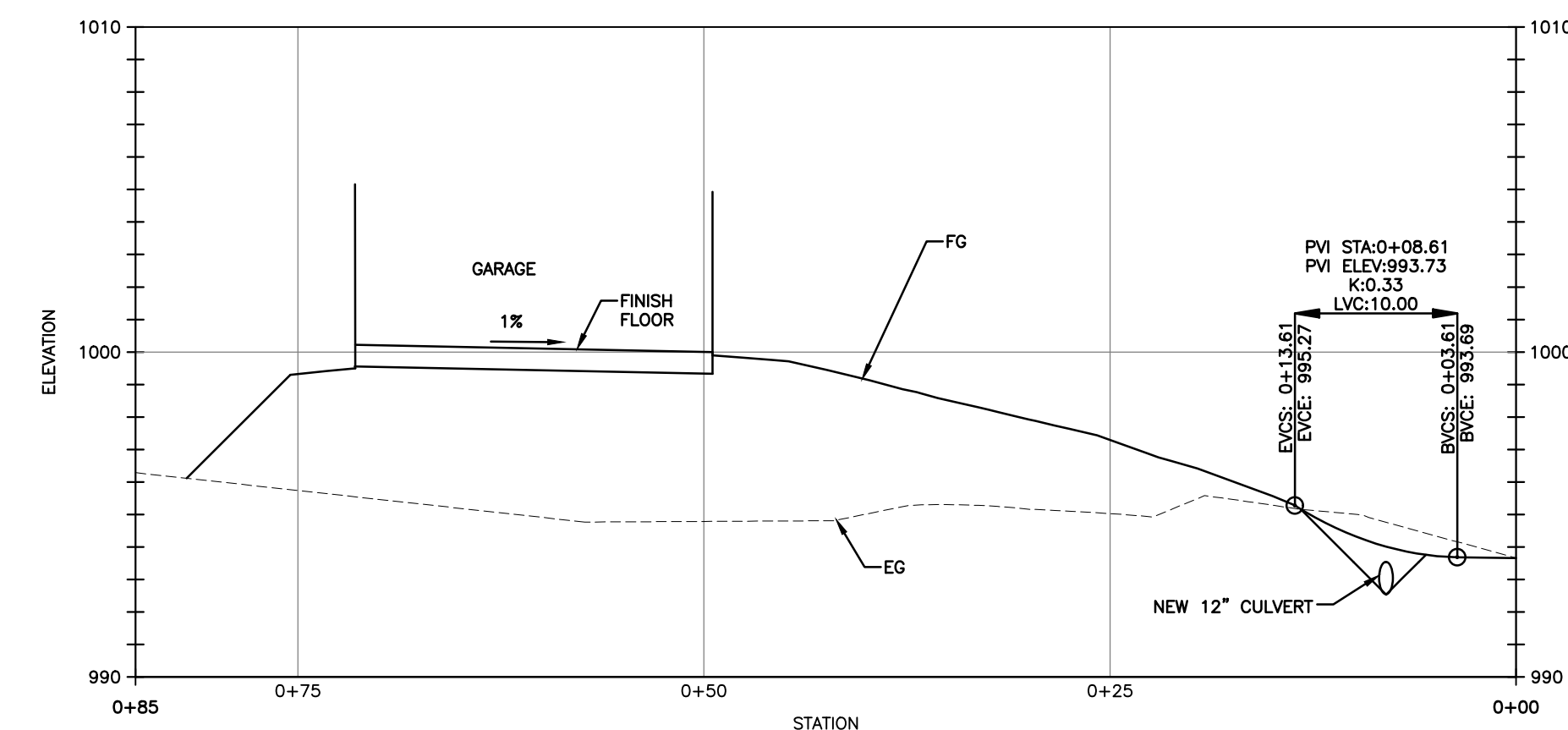
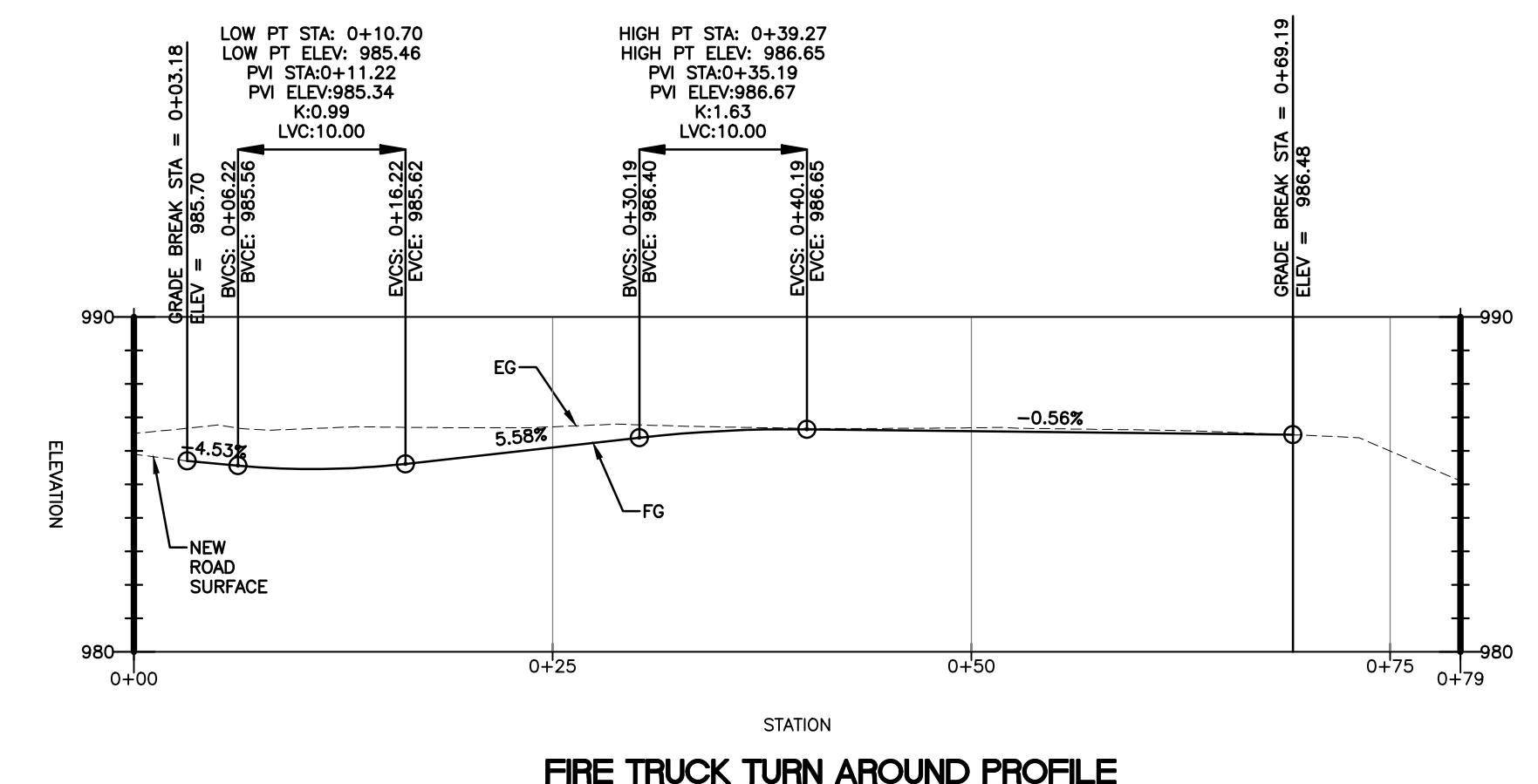
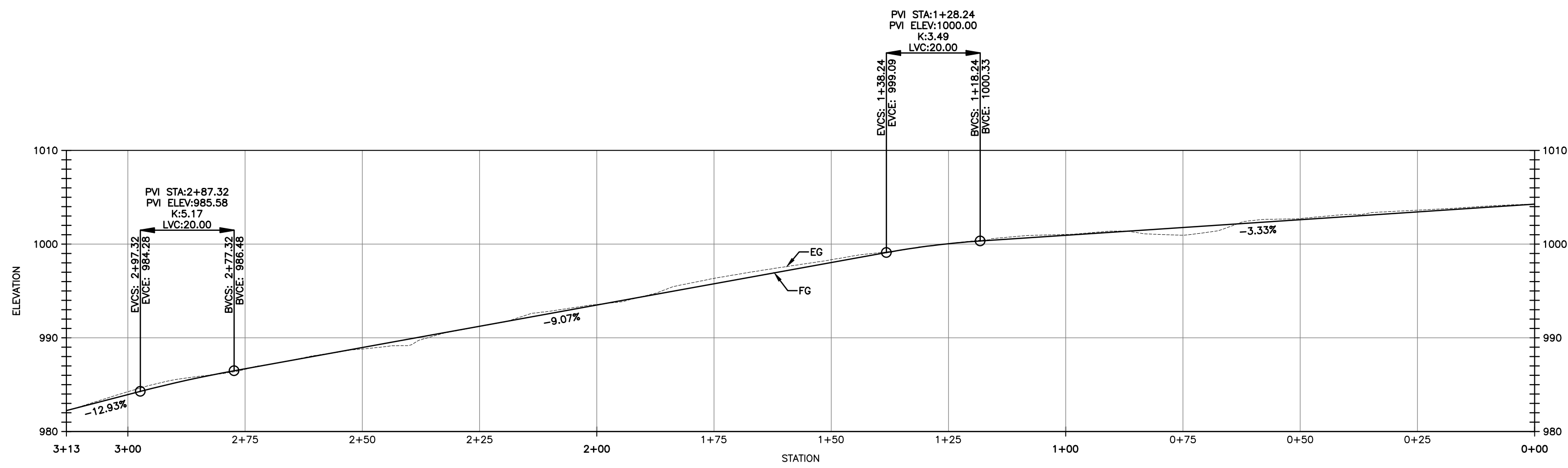


POPE ENGINEERING - SURVEYING
 CIVIL ENGINEERING - SURVEYING
 SAMUEL G. POPE R.C.E. 65228

1640 LUMINA DRIVE WILTS, CA 95465
 OFFICE PHONE 707-748-5876
 CELL 707-337-7488

SCALE: AS SHOWN
 DESIGN: POPE
 JOB: SHEPPARD
 PLOT DATE: 3-1-2023
 SHEET
C-2
 OF 3 SHEETS

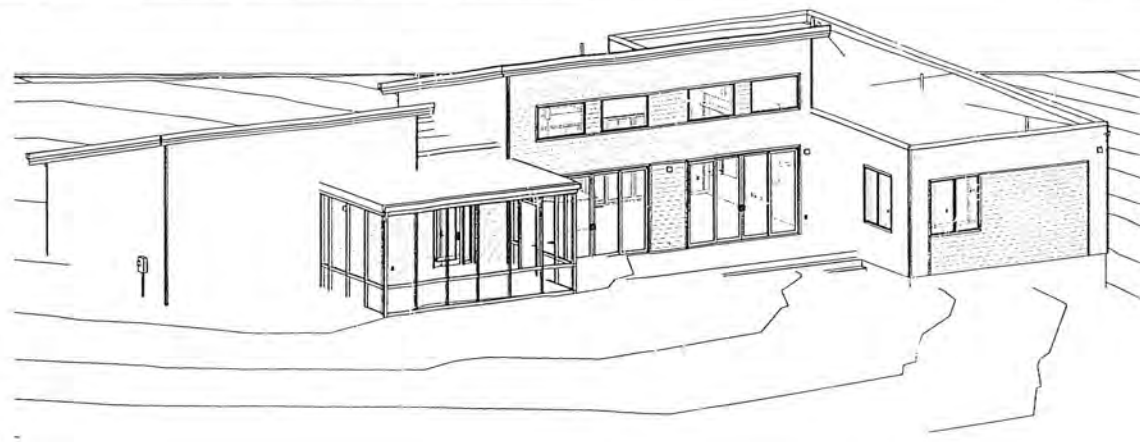




BY	
REVISIONS	
PROFILES, SECTIONS, AND DETAILS LANDS OF SHEPPARD 10760 CALYPSO LANE MENDOCINO CALIFORNIA	
APPROVED BY	DATE
POPE ENGINEERING - SURVEYING CIVIL ENGINEERING - SURVEYING SAMUEL G. POPE P.C.E. #65228 540 HERRING DRIVE WILKITS, CA 94949 949 468-3675 CELL 707-328-7488	
SCALE: AS SHOWN	
DESIGN: POPE	
JOB: SHEPPARD	
PLOT DATE: 3-1-2023	
SHEET	
C-3	
OF 3 SHEETS	

SHEPPARD RESIDENCE

MENDOCINO, CA



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PROJECT INFORMATION	
MANUFACTURER:	BLU HOMES 1245 NIMITZ AVE VALLEJO, CA 94592
PROJECT NAME:	MASON RESIDENCE
THIRD PARTY INSPECTION AGENCY:	NTA INC.
BUILDING INFORMATION	
MODELS:	2015 BREEZEARE EXTENDED, SITE-BUILT CONNECTOR, AND SITE-BUILT GARAGE
SERIAL NUMBER(S):	000226A-2, 000226B-2
DESCRIPTION:	ONE STORY SINGLE RESIDENTIAL TWO (2) BEDROOM HOME, SITE BUILT GARAGE AND CONNECTOR
PROPOSED LOCATION ADDRESS:	10 OLD LITCHFIELD RD, WASHINGTON, CT 06793
ASSESSOR PARCEL NUMBER (APN):	02-06-52
LOT / PLATT / PARCEL NUMBER:	212A
PROJECT TYPE:	SINGLE FAMILY HOME
LOCAL JURISDICTION:	TOWN OF WASHINGTON, CT
ZONING:	R1 (FARMING AND RESIDENTIAL DISTRICT)
FIRE PROTECTION DISTRICT:	N/A
LOCAL REVIEW AGENCY:	TOWN OF WASHINGTON, CT
OCCUPANCY CLASS:	TYPE R-3 SINGLE FAMILY RESIDENTIAL
CONSTRUCTION CLASS:	TYPE VB WOOD FRAME, UNPROTECTED
GREEN BUILDING REVIEW:	N/A
SQUARE FOOT AREA:	BREEZE-AIRE: 1,727SF DECK: 1,185SF GARAGE: 525SF SCREEN PORCH: 244SF DECKS: 300SF
HEIGHT ABOVE GRADE:	20'-6" HEIGHT ABOVE FINISH GRADE:
APPLICABLE CODES:	STATE OF CONNECTICUT ADOPTED CODES 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH APPENDICES E,G,H,K,O,P AND R 2003 INTERNATIONAL BUILDING CODE (IBC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2003 INTERNATIONAL MECHANICAL CODE (IMC) 2011 NATIONAL ELECTRIC CODE (NEC) 2003 INTERNATIONAL PLUMBING CODE (IPC) 2005 CONNECTICUT STATE FIRE SAFETY CODE/FIRE PREVENTION CODE with 2013 Amendments TOWN OF WASHINGTON ADOPTED CODES 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH APPENDICES E,G,H,K,O,P AND R 2003 INTERNATIONAL BUILDING CODE (IBC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2003 INTERNATIONAL MECHANICAL CODE (IMC) 2011 NATIONAL ELECTRIC CODE (NEC) 2003 INTERNATIONAL PLUMBING CODE (IPC) 2005 CONNECTICUT STATE FIRE SAFETY CODE/FIRE PREVENTION CODE with 2013 Amendments
CLIMATE ZONE:	ZONE 5A (PER CT STATE BLDG CODE)
MECHANICAL SYSTEM:	GEO THERMAL
FIRE SPRINKLERS:	NO, SPRINKLER SYSTEM NOT REQUIRED BY CODE
ROOF ACCESSORIES:	SOLAR READY SYSTEM
THIRD PARTY INSIGNIA OF APPROVAL AND DATA PLATE LOCATION:	DATA PLATE UNDER KITCHEN SINK MOD "A" IN SIGNIA UNDER KITCHEN SINK MOD "B" IN SIGNIA UNDER BATH 2 SINK

DRAWING INDEX	
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6 Plumbing	
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P120-3	FIRST FLOOR WASTE & VENT PLAN
P220-3	FIRST FLOOR WATER & GAS SUPPLY PLAN
P630-3	PLUMBING DETAILS

BLU HOMES:
SALES: LORIANN KRIZ
MANAGER: MATT SCHULTE
A&E: MATT SCHULTE
CARL MILLER
SEE SHEET G010-3 FOR COMPLETE BLU HOMES AND PROJECT CONSULTANT CONTACT INFORMATION
FOR CONSULTANT USE

SHEPPARD RESIDENCE

10760 CALYPSO LANE
MENDOCINO, CA
95460

blu HOMES

1245 NIMITZ AVE
MARE ISLAND, CA 94992
T: 866.887.7897
www.bluhomes.com

ATTACHED SUBMITTAL DOCUMENTS (8-1/2 x 11 SHEETS)	
STRUCTURAL CALCULATION PACKAGE	
ENERGY COMPLIANCE PACKAGE	
MECHANICAL, ELECTRICAL & PLUMBING CALCULATION PACKAGE	

RESUME OF INSTALLATION OF WORK TO BE COMPLETED ON SITE	
MOD A & MOD B	
<ul style="list-style-type: none"> Set Module A, unfold floor and long folding wall, unfold short folding walls, install hold downs per details on drawing sheet S3 & SD1 Module A floor seam fastened per detail 4/SD1 Set Module B, unfold floor and long folding wall, unfold short folding walls, install hold downs per details on drawing sheet S3 & SD1 Module B floor seam fastened per detail 4/SD1 Fasten hold downs for Mods A & B per details 15/SD1 Structurally Insulated Panels (SIPs) installed per SIPs manufacturer's drawings. Wood parapet walls fastened to SIPs EPDM roofing membrane installed per manufacturer's details over Mod A, finish roofing installed over Mod B Exterior siding to be installed on folding walls Scuppers and downspouts installed Perform electrical connections to main meter at garage Mechanical, Electrical, and Plumbing connections from Module A to Module B as applicable. Mechanical, Electrical, and Plumbing connections from site to Module A and Module B as applicable Extend vent stacks through roof Drywall installed, taped, and finished where required 	
SITE-BUILT PORTIONS:	
SHADED AREA INDICATES SITE-BUILT, LOCALLY REVIEWED & PERMITTED PORTIONS OF THE WORK	

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - WASHINGTON, CT (REF. STAMPED STRUCTURAL CALCULATIONS FOR ADDITIONAL INFORMATION)												
GROUND SNOW LOAD 35 PSF	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT DAMAGE FROM		CLIMATE ZONE	FROST LINE DEPTH	WINTER DESIGN TEMPERATURE	ICE BARRIER UNDERLAYMENT REQ'D	FLOOD HAZARD	AIR FREEZING INDEX (°F - DAYS)	MEAN ANNUAL TEMPERATURE
	SPEED (mph)	TOPO EFFECTS		WEATHERING	TERMITE							
ROOF SNOW LOAD 30 PSF	120 mph (EXPOSURE B)	NONE	(B) LOW SEISMIC	SEVERE	MODERATE TO HEAVY	5A	42"	7°F	YES	FEMA FLOOD MAP 0900570015	<1500 (CT STATE BLDG CODE)	59°F

APPROVED BY
NTA INC. 05/12/15
Approval of this document does not constitute or approve any deviation or the release from the requirements of applicable local laws.

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APR 23 2018

PLANNING & BUILDING SERV
FORT BRAGG CA

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REVISION	DATE	DRAWN	DATE
1	04/21/15	CFM	MS
2	05/11/15	CFM	MS
		STATE SUBMITTAL	
		REVISED STATE SUBMITTAL	
BLU PRODUCT:			
SHEET TITLE: COVER PAGE			
SCALE AT 2X/3X: SHEET NUMBER: G000-3			

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ABBREVIATIONS table with columns for Abbreviation, Description, and Symbol. Includes entries for ADJ, AFF, AFG, ALUM, ANOD, etc.

SYMBOL LEGEND table with columns for Symbol and Description. Includes symbols for TEMPERED GLAZING, EGRESS WINDOW, SPOT ELEVATION, SECTION REFERENCE, ELEVATION REFERENCE, GRIDLINE, FLOOR LEVEL, and KEYNOTE.

GENERAL NOTES section containing numbered notes 1 through 22 regarding construction details, materials, and safety. Includes sub-sections for CLIMATE ZONES, INSULATION AND PENETRATION, BUILDING THERMAL ENVELOPE, VAPOR RETARDER, BUILDING PLANNING AND CONSTRUCTION, EXTERIOR ENCLOSURE, and SANITARY FACILITIES.

GENERAL NOTES section containing numbered notes 1 through 22 regarding construction details, materials, and safety. Includes sub-sections for STAIRWAYS, FIRE RESISTANT CONSTRUCTION, DWELLING GARAGE AND/OR CARPORT FIRE SEPARATION, UNDER-STAIR PROTECTION, MEANS OF EGRESS, and EXCEPTIONS.

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BLU HOMES SALES: LORIANN KRIZ, MANAGER: MATT SCHULTE, A&E: CARL MILLER. SHEPPARD RESIDENCE, 10760 CALYPSO LANE, MENDOCINO, CA 95460. Includes BLU HOMES logo and contact information.

SUBMITTAL: STATE table with columns for REVISION, DATE, DRAWN, CHECKED, DESCRIPTION. Includes rows for STATE SUBMITTAL and REVISED STATE SUBMITTAL.

SHEET TITLE: GENERAL NOTES, SCALE AT 2X/3X, SHEET NUMBER: G010-3.

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WINDOW SCHEDULE- FACTORY BUILT

TAG	HAND	TEMP	QTY	TYPE	MODEL	MODEL NUMBER	MANUFACTURER	WIDTH	HEIGHT	EXTERIOR MATERIAL	INTERIOR FINISH	HARDWARE FINISH	GLAZING TYPE	SCREEN	EGRESS	EGRESS OPG AREA	EGRESS OPG HEIGHT	EGRESS OPG WIDTH	VISIBLE GLASS AREA	CLEAR OPENING VENT	SHGC	U VALUE	DP RATING
A1	L	T	1	Awning 48"x18"	Awning	AR11	Andersen	4'-0"	1'-5"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4	White Screen	No	N/A	N/A	N/A	4 SF	2 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
A1	L	T	1	Awning 48"x18" T	Awning	AR41	Andersen	4'-0"	1'-5"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4, Tempered	White Screen	No	N/A	N/A	N/A	4 SF	2 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
A2	L	T	1	Awning 72"x18"	Awning	AR61	Andersen	5'-11 7/8"	1'-5"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4	White Screen	No	N/A	N/A	N/A	6 SF	3 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
C1	L	T	2	Casement 32"x48"	Casement	CX14	Andersen	2'-7 1/2"	4'-0"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4	White Screen	Yes	7.7SF	43 1/8"	25 11/16"	8 SF	8 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
C1	L	T	1	Casement 32"x48" T	Casement	CX14	Andersen	2'-7 1/2"	4'-0"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4, Tempered	White Screen	Yes	7.7SF	43 1/8"	25 11/16"	8 SF	8 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
C2	R	T	1	Casement 32"x60"	Casement	CX15	Andersen	2'-7 1/2"	4'-11 7/8"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4	White Screen	Yes	9.8SF	55"	25 11/16"	10 SF	10 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35
C4	LR	T	1	Casement Dbl 62"x60"	Casement	CX25	Andersen	5'-2 3/4"	4'-11 7/8"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4	White Screen	Yes	8.8SF	55"	25 11/16"	21 SF	20 SF	0.21	0.3000 BTU/(h·ft²·°F)	50/50
C4	LR	T	1	Casement Dbl 62"x60" T	Casement	CX25	Andersen	5'-2 3/4"	4'-11 7/8"	White	White Drywall Return w/ Interior Painted White by Site G.C.	White	Glass, HP SmartSun, Low-E4, Tempered	White Screen	Yes	8.8SF	55"	25 11/16"	21 SF	20 SF	0.21	0.3000 BTU/(h·ft²·°F)	50/50
F3	L	T	4	Fixed Awning 60"x36"	400 Series	AXW515	Andersen	4'-11 7/8"	2'-11 15/16"	White	White Drywall Return w/ Interior Painted White by Site G.C.	N/A	Glass, HP SmartSun, Low-E4	White Screen	No	N/A	N/A	N/A	12 SF	0 SF	0.21	0.3000 BTU/(h·ft²·°F)	35/35

EXTERIOR DOOR- FACTORY BUILT

TAG	HAND	TEMP	STYLE	MANUFACTURER	MODEL	MODEL NUMBER	DESCRIPTION	EXTERIOR MATERIAL	INTERIOR FINISH	HARDWARE FINISH	UNIT WIDTH	UNIT HEIGHT	WALL DEPTH	LATCHSET TYPE	GLAZING TYPE	SCREEN	VISIBLE GLASS AREA	CLEAR OPENING VENT	SHGC	U VALUE	DP RATING
101	L	T	36" x 96" Full-Lite w/ SideLite	ThermaTru	Smooth-Star	S8000-LE	Pre-Hung Exterior Door/Frame with SideLite	White	Vendor Primed, Paint in Field	Satin Nickel	3'-0 1/8"	6'-0 3/4"	7 3/4"	Latchset - Entrance	Glass, Low-E4, Tempered	N/A	26 SF	20 SF	0.2700 BTU/(h·ft²·°F)	0.16	30/35
109	LHR	T	36" x 84" Flush	ThermaTru	Smooth-Star	S100	Pre-Hung Exterior Door/Frame	White	Vendor Primed, Paint in Field	Satin Nickel	3'-0 1/8"	6'-11 7/8"	7 3/4"	Latchset - Privacy	N/A	N/A	0 SF	19 SF	0.1400 BTU/(h·ft²·°F)	0	80/85
113	LR	T	144" x 96"	Andersen	Narrowline	NLGD12080-4	Sliding Glass Door, Four-Panel	White	White Drywall Return w/ Interior Painted White by Site G.C.	Satin Nickel	11'-9"	7'-11 1/2"	7 3/4"	Pull - Andersen	Glass, HP SmartSun, Low-E4, Tempered	Screen, White	81 SF	36 SF	0.2800 BTU/(h·ft²·°F)	0.22	25/25
114	LR	T	144" x 96"	Andersen	Narrowline	NLGD12080-4	Sliding Glass Door, Four-Panel	White	White Drywall Return w/ Interior Painted White by Site G.C.	Satin Nickel	11'-9"	7'-11 1/2"	7 3/4"	Pull - Andersen	Glass, HP SmartSun, Low-E4, Tempered	Screen, White	81 SF	36 SF	0.2800 BTU/(h·ft²·°F)	0.22	25/25
115	LR	T	144" x 96"	Andersen	Narrowline	NLGD12080-4	Sliding Glass Door, Four-Panel	White	White Drywall Return w/ Interior Painted White by Site G.C.	Satin Nickel	11'-9"	7'-11 1/2"	7 3/4"	Pull - Andersen	Glass, HP SmartSun, Low-E4, Tempered	Screen, White	81 SF	36 SF	0.2800 BTU/(h·ft²·°F)	0.22	25/25

INTERIOR DOOR- FACTORY BUILT

TAG	Hand	MANUFACTURER	MODEL	WIDTH	HEIGHT	UNIT WIDTH	UNIT HEIGHT	WALL DEPTH	LATCHSET TYPE	FINISH
104	N/A	Johnson Hdw/Masonite	Bypass Hardboard Flush	5'-1"	6'-10"	4'-11"	6'-8"	4 1/2"	Closest Pull	Vendor Primed, Paint in Field
105	LH	Masonite	Hardboard Flush	2'-8"	6'-10"	2'-6"	6'-8"	4 1/2"	Latchset - Privacy	Vendor Primed, Paint in Field
106	LH	Masonite	Hardboard Flush	2'-8"	6'-10"	2'-6"	6'-8"	4 1/2"	Latchset - Privacy	Vendor Primed, Paint in Field
107	N/A	Johnson Hdw/Masonite	Hardboard Flush	8'-1"	6'-10"	7'-11"	6'-8"	4 1/2"	Closest Pull	Vendor Primed, Paint in Field
108	LH	Masonite	Hardboard Flush	2'-8"	6'-10"	2'-6"	6'-8"	6 1/2"	Latchset - Privacy	Vendor Primed, Paint in Field
110	LR	Masonite	Hardboard Flush	2'-8"	6'-10"	2'-6"	6'-8"	4 1/2"	Latchset - Passage	Vendor Primed, Paint in Field
111	LH	Masonite	Hardboard Flush	2'-8"	6'-10"	2'-6"	6'-8"	4 1/2"	Latchset - Privacy	Vendor Primed, Paint in Field

WINDOW SCHEDULE- SITE BUILT

TAG	HAND	TEMP	QTY	TYPE	MODEL	MODEL NUMBER	MANUFACTURER	WIDTH	HEIGHT	EXTERIOR MATERIAL	INTERIOR FINISH	HARDWARE FINISH	GLAZING TYPE	SCREEN	EGRESS	EGRESS OPG AREA	EGRESS OPG HEIGHT	EGRESS OPG WIDTH	VISIBLE GLASS AREA	CLEAR OPENING VENT	SHGC	U VALUE	DP RATING	PHASE CREATED
A1	L	T	1	Awning 48"x18" T	Awning	AR41	Andersen	4'-0"	1'-5"	White	White Drywall Return with White Interior Finish	White	Glass, HP SmartSun, Low-E4, Tempered	White Screen	No	N/A	N/A	N/A	0 SF	0 SF	0.21	0.2800 BTU/(h·ft²·°F)	60/60	Site Built

EXTERIOR DOOR- SITE BUILT

TAG	HAND	TEMP	STYLE	MANUFACTURER	MODEL	MODEL NUMBER	DESCRIPTION	EXTERIOR MATERIAL	INTERIOR FINISH	HARDWARE FINISH	WIDTH	HEIGHT	UNIT WIDTH	UNIT HEIGHT	WALL DEPTH	LATCHSET TYPE	GLAZING TYPE	SCREEN	VISIBLE GLASS AREA	CLEAR OPENING VENT	SHGC	U VALUE	DP RATING	PHASE CREATED	
001	N/A	N/A	36" x 80" Solid Core	ThermaTru	Smooth-Star	S100	Flush Exterior Door/Frame	Door, Interior	White Drywall Return with White Interior Finish	Satin Nickel	6'-2"	6'-10"	6'-0"	6'-8"	6"	Latchset - Entrance									Site Built
116	L	T	36" x 96" Full-Lite w/ SideLite	ThermaTru	Smooth-Star	S8000-LE	Pre-Hung Exterior Door/Frame with SideLite	White	White Drywall Return with White Interior Finish	Satin Nickel	4'-6"	8'-3"	3'-0 1/8"	8'-0 3/4"	7 3/4"	Latchset - Andersen Entrance	Glass, HP SmartSun, Low-E4	N/A	26 SF	20 SF	0.2700 BTU/(h·ft²·°F)	0.16	30/35	Site Built	
118	LHR	T	36" x 84" Flush	ThermaTru	Smooth-Star	S100	Flush Exterior Door/Frame	White	White Drywall Return with White Interior Finish	Satin Nickel	3'-3"	7'-3"	3'-1 5/8"	6'-11 7/8"	6 1/2"	Latchset - Privacy	N/A	N/A	0 SF	19 SF	0.1400 BTU/(h·ft²·°F)	0	80/85	Site Built	
119	LH	T	16W x 7H x 15R	CLOPAY		9201	PREMIUM FLUSH GARAGE DOOR 16'x7' POLYURETHANE	Wood - White	Vendor Primed - Field Painted		16'-0"	7'-0"												Site Built	
120	LH	T	36" x 80" Solid Core	TBD	Screen Door		Pre-Hung Door/Frame	Wood - White	Vendor Primed - Field Painted		3'-0"	6'-8"			3 1/2"	Latchset - Privacy								Site Built	

INTERIOR DOOR- SITE BUILT

TAG	Hand	MANUFACTURER	MODEL	WIDTH	HEIGHT	UNIT WIDTH	UNIT HEIGHT	WALL DEPTH	LATCHSET TYPE	FINISH	PHASE CREATED
117	LH	Masonite	Hardboard Flush	2'-10"	6'-10"	2'-8"	6'-8"	4 1/2"	Latchset - Passage	Vendor Primed, Paint in Field	Site Built

BLU HOMES:
 SALES: LORIANN KRIZ
 MANAGER: MATT SCHULTE
 A&E: CARL MILLER
 SEE SHEET G310-2 FOR COMPLETE BLU HOMES AND PROJECT CONSULTANT CONTACT INFORMATION
 FOR CONSULTANT USE

SHEPPARD RESIDENCE
 10760 CALYPSO LANE
 MENDOCINO, CA
 95460



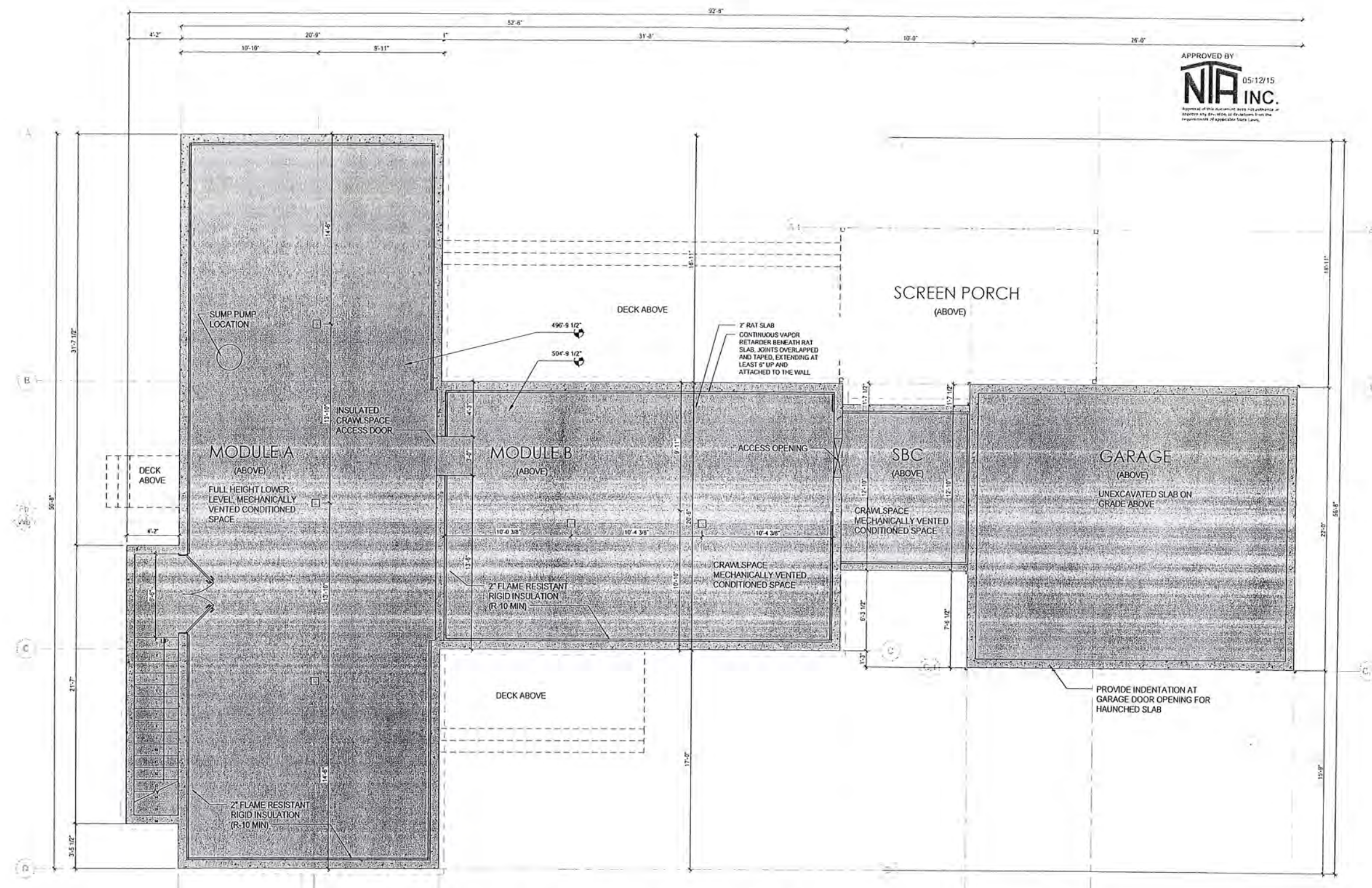
SUBMITTAL: STATE

REVISION	DATE	DRAWN:	CHECKED:	DESCRIPTION
1	04/21/15	CFM	MS	STATE SUBMITTAL
2	05/11/15	CFM	MS	REVISED STATE SUBMITTAL
3	05/15/15	MS	MS	RELEASE TO MDG

STATE SHEET LEGEND
 SHADED AREA INDICATES SITE BUILT ITEMS PERMITTED LOCALLY
 WINDOW C1 IN MOD A: HOME OFFICE/MEDIA ROOM TO HAVE OPENING RESTRICTER

SHEET TITLE:
WINDOW/DOOR SCHEDULE
 SCALE AT 2X/3X:
 SHEET NUMBER:
G014-3

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APPROVED BY
NIA INC. 05/12/15
Approval of this document does not constitute or guarantee the accuracy of the information contained herein or the compliance of applicable State Laws.

BLU HOMES:
 SALES: LORIANN KRIZ
 MANAGER: MATT SCHULTE
 A&E: MATT SCHULTE
 CARL MILLER
SEE SHEET 0210-2 FOR COMPLETE BLU HOMES AND PROJECT CONSULTANT CONTACT INFORMATION
 FOR CONSULTANT USE

SHEPPARD RESIDENCE
 10760 CALYPSO LANE
 MENDOCINO, CA
 95460

blu HOMES
 1245 NIMITZ AVE
 MARE ISLAND, CA 94992
 T: 888.887.7997
 www.bluhomes.com

SUBMITTAL: STATE

REVISION	DATE	DRAWN	CHECKED	DESCRIPTION
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2	05/11/15	CFM	MS	REVISED STATE SUBMITTAL

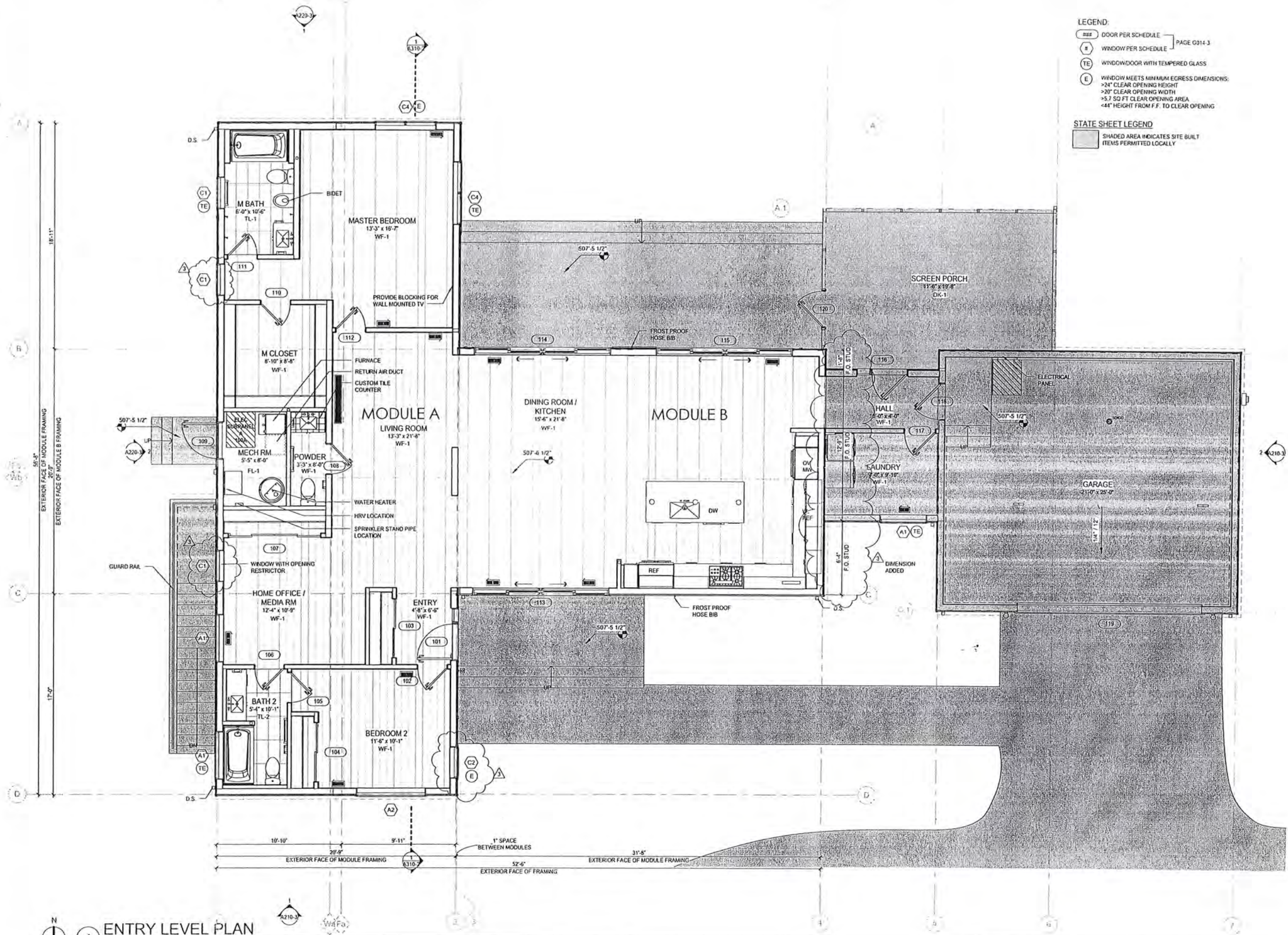
SHEET INCLUDED FOR REFERENCE ONLY, LOWER LEVEL TO BE PERMITTED AND INSPECTED BY LOCAL JURISDICTION. REFER TO LOCAL APPROVED DRAWINGS FOR MOST CURRENT INFORMATION.

STATE SHEET LEGEND
 SHADED AREA INDICATES SITE BUILT ITEMS PERMITTED LOCALLY

SHEET TITLE:
LOWER LEVEL & CRAWLSPACE PLAN
 SCALE AT 22X:
 SHEET NUMBER:
A110-3

1 T.O. FOOTING
 1/4" = 1'-0"

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LEGEND:

- ### DOOR PER SCHEDULE PAGE G014-3
- # WINDOW PER SCHEDULE
- TE WINDOW/DOOR WITH TEMPERED GLASS
- E WINDOW MEETS MINIMUM EGRESS DIMENSIONS:
 >24" CLEAR OPENING HEIGHT
 >20" CLEAR OPENING WIDTH
 >5.7 SQ. FT. CLEAR OPENING AREA
 >44" HEIGHT FROM F.F. TO CLEAR OPENING

STATE SHEET LEGEND

- SHADED AREA INDICATES SITE BUILT ITEMS PERMITTED LOCALLY

BLU HOMES:
 SALES: LORIANN KRIZ
 MANAGER: MATT SCHULTE
 A&E: CARL MILLER

SEE SHEET G010-3 FOR COMPLETE BLU HOMES AND PROJECT CONSULTANT CONTACT INFORMATION
 FOR CONSULTANT USE:

SHEPPARD RESIDENCE

10760 CALYPSO LANE
 MENDOCINO, CA
 95460

blu HOMES

1245 NIMITZ AVE
 MARE ISLAND, CA 94962
 T: 866.857.7997
 www.bluhomes.com

SUBMITTAL: STATE

REVISION	DATE	DRAWN:	CHECKED:	DESCRIPTION
1	04/21/15	CFM	MS	STATE SUBMITTAL
2	05/11/15	CFM	MS	REVISED STATE SUBMITTAL
3	05/15/15	MS	MS	RELEASE TO MDG

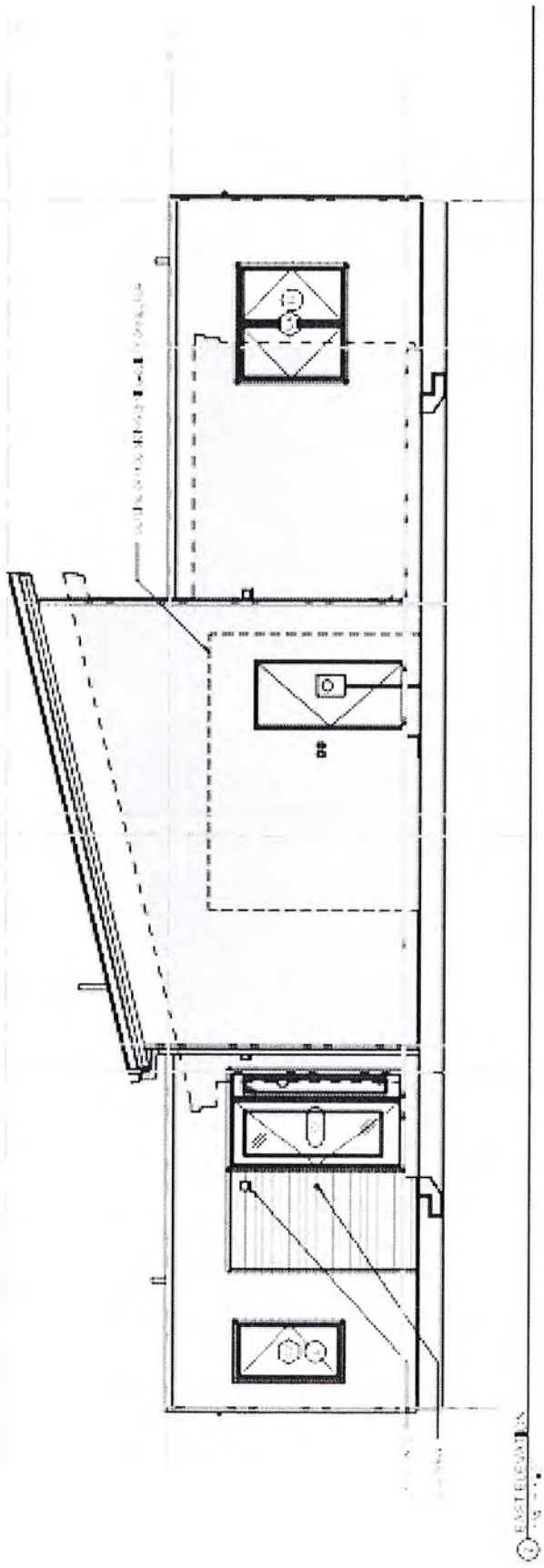
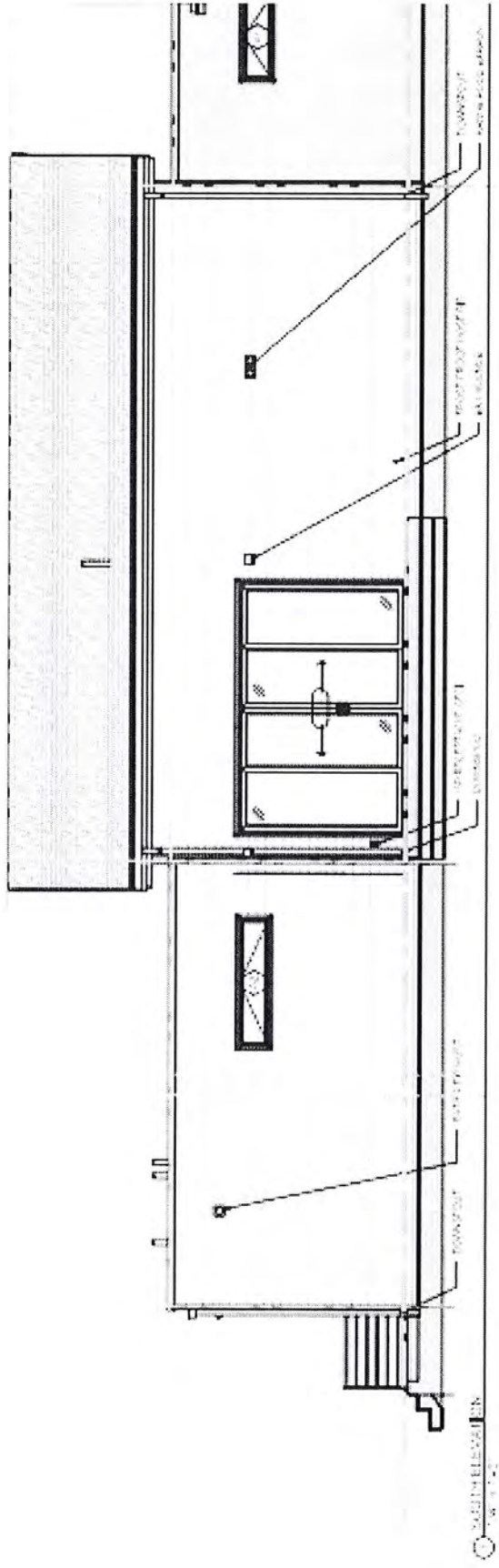
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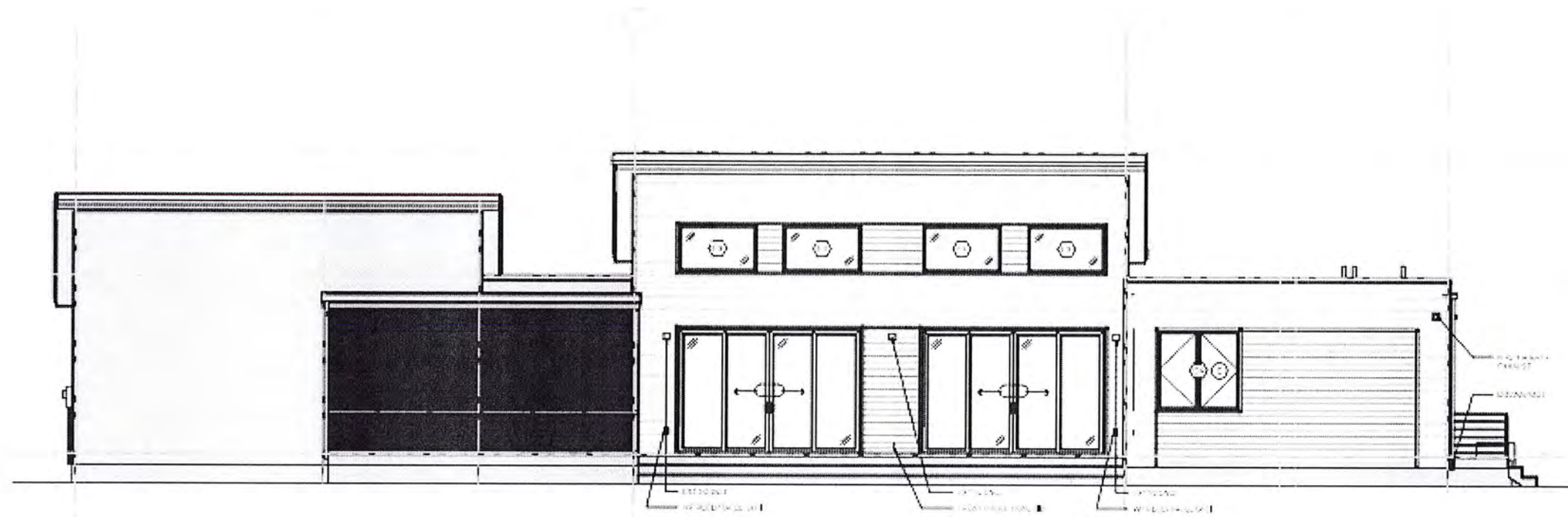
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ENTRY LEVEL FLOOR PLAN

SCALE AT 2X3X:
 SHEET NUMBER:

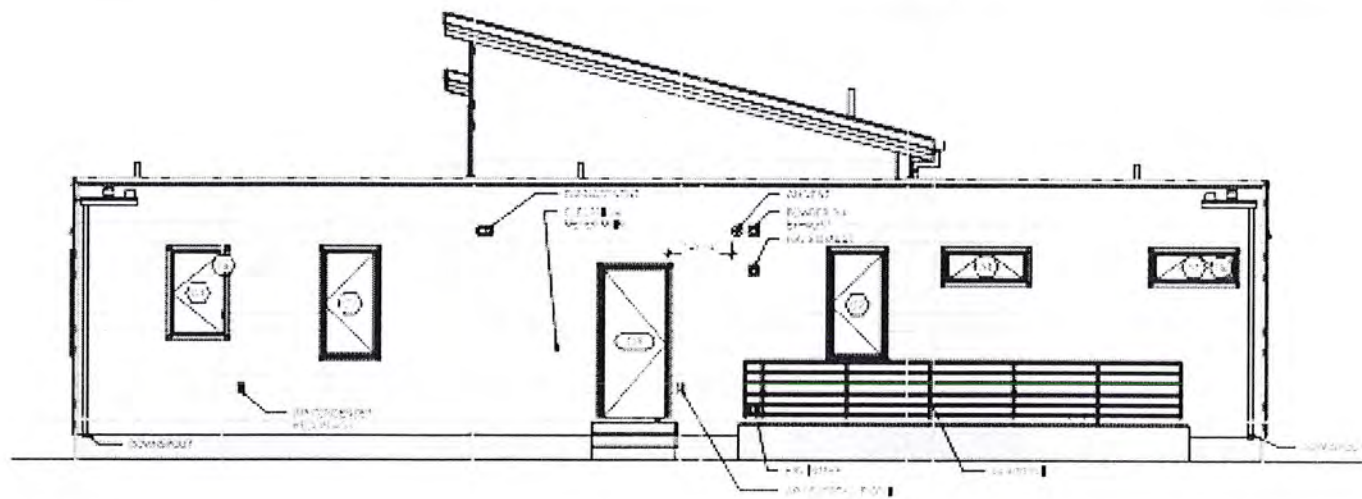
A120-3

1 ENTRY LEVEL PLAN
 1/4" = 1'-0"

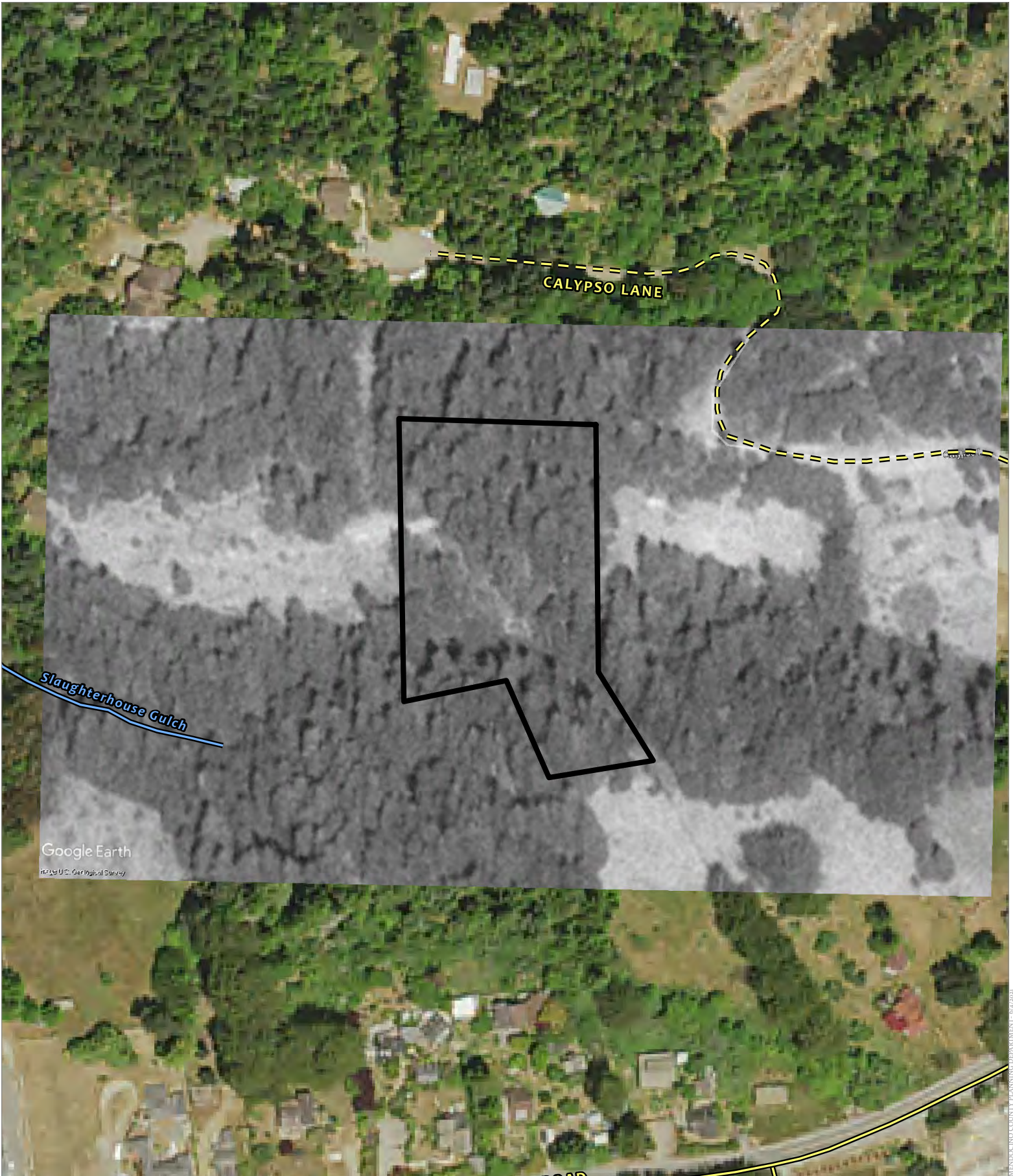







NORTH ELEVATION
1/4" = 1'-0"

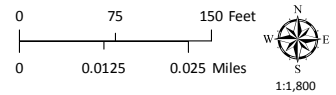


WEST ELEVATION
1/4" = 1'-0"



CASE: **CDP 2018-0012**
 OWNER: **SHEPPARD, Noah & Zoe**
 APN: **119-090-46**
 APLCT: **Noah Sheppard**
 AGENT:
 ADDRESS: **10760 Calypso Lane, Mendocino**




-  Named Rivers
-  Public Roads
-  Private Roads

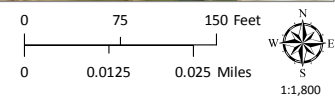




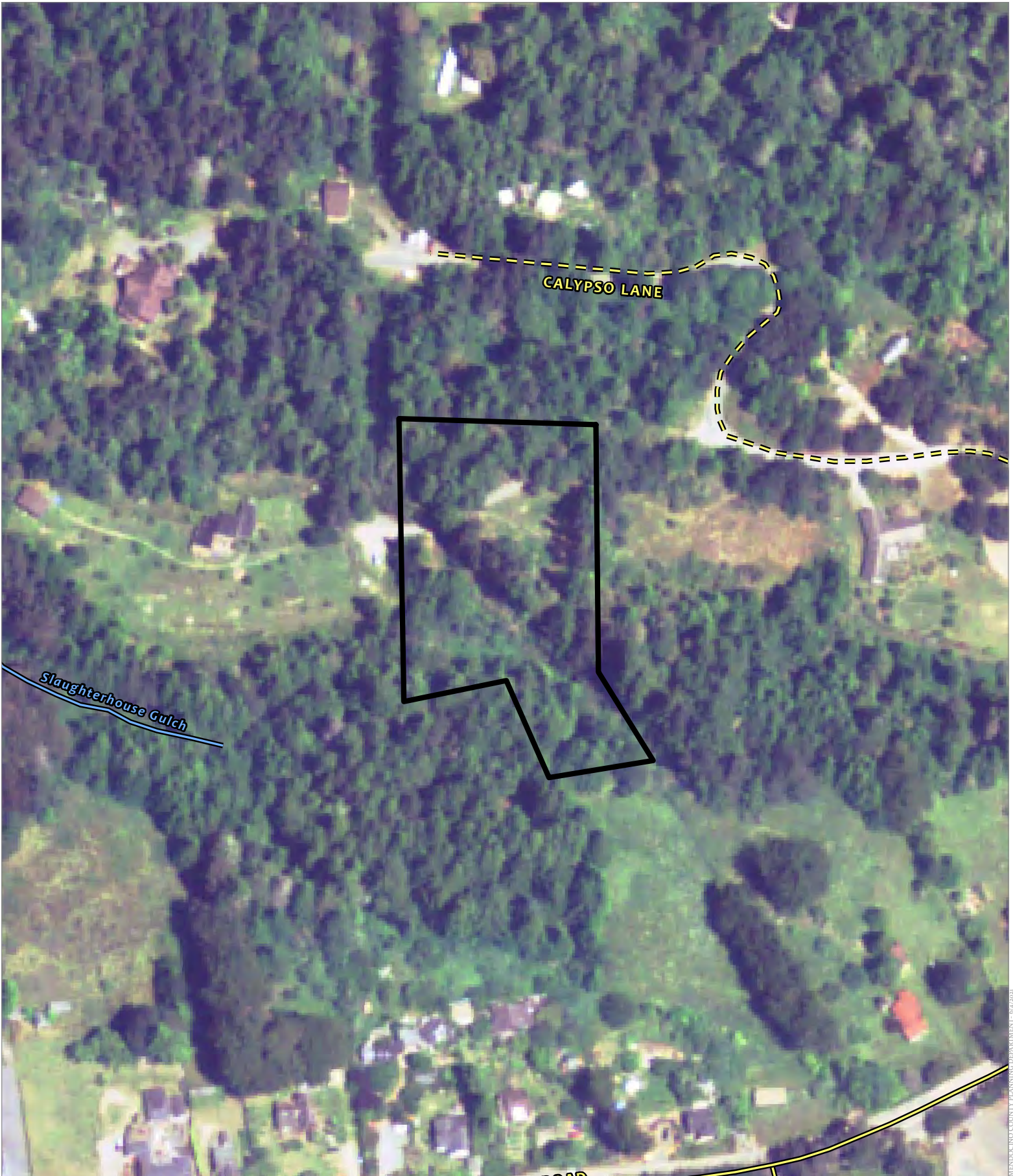
Google Earth
Image © U.S. Geological Survey

CASE: CDP 2018-0012
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-  Named Rivers
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-  Private Roads

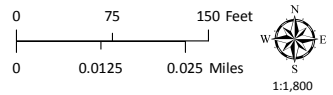


MENDOCINO COUNTY PLANNING DEPARTMENT 4/12/2018



CASE: CDP 2018-0012
OWNER: SHEPPARD, Noah & Zoe
APN: 119-090-46
APLCT: Noah Sheppard
AGENT:
ADDRESS: 10760 Calypso Lane, Mendocino

-  Named Rivers
-  Public Roads
-  Private Roads






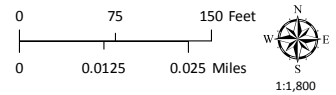
2005 NAIP IMAGERY

ATTACHMENT G



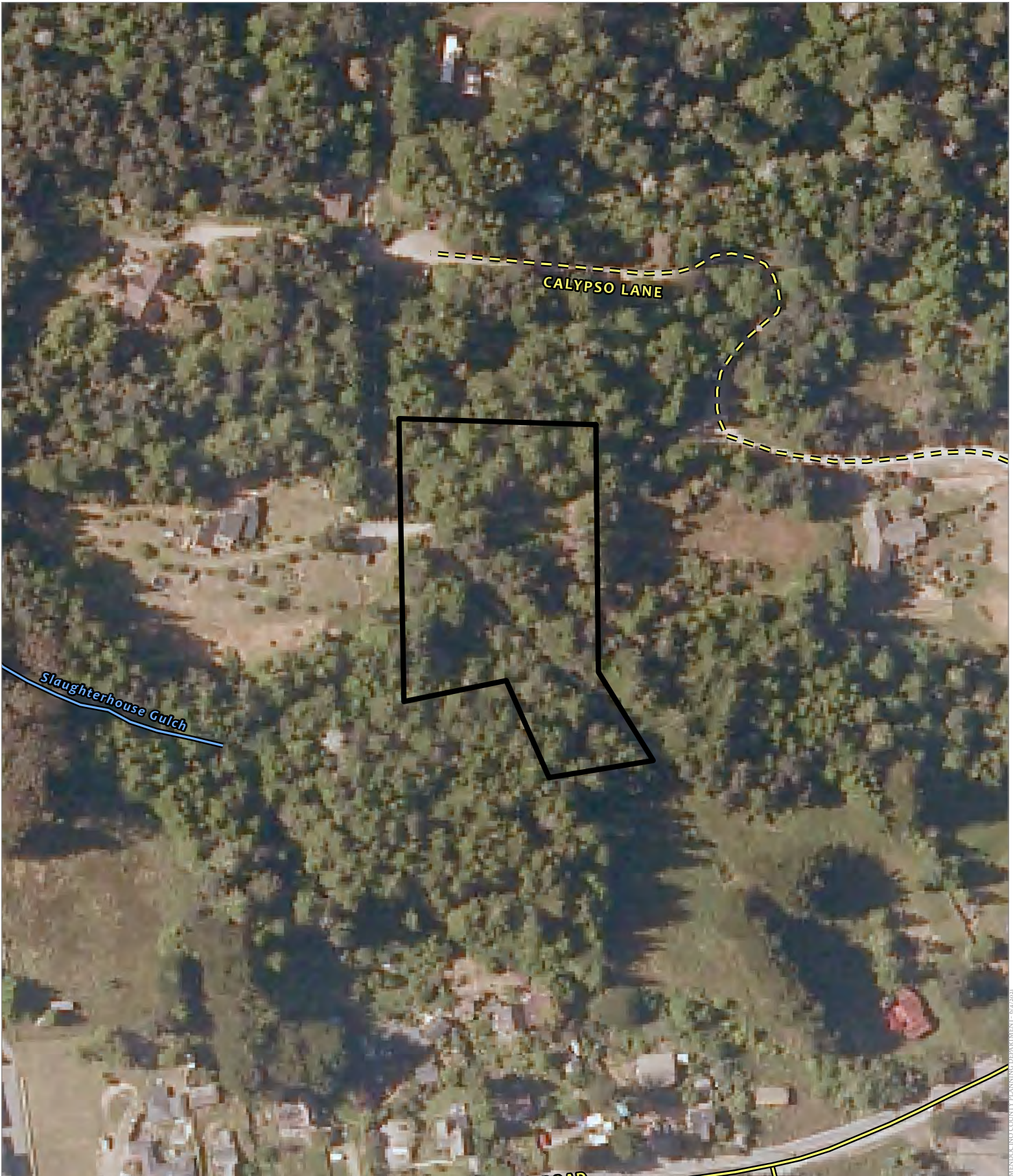
CASE: **CDP 2018-0012**
 OWNER: **SHEPPARD, Noah & Zoe**
 APN: **119-090-46**
 APLCT: **Noah Sheppard**
 AGENT:
 ADDRESS: **10760 Calypso Lane, Mendocino**

-  Named Rivers
-  Public Roads
-  Private Roads






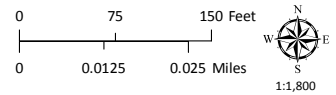
2009 AERIAL IMAGERY

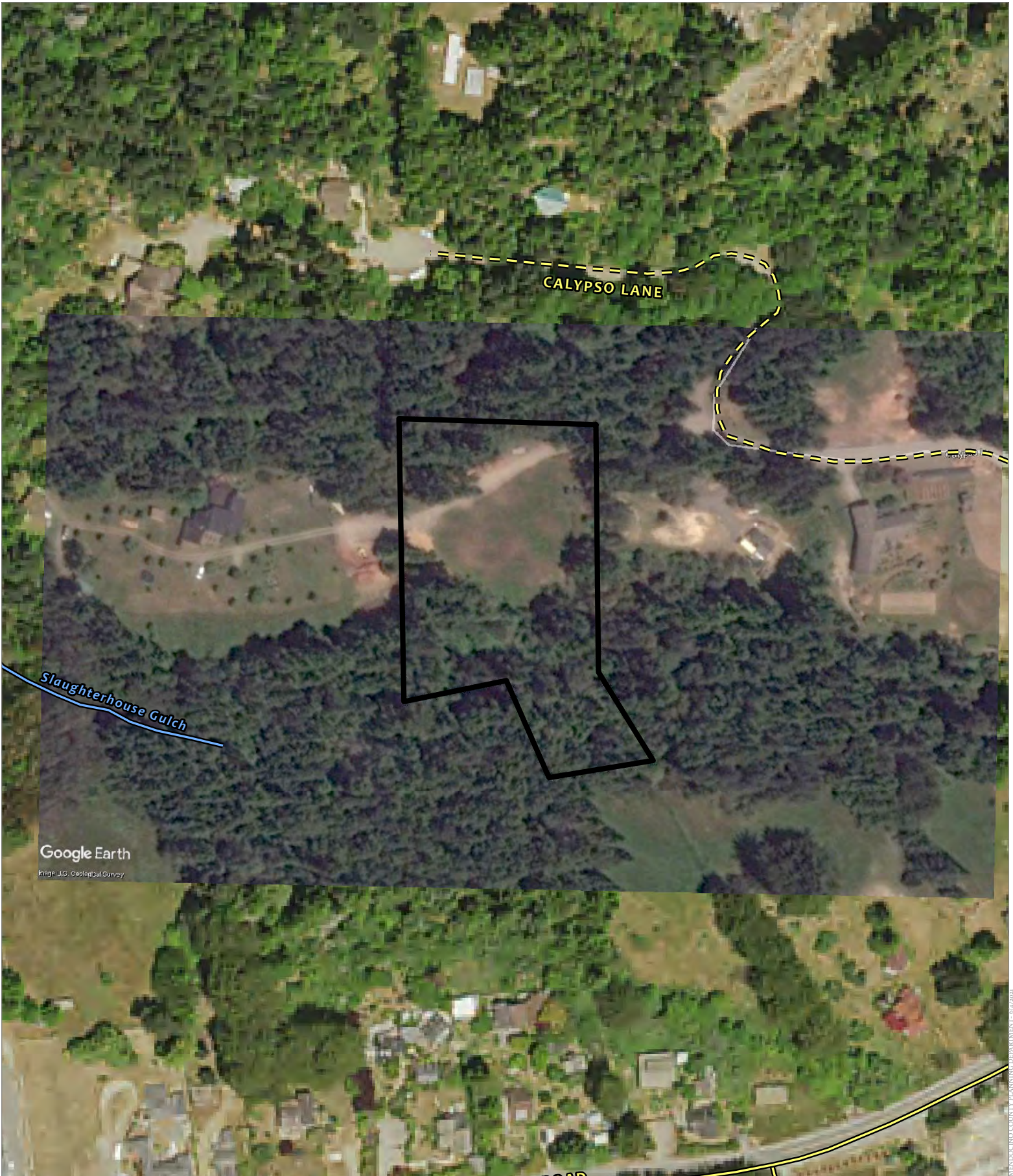
ATTACHMENT H






CASE: CDP 2018-0012
OWNER: SHEPPARD, Noah & Zoe
APN: 119-090-46
APLCT: Noah Sheppard
AGENT:
ADDRESS: 10760 Calypso Lane, Mendocino

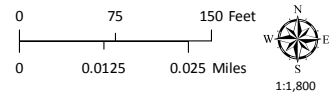
-  Named Rivers
-  Public Roads
-  Private Roads








CASE: **CDP 2018-0012**
 OWNER: **SHEPPARD, Noah & Zoe**
 APN: **119-090-46**
 APLCT: **Noah Sheppard**
 AGENT:
 ADDRESS: **10760 Calypso Lane, Mendocino**

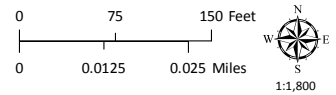
-  Named Rivers
-  Public Roads
-  Private Roads





CASE: CDP 2018-0012
OWNER: SHEPPARD, Noah & Zoe
APN: 119-090-46
APLCT: Noah Sheppard
AGENT:
ADDRESS: 10760 Calypso Lane, Mendocino

-  Named Rivers
-  Public Roads
-  Private Roads



Mendocino City Community Services District

Post Office Box 1029

Mendocino, California 95460

Business Phone (707) 937-5790 Treatment Plant (707) 937-5751 Fax (707) 937-3837

mccsd@mcn.org

March 23, 2022

To Mendocino County Building and Planning Services
C/O Juliana Cherry
120 West Fir St.
Fort Bragg, Ca 95437

RE: 10760 Calypso Ln. in Mendocino, CA APN 119-090-46

Dear Juliana,

The real property at 10760 Calypso Ln. in Mendocino, CA APN 119-090-46 (formerly part of APN 119-090-35 and former address 10770 Calypso) owned by Noah and Zoe Sheppard had their Groundwater Extraction Permit Application for construction of a 3-bedroom single family residence with a daily water allotment not to exceed 260 gal/day approved by the MCCSD Board of Directors. They also received approval from the Board for the 2022 review of their 2005 hydrological study which conclude the 2005 results to still be valid.

In addition the property owners have a valid sewer lateral connection permit on file, a letter from the previous property owner that states the application submitted to MCCSD which lists the prior owners original address of 10770 was and is in fact an application for for APN: 119-090-46 (10760 Calypso Ln). The appropriate sewer right of use fee has been paid. As this date and time the property owners have met all of the MCCSD requirements for water, and sewer service. A final permit will be issued upon completion of the project and inspection by MCCSD of the water meter and sewer lateral.

If you have further questions related to this property please contact our office.

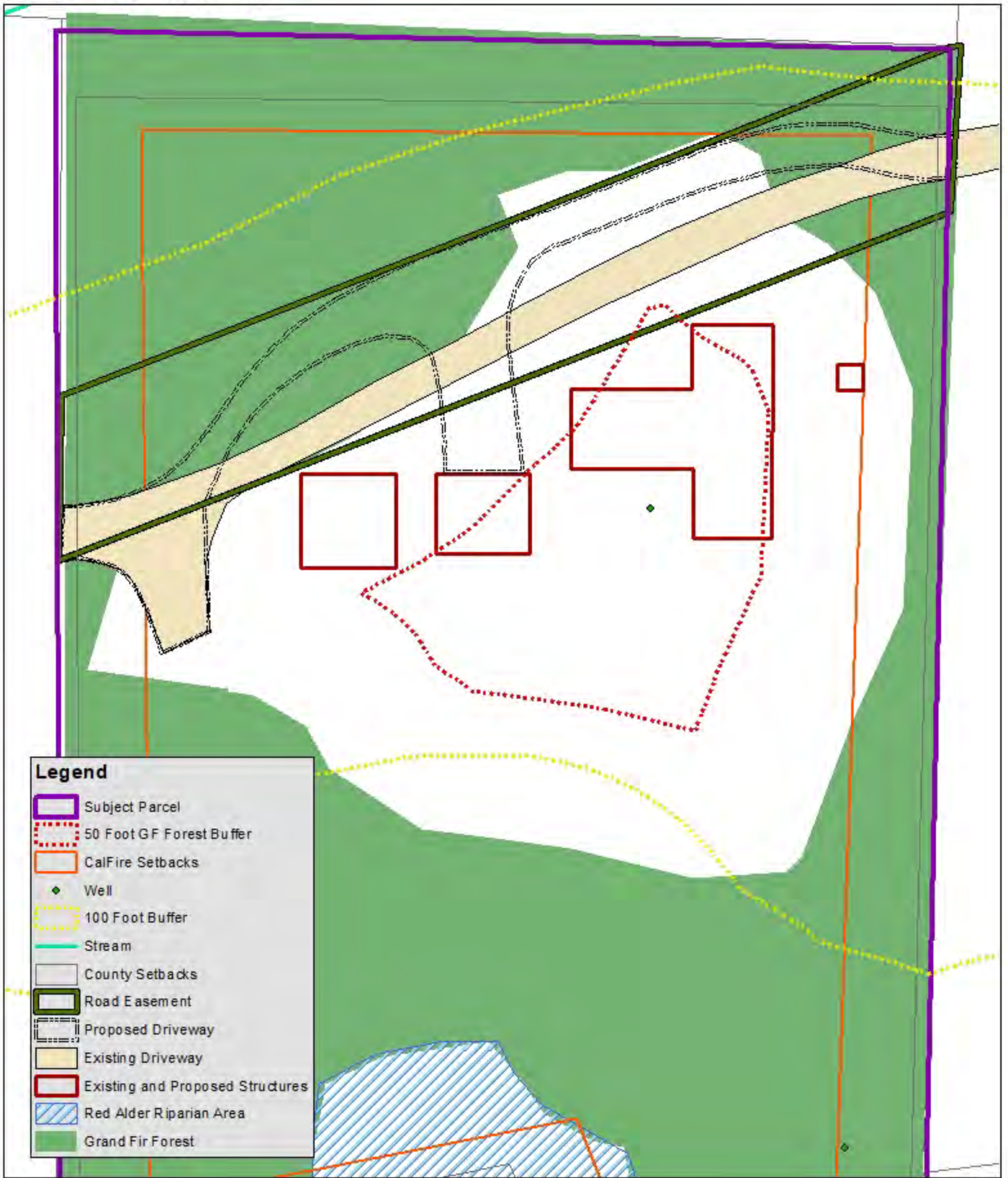
Respectfully,



Ryan Rhoades

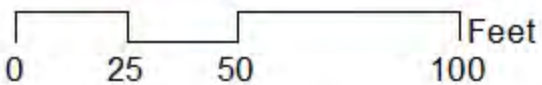
Superintendent, MCCSD

Sheppard APN 119-090-46



Legend

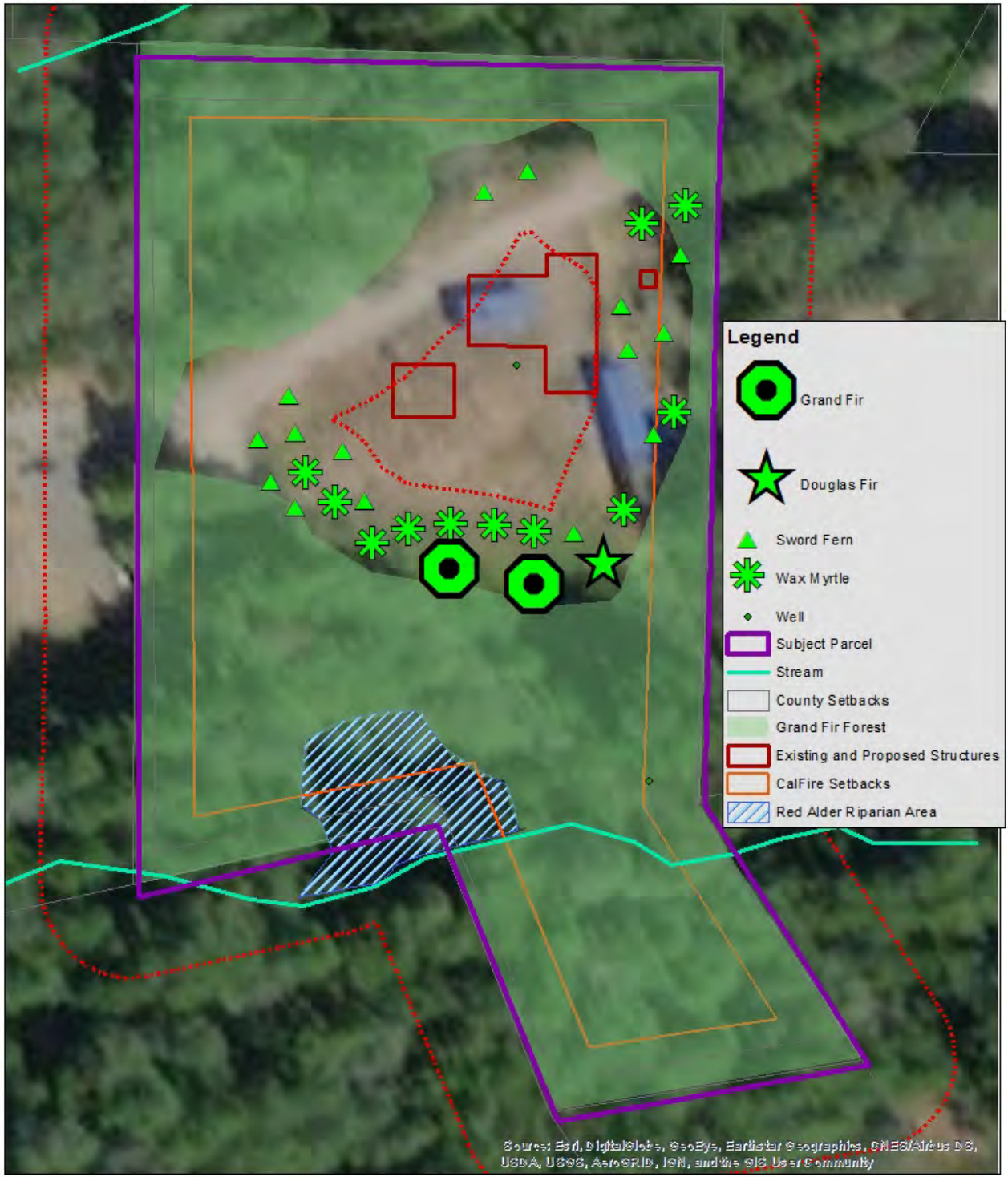
- Subject Parcel
- 50 Foot GF Forest Buffer
- CalFire Setbacks
- Well
- 100 Foot Buffer
- Stream
- County Setbacks
- Road Easement
- Proposed Driveway
- Existing Driveway
- Existing and Proposed Structures
- Red Alder Riparian Area
- Grand Fir Forest



ESHA Buffer Map



Sheppard
 APN 119-090-46



0 40 80 160 Feet

Replanting Plan



Figure 2. ESHA and replanting map.

Teresa R Spade, AICP
Spade Natural Resources Consulting
PO Box 1503
Mendocino, CA 95460
phone: 707-397-1802
spadenrc@gmail.com



To: Juliana Cherry, Planner III
County of Mendocino

Date: August 25, 2021

Re: CDP 2018-0012 Sheppard Botanical Update Report Clarifications (supercedes September 9, 2019 clarification letter)

Dear Ms. Cherry:

In your hold letter, dated August 26, 2019, you request clarifications regarding the recently submitted botanical update letter for CDP 2018-0012 Sheppard. Those clarifications are provided as follows:

The update letter incorrectly indicates on page one of the letter that the soils are mapped as Abalobadiah – Bruhel – Vizcaino complex soils. This was a holdover from the template, and I apologize for the confusion. The soil report included as Appendix D of the update letter correctly shows the mapped soil type as Shinglemill-Gibney complex, 2-9 percent slopes. I have revised page one of the update letter to be consistent with the Appendix D. That page is attached.

You suggest that Shinglemill-Gibney soils are likely to be hydric and are associated with pygmy type vegetation.

The Shinglemill -Gibney complex is comprised of 45% Shinglemill soils, which are a hydric soil type, 5% Tregoning soils, which are hydric, and 5% Tropaquepts which are hydric. The remainder of soils are non-hydric. The USDA hydric soils list can be found at <https://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/use/hydric/>.

On the subject property, no potential wetland areas were observed outside of the mapped riparian area. Neither the original report by Mr. Maslach nor my follow up letter called out any potential wetlands in the project area. A follow up soil analysis is unwarranted.

Pygmy forest is generally associated with Blacklock and Aborigine soils. Although small areas of Blacklock are found in the Shinglemill-Gibney complex, most areas of Shinglemill-Gibney soils are not pygmy. As shown in the plant list, no rare pygmy vegetation was found on or near the site.

Your letter suggests that the onsite mixed coniferous forest includes three special status sensitive natural communities, and should therefore be considered ESHA. Although California Department of Fish and Wildlife staff has indicated in 2019 that based on presence of grand fir, the site would be classified as a grand fir forest, this determination by CDFW staff was made without any visit to the site for context. I believe that with careful consideration of the vegetation at the site and review of the vegetation

classifications and membership requirements, experienced CDFW staff with local knowledge of our forests will be in agreement that the subject site does not qualify as a grand fir forest, but is more closely correlated with the forest type, Douglas Fir – Tanoak Forest and Woodland, which is a G3 S3 designated forest type and the closest alliance designation to mixed conifer forest based on the membership requirements. I have attached a summary from a professional forester who visited the site and agrees this is a common mixed conifer forest.

Membership requirement for the Grand Fir Forest as specified in the Manual of California Vegetation Online is:

- *Abies grandis* > 60% cover in the tree canopy (Nature-Serve 2007).

The site does not meet this requirement.

The only membership requirement the subject site fits in is the Douglas Fir – Tanoak Forest and Woodland Alliance membership requirement, which is as follows:

- *Pseudotsuga menziesii* and *Notholithocarpus densiflorus* both 25%-60% cover in the tree canopy (NVCS).
- *Pseudotsuga menziesii* and *Notholithocarpus densiflorus* both 30%-60% relative cover in the tree canopy (Bingham 1999, VegCAMP 2018).

There are a few points to consider with this designation. The Douglas Fir – Tanoak Forest and Woodland Alliance Type is ranked G3 S3 by the California Department of Fish and Wildlife. That means it is still considered sensitive, however much of its range has not been documented by California Fish and Wildlife. Data and local knowledge of vegetation abundance both point to this forest type as being common rather than sensitive.

The G3 S3 ranking indicates this vegetation alliance is considered sensitive according to the California Department of Fish and Wildlife. This alliance has recently been divided into 38 associations. The Global ranking of G3 and State ranking of S3 indicates that the alliance is vulnerable on a global and state level - at moderate risk of extinction or elimination due to a fairly restricted range, relatively few populations or occurrences, recent and widespread declines, threats, or other factors.

The Manual of California Vegetation Online indicates that the ranking system can be quantified as follows:

Global and State Ranks

- G1 S1: Fewer than 6 viable occurrences worldwide/ statewide, and/ or up to 518 hectares
- G2 S2: 6-20 viable occurrences worldwide/ statewide, and/ or more than 518-2,590 hectares
- G3 S3: 21-100 viable occurrences worldwide/ statewide, and/ or more than 2,590-12,950 hectares
- G4 S4: Greater than 100 viable occurrences worldwide/ statewide, and/ or more than 12,950 hectares
- G5 S5: Demonstrably secure because of its worldwide/ statewide abundance

A hectare is 2.47105 acres. According to the Manual of California Vegetation Online, a G4S4 (secure) alliance would be one in which there is more than 32,000 acres. According to Thompson et al, between 2001 and 2010 there was an estimated nearly 8 million acres of mixed conifer forest in California alone. This forest type is also found in Oregon.

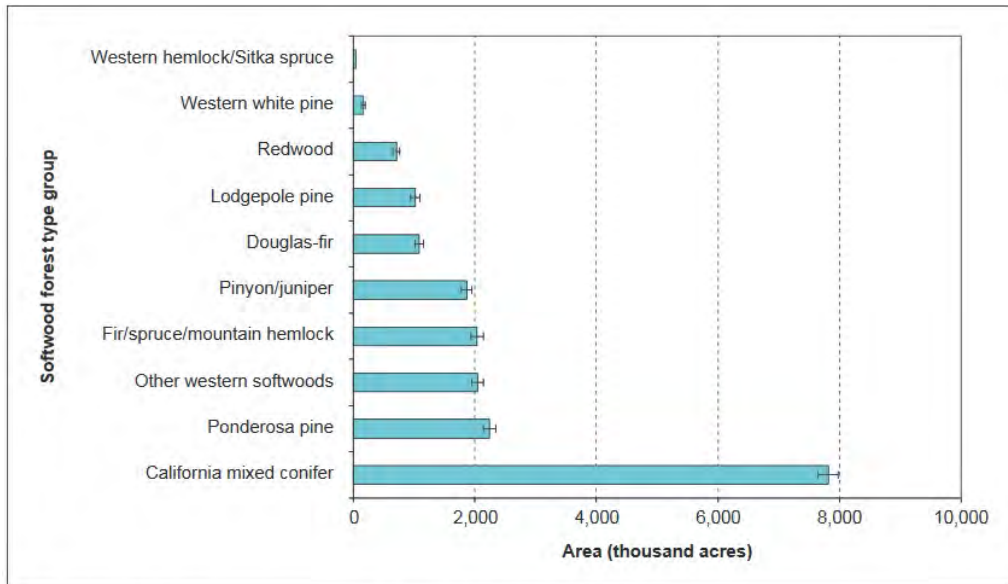
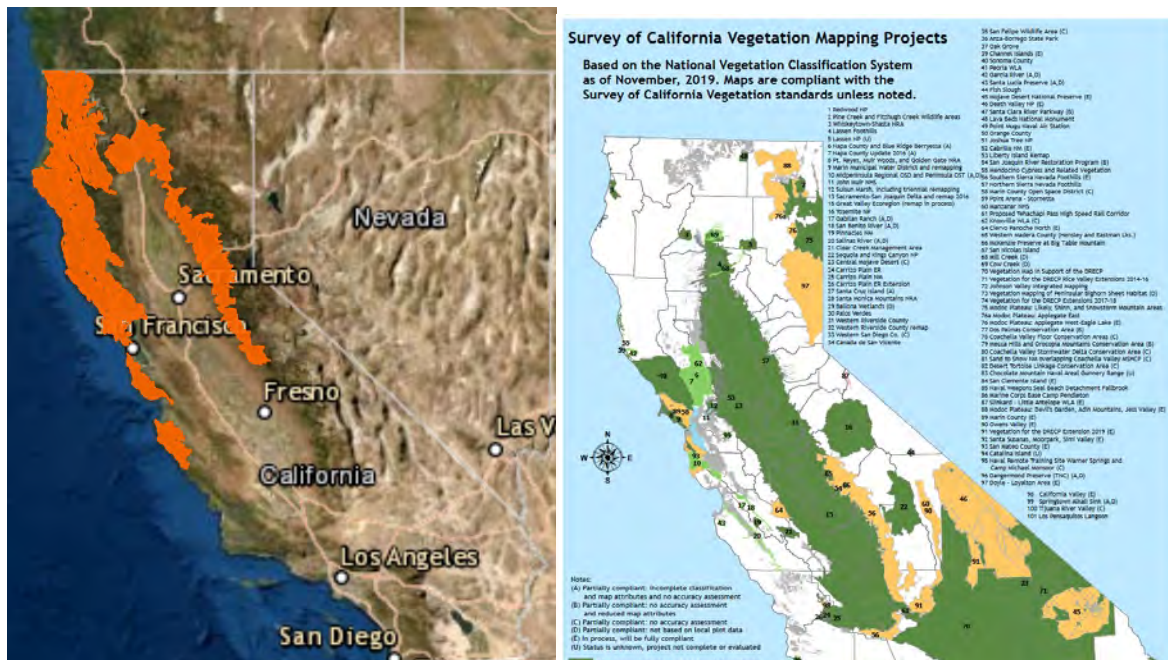


Figure 9—Area of softwood forest type groups on forest land in California, 2001–2010.

Figure 1. Forest types found in California between 2001 and 2010 (Thompson et al, 2016).

According to the 1972 US Forest Service publication, [Timber Resources of Mendocino and Sonoma Counties, California](#), Redwood forest is by far the most common here, with approximately 368,000 acres, with Douglas Fir Forest coming in second at 281,000 acres. Tanoaks are indicated as a commonly present hardwood in the county, both on its own and mixed with both redwood and Douglas Fir Forests. While this data is not specific to the alliance categorized, it does support my own understanding of local forest abundance, and the likelihood that this forest type is far more common than available CDFW data shows. Figures 2 and 3 below show that much of the range for Douglas Fir -Tanoak Forest has not been surveyed by CDFW and for this reason their data is incomplete.

The mapped range for the Douglas Fir – Tanoak Forest is shown in Figure 2 below, as shown on the USDA Ecological Section Map for the Manual of California Vegetation Online. Douglas Fir – Tanoak forest is also found in Oregon according to US Geological Service information on this alliance. Also shown in Figure 3 is the current extent of vegetation mapping done by CDFW. You can see by looking at these maps that the vast majority of the Douglas Fir – Tanoak Forest range has not been included yet in the CDFW mapping effort.



Figures 2 and 3. The first map shows in orange the current range for Douglas Fir – Tanoak forest. The second map shows in white areas where California Department of Fish and Wildlife has not yet conducted vegetation alliance mapping efforts.

Because the forest should be reclassified as common, there are several recommended conditions of approval that should be deleted. Those are as follows (this is in addition to the conditions of approval changes I have already recommended):

1. This action shall become final on the 11th day following the decision unless an appeal is filed pursuant to Section 20.544.015 **20.720.015** of the Mendocino **Town Zoning Code** County Coastal Code. ~~CDP_2018-0002 shall become effective after the ten working day appeal period to the Coastal Commission has expired and no appeal has been filed with the Coastal Commission. CDP_2018-0002~~**2018-0012** shall expire and become null and void at the expiration of two years after the effective date, except where construction and use of the property in reliance on such permit has been initiated prior to its expiration.

To remain valid, progress towards completion of the project must be continuous. The Applicants have sole responsibility for renewing this application before the expiration date. The County will not provide a notice prior to the expiration date.

2. The use and occupancy of the premises shall be established and maintained in conformance with the provisions of ~~Division II~~ **Division III** of Title 20 of the Mendocino County Code (MCC).
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and that compliance therewith is mandatory, unless an amendment has been approved by the Coastal Permit Administrator.
4. This permit shall be subject to the securing all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction.
5. The applicant shall secure all required Building Permits for the proposed project as required by the Building Division of the Department of Planning and Building Services.

6. This permit shall be subject to revocation or modification upon a finding of any one or more of the following:
 - a. The permit was obtained or extended by fraud.
 - b. One or more of the conditions upon which the permit was granted have been violated.
 - c. The use for which the permit was granted is conducted so as to be detrimental to the public health, welfare or safety, or to be a nuisance.
 - d. A final judgment of a court of competent jurisdiction has declared one or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one or more such conditions.

7. CDP_2018-0002 **2018-0012** is issued without a legal determination having been made upon the number, size or shape of parcels encompassed within the permit described boundaries. Should, at anytime, a legal determination be made that the number, size or shape of parcels within the permit described boundaries are different than that which is legally required by this permit, this permit shall become null and void.

8. If any archaeological sites or artifacts are discovered during site excavation or construction activities, the applicant shall cease and desist from all further excavation and disturbances within 100 feet of the discovery, and make notification of the discovery to the Director of the Department of Planning and Building Services. The Director will coordinate further actions for the protection of the archaeological resources in accordance with Section 22.12.090 of the Mendocino County Coastal Code.

9. Conditions approving CDP_2018-0002 **2018-0012** shall be printed on any building plans and shall be a part of on-site construction drawings.

10. ~~As authorized by CDP_2018-0012, the Building Permit site plan shall depict authorized locations of building foundations, well heads, septic tank and sewer lateral, staging areas, construction fencing, restoration planting areas, and other details as requested:~~
 - ~~a. The residence, garage, and construction staging may be located fifty feet or more from the 2019 surveyed outward extent of *Grand Fir Forest ESHA*.~~
 - ~~b. Prior to final occupancy for any building permit, restoration planting shall be completed within 50 feet of the 2019 surveyed *Grand Fir Forest ESHA*. (The property owner shall furnish a statement that restoration planting is completed.)~~

11. ~~A coastal development permit or permit amendment shall be required for any future development.~~
 - ~~a. Pursuant with MCC Section 20.720.020(A)(1), repair and maintenance activities that do not result in an addition to, or enlargement or expansion of the development authorized by CDP_2018-0012 shall be exempt from MCC Chapter 20.720.~~
 - b. ~~Within the adopted buffer areas, and Riparian and *Grand Fir Forest ESHAs*, CDP_2018-0012 authorizes and limits the following activities: *Open Space, Passive Recreation, and Active Recreation*. *Accessory uses* are not allowed. Other activities, **Development** within the adopted buffer areas and *Riparian and Grand Fir Forest ESHAs*, shall require a coastal development permit or permit amendment., **except exemptions allowed by MCC Section 20.720.020(A)(1) for repair and maintenance.**~~
 - c. CDP_2018-0012 authorizes a sewer connection to Mendocino City Community Services District. ~~An and an on-site septic tank intended to connect to a sewer lateral shall be located~~

outside of the authorized buffers and ESHAs. Any future on-site solid waste treatment system shall obtain a coastal development permit or permit amendment.

12. ~~In accordance with MCC Chapter 20.492, a building permit, or grading permit exemption, shall be required for any grading, including but not limited to, any excavation or filling or combination thereof involving transfer of more than two (2) cubic yards of material. The Coastal Permit Administrator, or their designee, shall review and approve grading permits to determine their consistency with MCC Chapters 20.492, 20.496, 20.500 and 20.718 regulations. Grading activities, including maintaining road, driveway approach, and parking areas, and any work associated with an Encroachment Permit, shall comply with MCC Chapters 20.492, 20.496, 20.500 and 20.718 regulations.~~
13. ~~In compliance with MCC Section 20.504.035, exterior~~**Exterior** lighting shall be kept to the minimum necessary for safety and security purposes and shall be downcast and shielded, and shall be positioned in a manner that will not shine light or allow light glare to extend beyond the boundaries of the parcel. Prior to issuance of a Building Permit, the property owner shall furnish exterior lighting details to the satisfaction of the Director or authorized designee.
14. In accordance with MCC Section 20.719.020(A), a buffer area shall be established adjacent to all environmentally sensitive habitat areas. ~~The width of the buffer area shall be a minimum 100 feet.~~
 - a. A minimum 100 foot buffer shall be maintained from the upland edge of riparian vegetation along all watercourses to the edge of any development activity, including grading, paving, trenching or other.
 - b. ~~A minimum 100 foot buffer shall be memorialized and measured from the 2019 surveyed outward extent of Grand Fir Forest ESHA.~~
15. ~~In accordance with MCC Sections 20.719.025(A) and 20.719.035(A), to protect environmentally sensitive habitat areas, such as wetlands, riparian corridors, streams, and environmentally sensitive habitat situated near the access road immediately prior to, during, and immediately following construction related activities, the property owner shall:~~
 - a. ~~Erect high visibility fencing with a sediment curtain at the footing to ensure that vehicles and heavy equipment do not incidentally enter the wetland; ensure that equipment and materials are not incidentally, nor intentionally, laid down in the wetland, and ensure that sediment does not migrate into the wetland.~~
 - b. ~~Conduct all work during the dry season, generally regarded as April 15 through October 15, but dependent upon in season weather conditions, to ensure that wet, loosened sediment does not migrate into the wetland.~~
 - c. ~~Within the Road and Utility Easement, which is a disturbed area adjacent to an ESHA, one time trenching and backfilling to underground overhead utilities is permitted. When the ground is disturbed, a biologist shall be on-site and make recommendations to ensure the protection of the ESHA from trenching and backfilling. Areas trenched shall be backfilled and restored with seed, gravel paving, or at the biologist's recommendation to protect the ESHA.~~
16. Prior to the issuance of a Building Permit associated with CDP 2018-0002-2018-0012, the property owner shall execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall provide that:
 - a. ~~The landowner understands that the parcel may be subject to flooding and erosion hazards and the landowner assumes the risk from such hazards; and~~

- b. ~~The landowner agrees to indemnify and hold harmless the County of Mendocino, its successors in interest, advisors, officers, agents and employees against any and all claims, demands, damages, costs, and expenses of liability (including without limitation attorneys' fees and costs of the suit) arising out of the design, construction, operation, maintenance, existence or failure of the permitted project. Including, without limitation, all claims made by any individual or entity or arising out of any work performed in connection with the permitted project; and~~
 - c. ~~The landowner agrees that any adverse impacts to the property caused by the permitted project shall be fully the responsibility of the applicant; and~~
 - d. ~~The conditions of Permit CDP_2018-0012 are imposed as covenants, conditions and restrictions on the use and enjoyment of the property; and~~
 - e. ~~The adopted findings and conditions approving CDP_2018-0012 shall be attached as exhibits to the Deed Restriction.~~
 - f. ~~An exhibit shall identify the property boundaries, all easements, the wells, and the 2019 surveyed outward extent of the Grand Fir Forest ESHA, Riparian ESHA, and their buffers, the 50 foot wide restoration planting area, and the exhibit shall include a legend and standard scale. The exhibit shall be prepared to the satisfaction of the Coastal Permit Administrator or their designee.~~
 - g. ~~The document shall run with the land, bind all successors and assigns, and shall be recorded free of all prior liens and encumbrances, except for tax liens.~~
17. The property owner shall protect Riparian ESHA, ~~Grand Fir Forest ESHA~~, and other environmentally sensitive habitat areas including California and northern red-legged frogs, special status plants, and nesting birds, by the following avoidance measures identified by Spade Natural Resources Consulting in the August 27, 2019, update letter to Botanical Survey Report and the March 26, 2020, Report of Compliance:
- a. ~~**Invasive Plants** (i) Removal of invasive plants present on the site, including bull thistle (*Cirsium vulgare*), Scotch broom (*Cytisus scoparius*), French broom (*Genista monspessulana*), and English holly (*Ilex aquifolium*) shall be completed prior to final occupancy of the Building Permit. (ii) Prior to use on the site, heavy equipment should be washed down off site to prevent accidental contamination with invasive plant seed. (iii) Invasive plants as listed by CalIPC should not be used as landscaping species and landscaping shall consist of plants native to the Mendocino coast.~~
 - b. ~~**Erosion Control** Standard Best Management Practices shall be employed to assure minimization of erosion resulting from construction. Ground disturbance shall be limited to the minimum necessary and disturbed soil areas shall be stabilized as soon as feasible. Any soil stockpiles will need to be covered or otherwise stabilized to prevent dust impacts.~~
 - c. ~~Birds and Bats – No preconstruction surveys would be required for birds or bats if vegetation removal (including standing dead trees) is scheduled during September or October. The months of November through August would require a bird and/or bat survey dependent on the time of year.~~
 - i. **Birds.** The bird breeding season typically extends from February to August. Ideally, the clearing of vegetation and the initiation of construction can be done in the non-breeding season between September and January. If these activities cannot be done in the non-breeding season, a qualified biologist shall perform preconstruction breeding bird within 14 days of the onset of construction or clearing of vegetation. If active breeding bird nests are observed, no ground disturbance activities shall occur

within a minimum 100 foot exclusion zone. These exclusion zones may vary depending on species, habitat and level of disturbance. The exclusion zone shall remain in place around the active nest until all young are no longer dependent upon the nest. A biologist should monitor the nest site weekly during the breeding season to ensure the buffer is sufficient to protect the nest site from potential disturbances.

- ii. **Bats.** Bat roost sites can change from year to year, so pre-construction surveys are usually necessary to determine the presence or absence of bat roost sites in a given area. Pre-construction bat surveys do not need to be performed if work or vegetation removal is conducted between September 1 and October 31, after young have matured and prior to the bat hibernation period. However, if it is necessary to disturb potential bat roost sites between November 1 and August 31, pre-construction surveys shall be conducted. Pre-construction bat surveys involve surveying trees, rock outcrops, and buildings subject to removal or demolition for evidence of bat use (guano accumulation, or acoustic or visual detections). If evidence of bat use is found, then biologists shall conduct acoustic surveys under appropriate conditions using an acoustic detector, to determine whether a site is occupied. If bats are found, a minimum 50 foot buffer should be implemented around the roost tree. Removal of roost trees shall occur in September and October, or after the bats have left the roost.

- d. **Northern Red-Legged Frog** – Project contractors shall be trained by a qualified biologist in the identification of the northern red-legged frog (*Rana aurora*). A survey for Northern red-legged frog shall occur within two weeks prior to construction. Construction crews will begin each day with a visual search around all stacked or stored materials, as well as along any silt fences to detect the presence of frogs. When a special status frog is detected, construction crews will contact California Department of Fish and Wildlife or a qualified biologist to relocate northern red-legged frogs prior to re-initiating work. If a rain event occurs during the construction period, all ground disturbing construction-related activities will cease for a period of 48 hours after the rain stops. Prior to resuming ground disturbing construction activities, trained construction crew member(s) will examine the site for the presence of frogs. If no special status frogs are found, construction activities may resume.

- e. **Sonoma Tree Vole** – If trees are to be removed to accommodate the development, a Sonoma tree vole survey shall occur within two weeks of tree removal activities. Protocols per the California Department of Fish and Wildlife shall be followed should Sonoma tree vole nests be identified in trees to be removed. **Similarly, surveys for Mendocino Leptonetid Spider shall occur if trees are to be removed or vegetation cleared from the forest.**

- f. **Grand Fir Forest and Riparian Vegetation Habitat Avoidance** – No direct impacts are to occur to onsite or nearby streams, riparian areas, ~~or special status vegetation alliances,~~ from construction or related activities. All staging and materials storage, and other project components must occur outside of established buffer areas, streams, riparian areas ~~and special status vegetation alliances.~~ ~~Prior to ground disturbance with heavy equipment for road relocation, construction fence with straw wattles along the base shall be installed at the northernmost boundary of the Road and Utility Easement on the property. If ground disturbance with heavy equipment is to occur southward of the road easement, construction fence with straw wattles shall also be installed along the dripline of the grand fir forest. All staging, storage, and equipment use shall occur within the existing non-native grassland and roadway, and shall not occur within established buffer areas, including the forested areas of the property.~~

- g. **Special-status Plants.** ~~To protect the special status plants, landscape plantings shall consist of locally native species (or ornamental plants without the potential to become invasive) and any erosional control methods deploying vegetative material will be from certified weed free sources.~~

18. The property owner shall provide for Mitigation Monitoring and Reporting Procedures, including those measures described in Sections 3 Impact Avoidance Plan & 4 Restoration Plan of the Special Status Community Avoidance and Replanting Plan dated July 28, 2020, as listed below:

Impact Avoidance Plan with the following modified procedures:

- a. **~~Staging and Fencing.~~** ~~Prior to any construction related ground disturbing activities, orange plastic construction fence will be erected 50 feet from the outward extent of the *Grand Fir Forest ESHA* and 100 feet from Riparian ESHA. This construction fence will be maintained in good working order until all ground disturbance, staging, storage, and heavy equipment use associated with the project is complete. Fencing will be staked with an approximately 6 foot metal t posts at 4 to 6 foot intervals, and secured to the t posts with zip ties. During the rainy season (between October 31 and May 1 of any year), silt fencing will be installed and maintained in place on the outer (side away from ESHA) side of the construction fence. Staging and stockpiling will be limited to areas at least 50 feet from *Grand Fir Forest ESHA* and 100 feet from Riparian ESHA. No equipment or materials will enter sensitive areas, and all contractors will be made aware of the purpose of the construction fence, and where to store materials. (Supplanting report Section 3.1)~~
- b. **Erosion, Sedimentation and Dust Control.** (1) Ground disturbance will be minimized, and limited to that which is necessary for the project. (2) Any soil stockpiles will be covered or otherwise stabilized to reduce dust impacts. (3) Areas of disturbed soil will be planted or otherwise stabilized as soon as possible after disturbance.
- c. **Invasive Plant Contamination Avoidance.** (1) Heavy equipment will be washed off-site, prior to use at the site. Special care will be taken to wash tires and undercarriages, where invasive seeds might be present. (2) Soil stabilizing seed will not include invasive seed. (3) ~~Landscaping will be limited to regionally native plants and will not include species found on the CallPC Invasive inventory. (Supplanting report Section 3.2.2)~~
- d. **Spill Prevention Plan.** (1) All heavy equipment maintenance, such as filling with oil and lubricants, will occur off-property. Fuel, oils, and lubricants used for heavy equipment will not be stored at the site. Paints, stains, cement, and other construction materials that may spill will be stored inside sheds or other storage structures if feasible, or in a dedicated portion of the staging area where a tarp or similar device is placed, preventing absorption into the soil if accidentally spilled. Brushes, pans, and other equipment to be rinsed will be wrapped in a plastic bag and rinsed off site. Wash water will not be thrown into the bushes. (2) An accidental spill kit will be kept on site, which will include a shovel, heavy duty plastic bags, absorbent pads, and personal protective devices (gloves, goggles etc.) necessary for the types of materials kept on the site. (3) The Caltrans Spill Prevention and Control manual (WM-4) included as Appendix A (or a more current version if available), should be followed for spill prevention and control procedures.
- e. **Contractor Education.** Prior to the onset of ground disturbing activities, an onsite contractor training will occur. Contractors and subcontractors will be trained by a qualified biologist or ecologist, to recognize on-site special status habitats, ~~including special status vegetation alliances.~~ The contractors will be made aware of the purpose of the construction fence, how it will need to be maintained in place in good working order throughout project implementation, how equipment and materials will need to stay out of sensitive areas, and where staging is to occur. ~~A copy of the final Special Status Community Avoidance and Mitigation Plan will be provided to contractors, and kept on site. (Supplanting report Section 3.4)~~

Restoration Plan with the following modified procedures:

- f. ~~Restoration planting shall be completed prior to final occupancy. (Supplanting report Section 4).~~
- g. ~~**Replacement Goal 1/ Replanting of clearing and replanting within 50 feet of the Grand Fir Forest.** Prior to the conclusion of the initial effective period of this permit and prior to final occupancy permit, restoration planting will occur as shown in Report Figure 2. Should adjustments to the planting plan be needed, an alternative planting plan shall be reviewed by the Coastal Permit Administrator, or their designee, and in consultation with California Department of Fish and Wildlife staff. (Supplanting report Section 4.1.1)~~
- h. ~~Plants used will be purchased in a minimum 5 gallon size container, and will be irrigated or hand watered daily to twice a week as needed for at least the first dry season. Plants will be protected from deer browse, and dead plants will be replaced as needed. (Supplanting report Section 4.1.1)~~
- i. ~~Quantity and variety of regionally native plants: minimum 2 Grand Fir, minimum 1 Douglas Fir, minimum 15 Sword Ferns, and minimum 11 Wax Myrtles. See Figure 2.~~
- j. ~~**Report to California Department of Fish and Wildlife.** As soon as it is discovered that Grand fir forest, or areas mapped as such have been detrimentally impacted during project implementation, the head contractor on site will be responsible to contact the California Department of Fish and Wildlife (CDFW), who will be allowed on site as soon as possible in order to assess and record the extent of the disturbance. California Department of Fish and Wildlife contacts include Jennifer Garrison at 707-964-1476.~~
- k. ~~**Cease Disturbance.** As soon as it is discovered that accidental disturbance has taken place, all disturbances to the sensitive area will stop. Any equipment or materials will be removed from the area as carefully as possible. Protective fencing and/or flagging will be immediately placed around the disturbed area to prevent further impacts.~~
- l. ~~**Soil Restoration.** After permission is granted by CDFW, any disturbed soils will be replaced to previous conditions to the extent feasible. Care will be taken to avoid impacts to any undisturbed areas or special status plants still present.~~
- m. ~~**Replacement Goal 2/ Grand Fir Forest Restoration of Existing Areas Disturbed.** When areas of *Grand Fir Forest ESHA* is impacted, the Coastal Permit Administrator, or their designee, in consultation with the Department of Fish and Wildlife staff, shall require a Grand Fir Forest Restoration Plan. Restoration efforts will result in restoration of plants lost at a ratio of at least 2:1 or as required by the Coastal Permit Administrator.~~
- n. ~~**Monitoring.** Monitoring will occur until replacement goals are achieved. The minimum monitoring period is ten years. (Supplanting report Section 5)~~
- o. ~~**Reporting.** Reports shall be received by the California Department of Fish and Wildlife by December 1 of each year until replacement goals have been met and CDFW signs off on the restoration effort. Reports shall be sent by US Mail to:~~

Jennifer Garrison
 California Department of Fish and
 Wildlife 32330 North Harbor Drive
 Fort Bragg, CA 95437

Reports shall include the following information:

- ~~Name and contact information of person in charge of monitoring activities, and name and contact information of reporting party.~~
 - ~~Color photos of the active management areas at the beginning and end of the reporting period.~~
 - ~~A summary of any issues encountered and management steps taken during the reporting period.~~
 - ~~Methods used during that monitoring period to eradicate weeds, improve ecosystem health, and encourage appropriate vegetative growth.~~
 - ~~Any new invasive plant species observed or evidence of pathogen presence will be described.~~
19. ~~Prior to the issuance of a Building Permit, a mitigation monitoring and reporting plan (MMRP) shall be prepared and accepted by the Coastal Permit Administrator in consultation with the Department of Fish and Wildlife. The MMRP shall include the adopted mitigation measures, criteria to assess survival of plantings after a ten-year period, and identify cessation of water after the third year.~~
20. This entitlement does not become effective or operative and no work shall be commenced under this entitlement until the California Department of Fish and Wildlife filing fees required or authorized by Section 711.4 of the Fish and Game Code are submitted to the Mendocino County Department of Planning and Building Services. Said fee of \$2,530.25 shall be made payable to the Mendocino County Clerk and submitted to the Department of Planning and Building Services within 5 days of the end of any appeal period. Any waiver of the fee shall be on a form issued by the Department of Fish and Wildlife upon their finding that the project has "no effect" on the environment. If the project is appealed, the payment will be held by the Department of Planning and Building Services until the appeal is decided. Depending on the outcome of the appeal, the payment will either be filed with the County Clerk (if the project is approved) or returned to the payer (if the project is denied). Failure to pay this fee by the specified deadline shall result in the entitlement becoming null and void. The property owner has the sole responsibility to insure timely compliance with this condition.
21. ~~The road shall be constructed from pervious materials to the satisfaction of Mendocino County Department of Transportation.~~
22. The code violation, storing an unassembled residence on the site, shall be resolved prior to the expiration of CDP 2018-0012. The structure shall either (1) be removed from the property or (2) a residential building permit final inspection shall be completed prior to the expiration of CDP 2018-0012.

Sincerely,



Teresa R Spade, AICP

Spade Natural Resources Consulting

Enclosures: Letter Summary from Steve Severi
Revised Vegetation Alliance Map

From: [Liebenberg, Angela@Wildlife](mailto:Liebenberg,Angela@Wildlife)
To: [Liam Crowley](mailto:Liam.Crowley)
Cc: [Ryan, Jessica@Wildlife](mailto:Ryan.Jessica@Wildlife); pbs
Subject: CDP_2018-0012 - Sheppard - CDFW Comments
Date: Wednesday, June 7, 2023 11:23:15 AM

Dear Planning and Building Services -

This is in response to the request for comments on CDP_2018-0012. This permit application is an "after the fact request to construct a single-family residence, associated and ancillary structures less than 100 ft. from sensitive habitat areas." The current referral specifically requests comments on 3/1/2023 improvement plans, a request to "revise the type/extent of ESHA on site," and proposed mitigation measures. On April 28, 2023, I participated in a site visit that included CDFW Environmental Scientist Jessica Ryan, County staff (Juliana Cherry and Alexander Sequeira), and landowner Noah Sheppard.

We offer the following informal comments and recommendations on this project in our role as a Trustee and Responsible Agency under the California Environmental Quality Act (CEQA; California Public Resources Code section 21000 et seq.). These comments are intended to assist the Lead Agency in making informed decisions early in the review process.

Based on review of the provided documentation, and discussion during the site visit, the project includes additional new construction as well as the "after the fact" work. A new road (driveway) alignment is proposed that was not previously assessed for potential environmental impacts. During the site visit, it had not yet been determined what the required width of the road would be, potentially ranging from 18-22 feet. Additionally, at that time a geotechnical report was pending.

County Planner Juliana Cherry prepared a Memorandum dated August 12, 2021 in response to a request from the consultant, which included a proposal to revise the type and extent of Environmentally Sensitive Habitat Areas (ESHAs) previously documented. In general, I concur with recommendations contained in the August 12, 2021 Memorandum, specifically recommendations relating to avoidance and minimization measures contained in documents prepared by the consultant.

Recommendations:

1. A qualified professional (biologist) should document and assess the expected biological impacts of construction of the new road. This assessment should specifically identify potential impacts to Environmentally Sensitive Habitat Areas (ESHAs) and associated buffer areas.
2. A mitigation plan should be prepared by a qualified professional which addresses all impacts, including the "after the fact" work as well as impacts that will be caused by

construction of the new road. In addition to revegetation with appropriate locally-native species, mitigation should include removal of invasive species on the site, and continued maintenance until invasive species are eradicated.

3. Revegetation and landscaping on the property should consist of native and non-invasive species. Native species should reflect those found in the natural communities surrounding the project site. Non-native species used in landscaping should be non-invasive and should be primarily restricted to the areas immediately surrounding the residence and accessory structures.
4. Final documentation of the impacts and proposed mitigations for the entire project should be referred to appropriate agencies for review and comment.
5. The County should consider recording a deed restriction as described in the August 12, 2021 Memorandum prepared by County Planner Juliana Cherry. The proposed deed restriction would, in part, identify ESHAs, associated buffers, and restoration planting areas.

I appreciate the opportunity to comment. If you have any questions, please feel free to contact me.

Thank you,

Angela

Angela M. Liebenberg
Senior Environmental Scientist – Supervisor
Coastal Conservation - Mendocino
California Department of Fish and Wildlife
32330 North Harbor Drive
Fort Bragg, CA 95437

Report poachers and polluters - 1 888 334-CALTIP (888 334-2258), 24 hours a day, seven days a week.
<https://www.wildlife.ca.gov/Enforcement/CalTIP>