



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

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www.mendocinocounty.org/pbs

February 27, 2023

Department of Transportation
Environmental Health - Fort Bragg
Building Inspection - Fort Bragg
Assessor
Archaeological Commission

Resource Lands Protection Committee
Department of Forestry/ CalFire
-Land Use
Department of Fish and Wildlife
Hopland Municipal Advisory Council

County Addresser
Cloverdale Rancheria
Redwood Valley Rancheria
Sherwood Valley Band of Pomo Indians
Hopland Rural Fire Protection District

CASE#: U\_2023-0003

DATE FILED: 1/23/2023

OWNER: JOHN FETZER

APPLICANT: MARC TAUB

AGENT: STEPHANIE STRAWHACKER, MH ARCHITECTS

REQUEST: Conversion of an existing barn into a two-story facility for Transient Habitation (lodging – limited), with five guestrooms and other improvements.

LOCATION: 1.4± miles north-northwest of Hopland town center, on the west side of a private drive off the northwest end of Hewlitt & Sturtevant Road (CR 112), 0.5 miles northwest of its (CR 112's) intersection with Rd 112A (CR 112A); located at 11704 Hewlitt & Sturtevant Rd, Hopland.

SUPERVISORIAL DISTRICT: 5

STAFF PLANNER: ROB FITZSIMMONS

RESPONSE DUE DATE: March 13, 2023

PROJECT INFORMATION CAN BE FOUND AT:

www.mendocinocounty.org

Select "Government" from the drop-down; then locate Planning and Building Services/Public Agency Referrals.

Mendocino County Planning & Building Services is soliciting your input, which will be used in staff analysis and forwarded to the appropriate public hearing. You are invited to comment on any aspect of the proposed project(s). Please convey any requirements or conditions your agency requires for project compliance to the project coordinator at the above address, or submit your comments by email to pbs@mendocinocounty.org. Please note the case number and name of the project coordinator with all correspondence to this department.

We have reviewed the above application and recommend the following (please check one):

- No comment at this time.
Recommend conditional approval (attached).
Applicant to submit additional information (attach items needed, or contact the applicant directly, copying Planning and Building Services in any correspondence you may have with the applicant)
Recommend denial (Attach reasons for recommending denial).
Recommend preparation of an Environmental Impact Report (attach reasons why an EIR should be required).
Other comments (attach as necessary).

REVIEWED BY:

Signature Department Date

**CASE: U\_2023-0003**

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**OWNER:** Sundial Ranch LLC

**APPLICANT:** Marc Taub

**AGENT:** Stephanie Strawhacker, MH Architects

**REQUEST:** Conversion of an existing barn into a two-story facility for Transient Habitation (lodging – limited), with five guestrooms and other improvements.

**LOCATION:** 1.4± miles north-northwest of Hopland town center, on the west side of a private drive off the northwest end of Hewlitt & Sturtevant Road (CR 112), 0.5 miles northwest of its (CR 112’s) intersection with Rd 112A (CR 112A); located at 11704 Hewlitt & Sturtevant Rd, Hopland.

**APNs:** **048-040-08, 048-080-04, 048-040-07, 048-010-05**

**PARCEL SIZE:** 159.7± acres

**GENERAL PLAN:** Remote Residential (RMR40), Agricultural Lands (AG40), Rangelands (RL160)

**ZONING:** Agricultural, Rangeland, Upland Residential

**EXISTING USES:** Agricultural, Residential

**DISTRICT:** 5, Williams

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	<u>ADJACENT GENERAL PLAN</u>	<u>ADJACENT ZONING</u>	<u>ADJACENT LOT SIZES</u>	<u>ADJACENT USES</u>
<b>NORTH:</b>	RMR:40	UR	200±	Agricultural
<b>EAST:</b>	AG:40	AG	249±	Agricultural
<b>SOUTH:</b>	RR:5	RR	28.8±	Agricultural
<b>WEST:</b>	RL:160	RL	182±	Agricultural

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**REFERRAL AGENCIES**

**LOCAL**

- Agricultural Commissioner
- Air Quality Management District
- Airport Land Use Commission
- Archaeological Commission
- Assessor’s Office
- Building Division Fort Bragg
- County Addresser
- Department of Transportation (DOT)
- Environmental Health (EH)
- Farm Advisor
- Forestry Advisor
- LAFCO
- City Planning Department
- Mendocino City Comm Services Dist
- Hopland Rural FPD
- Hopland MAC

- Sanitation District
  - School District
  - Water District
  - Mendocino Transit Authority (MTA)
  - Planning Division
  - Resource Lands Protection Com.
  - Sonoma State University
  - Trails Advisory Council
- STATE**
- CALFIRE (Land Use)
  - CALFIRE (Resource Management)
  - California Coastal Commission
  - California Div. of Mine Reclamation
  - California Dept. of Fish & Wildlife
  - California Highway Patrol
  - California Native Plant Society

- California State Clearinghouse
  - CALTRANS
  - Regional Water Quality Control Board
  - Sierra Club
- FEDERAL**
- Sierra Club
  - US Department of Fish & Wildlife
  - US Department of Health Services
  - US Department of Parks & Recreation
  - US Natural Resources Conservation
- TRIBAL**
- Cloverdale Rancheria
  - Potter Valley Tribe
  - Redwood Valley Rancheria
  - Sherwood Valley Band of Pomo Indians

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**ADDITIONAL INFORMATION:**

The current configuration of the subject parcels was set by the most recent recorded Boundary Line Adjustment on file, B\_2017-0062. There is also a more recent Boundary Line Adjustment B\_2021-0004 on file, approved but as yet unrecorded, to transfer the southernmost 4.6 acres of the parcel to the parcel to the south This Boundary Line Adjustment will expire on April 8, 2023 if no further action is taken on it.

Per the applicant, the barn was partially converted into a habitation prior to ownership changing hands, but there is no County record of a permit for this work. Assessor’s records suggest this may have occurred sometime prior to 2003. The applicant proposes remodeling the entire structure, including the unfinished areas, but this requires legalizing the use, hence the application for U\_2023-0003.

**STAFF PLANNER:** ROB FITZSIMMONS

**DATE:**

## ENVIRONMENTAL DATA

**1. MAC:**

GIS

*HOPLAND*

**2. FIRE HAZARD SEVERITY ZONE:**

CALFIRE FRAP maps/GIS

*Moderate/High*

**3. FIRE RESPONSIBILITY AREA:**

CALFIRE FRAP maps/GIS

*State Responsibility Area*

**4. FARMLAND CLASSIFICATION:**

GIS

*Grazing Land; Rural Residential & Rural Commercial; Prime Farmland; Unique Farmland*

**5. FLOOD ZONE CLASSIFICATION:**

FEMA Flood Insurance Rate Maps (FIRM)

*NO*

**6. COASTAL GROUNDWATER RESOURCE AREA:**

Coastal Groundwater Study/GIS

*NO*

**7. SOIL CLASSIFICATION:**

Mendocino County Soils Study Eastern/Western Part

*178 – Pinole gravelly loam, 2-8% slopes*

*142 – Hopland loam, 50-75% slopes*

*235 – Yorkville-Yorktree-Squawrock complex, 30-50% slopes*

*156 – Maxwell clay, 0-9% slopes*

*233 – Yorktree-Squawrock-Witherell complex, 30-50% slopes*

*136 – Henneke-Montara complex 15-50% slopes*

*228 – Yorktree-Yorkville loams, 30-50% slopes*

**8. PYGMY VEGETATION OR PYGMY CAPABLE SOIL:**

LCP maps, Pygmy Soils Maps; GIS

*NO*

**9. WILLIAMSON ACT CONTRACT:**

GIS/Mendocino County Assessor's Office

*YES*

**10. TIMBER PRODUCTION ZONE:**

GIS

*NO*

**11. WETLANDS CLASSIFICATION:**

GIS

*NO (Riverine nearby)*

**12. EARTHQUAKE FAULT ZONE:**

Earthquake Fault Zone Maps; GIS

*NO*

**13. AIRPORT LAND USE PLANNING AREA:**

Airport Land Use Plan; GIS

*NO*

**14. SUPERFUND/BROWNFIELD/HAZMAT SITE:**

GIS; General Plan 3-11

*NO*

**15. NATURAL DIVERSITY DATABASE:**

CA Dept. of Fish & Wildlife Rarefind Database/GIS

*YES (500+ feet from project site)*

**16. STATE FOREST/PARK/RECREATION AREA ADJACENT:**

GIS; General Plan 3-10

*NO*

**17. LANDSLIDE HAZARD:**

Hazards and Landslides Map; GIS; Policy RM-61; General Plan 4-44

*NO*

**18. WATER EFFICIENT LANDSCAPE REQUIRED:**

Policy RM-7; General Plan 4-34

*NO*

**19. WILD AND SCENIC RIVER:**

[www.rivers.gov](http://www.rivers.gov) (Eel Only); GIS

*NO*

**20. SPECIFIC PLAN/SPECIAL PLAN AREA:**

Various Adopted Specific Plan Areas; GIS

*NO*

**21. STATE CLEARINGHOUSE REQUIRED:**

Policy

*NO*

**22. OAK WOODLAND AREA:**

USDA

*YES*

**23. HARBOR DISTRICT:**

Sec. 20.512

*NO*



PLANNING & BUILDING SERVICES

Office Use Only box with fields: CASE NO: U 2023-0003, DATE FILED: 1/23/23, FEE: \$9,894, RECEIPT NO: 54108, RECEIVED BY: MC

APPLICATION FORM

APPLICANT:

Name: Marc Taub Phone: 516-802-4702
Mailing Address: 48 Harbor Park Drive
City: Port Washington State/Zip: New York Email: m@taubfamilyco.com

PROPERTY OWNER:

Name: Heritance Vitners, LLC Phone: 516-802-4702
Mailing Address:
City: State/Zip: Email:

AGENT:

Name: Stephanie Strawhacker, MH Architects Phone: 516-802-4702 x104
Mailing Address: 2325 Third Street #426
City: San Francisco State/Zip: 94109 Email: stephanie@matthollis.com

ASSESSOR'S PARCEL NUMBER/S:

TYPE OF APPLICATION:

- Administrative Permit, Agricultural Preserve: New Contract, General Plan Amendment, Land Division - Minor, Use Permit - Cottage, etc.

I certify that the information submitted with this application is true and accurate.

Signature of Applicant/Agent: Marc D Taub Date: 01/10/2023
Signature of Owner: Marc D Taub Date: 01/10/2023

**SITE AND PROJECT DESCRIPTION QUESTIONNAIRE**

The purpose of this questionnaire is to relate information concerning your application to the Department of Planning and Building Services and other agencies who will be reviewing your project proposal. Please remember that the clearer picture that you give us of your project and the site, the easier it will be to promptly process your application. Please answer all questions. Those questions which do not pertain to your project please indicate "Not applicable" or "N/A".

**THE PROJECT**

**1. Describe your project. Include secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc.**

Approval sought to use ~ 4,000 sf existing structure with 345 sf of covered outdoor space for use as Transient Habitation - Lodging (limited).

Proposed building area is 5,175 sf + 1075 of covered outdoor area which includes the demolition and replacement of existing finishes, an indoor and outdoor kitchen, wine cellar, pantry, five bedrooms with private bathroom, and new bathrooms at common areas.

Site improvements to include new paving for accessible parking and entry, site circulation, fire pit, and new plantings of trees and shrubs.

Existing foundation will be utilized for minimal grading, new septic system to be proposed. Project to be accessed by current paved driveway.

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2. Structures/Lot Coverage	NO. OF UNITS		SQUARE FOOTAGE		
	EXISTING	PROPOSED	EXISTING	PROPOSED	TOTAL
<input type="checkbox"/> Single Family <input type="checkbox"/> Mobile Home <input type="checkbox"/> Duplex <input type="checkbox"/> Multifamily <input type="checkbox"/> Other: <input type="checkbox"/> Other:					
GRAND TOTAL (Equal to gross area of Parcel):					

**3. If the project is commercial, industrial or institutional, complete the following:**

Estimated No. of Employees per shift: \_\_\_\_\_

Estimated No. of shifts per day: \_\_\_\_\_

Type of loading facilities proposed: \_\_\_\_\_

**4. Will the project be phased?**

YES     NO    If yes, explain your plans for phasing:

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**5. Will vegetation be removed on areas other than the building sites and roads?**

YES     NO    If no, explain:

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**6. Will the project involve the use or disposal of potentially hazardous materials such as toxic substances, flammables, or explosives?**

YES     NO    If yes, explain:

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**7. How much off-street parking will be provided?**

	Number	Size
No. of covered spaces:	_____	_____
No. of uncovered spaces:	_____	_____
No. of standard spaces:	_____	_____
No. of accessible spaces:	_____	_____
Existing no. of spaces:	6 uncovered standard	_____
Proposed additional spaces:	1 accessible	_____
Total:	7	_____

**8. Is any road construction or grading planned? If yes, grading and drainage plans may be required.**

YES     NO    Also, please describe the terrain to be traversed. (e.g., steep, moderate slope, flat, etc.)

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**9. For grading or road construction, complete the following:**

Amount of cut: \_\_\_\_\_ cubic yards

Amount of fill: \_\_\_\_\_ cubic yards

Max. height of fill slope: \_\_\_\_\_ feet

Max. height of cut slope: \_\_\_\_\_ feet

Amount of import/export: \_\_\_\_\_ cubic yards

Location of borrow or disposal site: \_\_\_\_\_

10. Does the project involve sand removal, mining or gravel extraction? If yes, detailed extraction, reclamation and monitoring plans may be required.

YES  NO

11. Will the proposed development convert land currently or previously used for agriculture to another use?

YES  NO

12. Will the development provide public or private recreation opportunities?

YES  NO If yes, explain how:

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13. Is the proposed development visible from State Highway 1 or other scenic route?

YES  NO

14. Is the proposed development visible from a park, beach or other recreational area?

YES  NO

15. Does the development involve diking, filling, dredging or placing structures in open coastal water, wetlands, estuaries or lakes?

Diking:  YES  NO

Filling:  YES  NO

Dredging:  YES  NO

Structures:  Open Coastal Waters  Wetlands  Estuaries  Lakes

If so, what is the amount of material to be dredged/filled?: \_\_\_\_\_ cubic yards

Location of dredged material disposal site?: \_\_\_\_\_

Has a U.S. Army Corps of Engineers permit been applied for?  YES  NO

16. Will there be any exterior lighting?

YES  NO If yes, describe below and identify the location of all exterior lighting on the plot and building plans.

All exterior lighting to be code compliant and addressed with building permit.

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17. Utilities will be supplied to the site as follows:

Electricity:  Utility Company (service exists to parcel)

Utility Company (requires extension of service to site): \_\_\_\_\_ feet \_\_\_\_\_ miles

On Site Generation – Specify:

Gas:  Utility Company/Tank

On Site Generation – Specify:

None

Telephone:  YES  NO

**18. What will be the method of sewage disposal?**

- Community Sewage System (specify supplier): \_\_\_\_\_
- Septic Tank
- Other (specify): \_\_\_\_\_

**19. What will be the domestic water source:**

- Community Water System (specify supplier): \_\_\_\_\_
- Well
- Spring
- Other (specify): \_\_\_\_\_

**20. Are there any associated projects and/or adjacent properties under your ownership?**

- YES**       **NO**    If yes, explain: (e.g., Assessor's Parcel Number, address, etc.)

048-010-12 & 13, 048-040-02,04,05, and 048-050-03 formerly known as 48-010-04, 48-040-01, and 48-050-02.

11684 US-101, 11700-704 US-101

**21. List and describe any other related permits and other public approval required for this project, including those required by other County departments, city, regional, State and Federal agencies:**

**22. Describe the location of the site in terms of readily identifiable landmarks: (e.g., mailboxes, mile posts, street intersections, etc.)**

Property is accessed from a paved entrance right off of highway 101. entrance include winery signage, cypress trees, and artificial fountain and pond.

**23. Are there existing structures on the property? If yes, describe below and identify the use of each structure on the plot plan or tentative map if the proposal is for a subdivision.**

- YES**       **NO**

4,000 sf Single Family Residence with a 1,300 sf garage and 750 sf Pool House; and 1,633 sf caretaker home/office.

**24. Will any existing structure be demolished or removed? If yes, describe the type of development to be demolished or removed, including the relocation site, if applicable.**

- YES**       **NO**





## CERTIFICATION AND SITE VIEW AUTHORIZATION

1. I hereby certify that I have read this completed application and that, to the best of my knowledge, the information in this application, and all attached appendices and exhibits, is complete and correct. I understand that the failure to provide any requested information or any misstatements submitted in support of the application shall be grounds for either refusing to accept this application, for denying the permit, for suspending or revoking a permit issued on the basis of such misrepresentations, or for seeking of such further relief as may seem proper to the County.
  
2. I hereby grant permission for County Planning and Building Services staff and hearing bodies to enter upon and site view the premises for which this application is made in order to obtain information necessary for the preparation of required reports and render its decision.

\_\_\_\_\_

Owner/Authorized Agent \_\_\_\_\_  
Date

**NOTE:** IF SIGNED BY AGENT, OWNER MUST SIGN BELOW.

AUTHORIZATION OF AGENT

I hereby authorize \_\_\_\_\_ to act as my representative and to bind me in all matters concerning this application.

\_\_\_\_\_

Owner \_\_\_\_\_  
Date

### MAIL DIRECTION

To facilitate proper handling of this application, please indicate the names and mailing addresses of individuals to whom you wish correspondence and/or staff reports mailed if different from those identified on Page 1 of the application form.

<b>Name</b>	<b>Name</b>	<b>Name</b>
<b>Mailing Address</b>	<b>Mailing Address</b>	<b>Mailing Address</b>

COMPLETE FOR PROJECTS  
LOCATED IN THE COASTAL  
ZONE ONLY

**DECLARATION OF POSTING**

At the time the application is submitted for filing, the applicant must **Post**, at a conspicuous place, easily read by the public and as close as possible to the site of the proposed development, notice that an application for the proposed development has been submitted. Such notice shall contain a general description of the nature of the proposed development and shall be on the standard form provided in the application packet. If the applicant fails to post the completed notice form and sign the **Declaration of Posting**, the Department of Planning and Building Services cannot process the application.

As **Proof of Posting**, please sign and date this Declaration of Posting form when the site is posted; it serves as proof of posting. It should be returned to the Department of Planning and Building Services with the application.

Pursuant to the requirements of Section 20.532.025(H) of the Mendocino County Code, I hereby certify that on \_\_\_\_\_  
(date of posting), I or my authorized representative posted the "NOTICE OF PENDING  
PERMIT" for application to obtain a Coastal Development Permit for the development of:

\_\_\_\_\_

(Description of development)

Located at:

\_\_\_\_\_

(Address of development and Assessor's Parcel Number)

The public notice was posted at:

\_\_\_\_\_

(A conspicuous place, easily seen by the public and as close as possible to the site of proposed development)

\_\_\_\_\_  
Owner/Authorized Representative

\_\_\_\_\_  
Date

(A copy of the notice which was posted shall be attached to this form).

**NOTE:** YOUR APPLICATION CANNOT BE PROCESSED UNTIL THIS "DECLARATION OF POSTING" IS SIGNED AND RETURNED TO PLANNING AND BUILDING SERVICES.

COMPLETE FOR PROJECTS  
LOCATED IN THE COASTAL  
ZONE ONLY

# NOTICE OF PENDING PERMIT

A COASTAL PERMIT APPLICATION FOR DEVELOPMENT ON THIS SITE IS PENDING BEFORE THE COUNTY OF MENDOCINO.

PROPOSED DEVELOPMENT: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

LOCATION: \_\_\_\_\_  
\_\_\_\_\_

APPLICANT: \_\_\_\_\_  
\_\_\_\_\_

ASSESSOR'S PARCEL NUMBER: \_\_\_\_\_  
\_\_\_\_\_

DATE NOTICE POSTED: \_\_\_\_\_

**FURTHER INFORMATION IS AVAILABLE AT:**

COUNTY OF MENDOCINO  
DEPARTMENT OF PLANNING & BUILDING SERVICES  
[pbs@mendocinocounty.org](mailto:pbs@mendocinocounty.org)  
860 North Bush Street, Ukiah, CA 95482, 707-234-6650  
120 West Fir Street, Fort Bragg, CA 95437, 707-964-5379  
HOURS: 8:00 - 5:00

## **Indemnification And Hold Harmless**

ORDINANCE NO. 3780, adopted by the Board of Supervisors on June 4, 1991, requires applicants for discretionary land use approvals, to sign the following Indemnification Agreement. Failure to sign this agreement will result in the application being considered incomplete and withheld from further processing.

### **Indemnification Agreement**

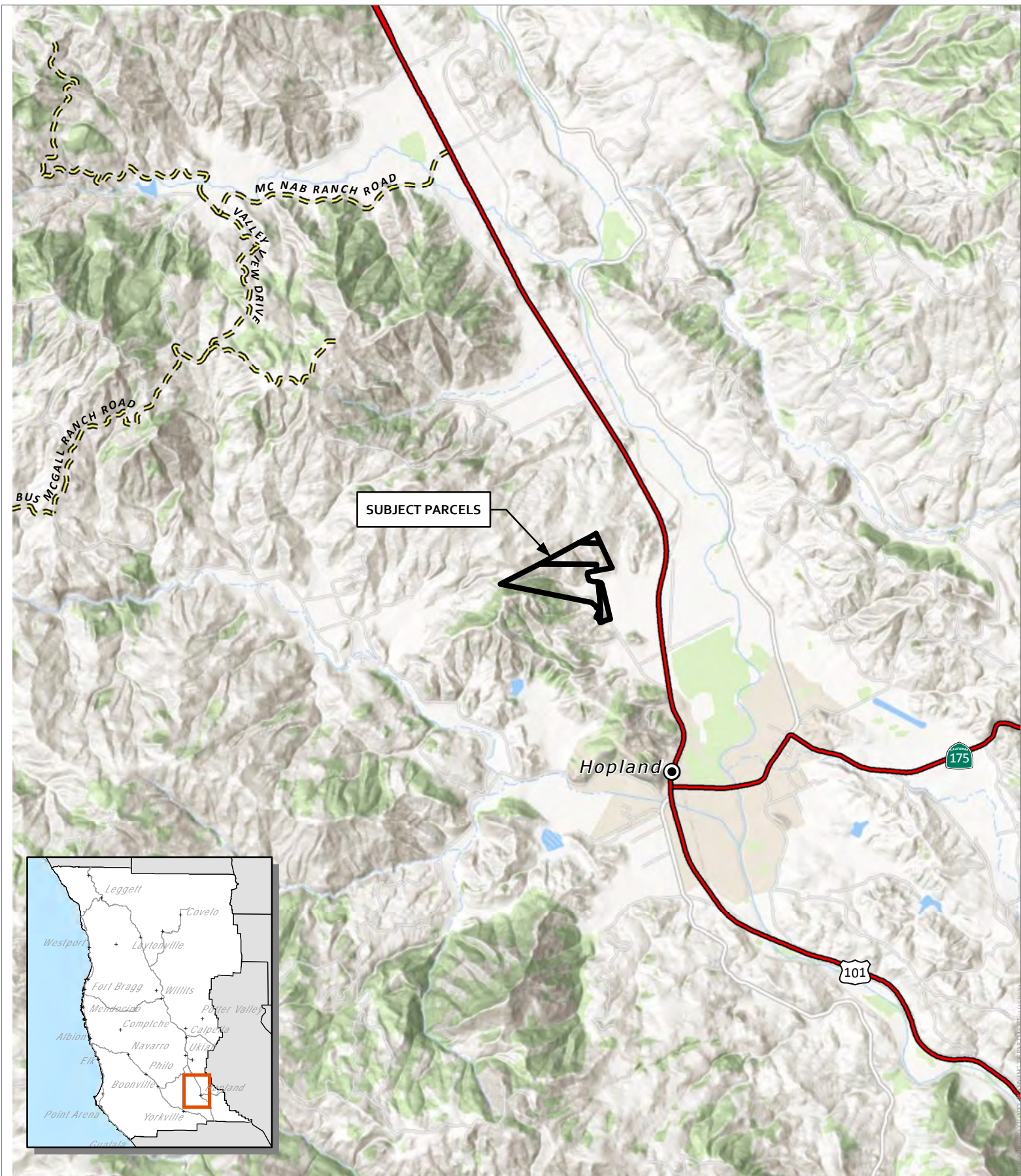
As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County of Mendocino, its agents, officers, attorneys, employees, boards and commissions, as more particularly set forth in Mendocino County Code Section 1.04.120, from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or adoption of the environmental document which accompanies it. The indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the County, its agents, officers, attorneys, employees, boards and commissions.

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Date

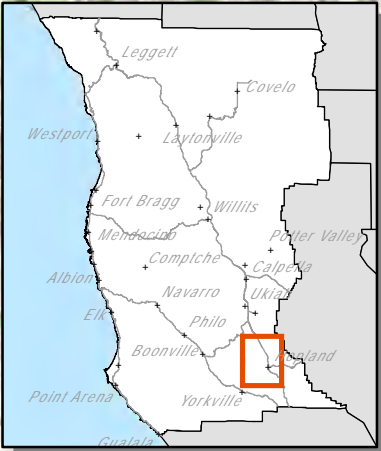
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Applicant



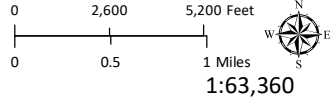
SUBJECT PARCELS

Hopland



**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

● Major Towns & Places    - - - PRIVATE  
 — Highways



LOCATION

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
 DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES

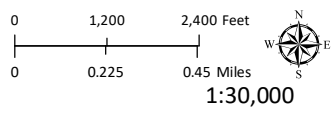


H. V. D.

Hopland

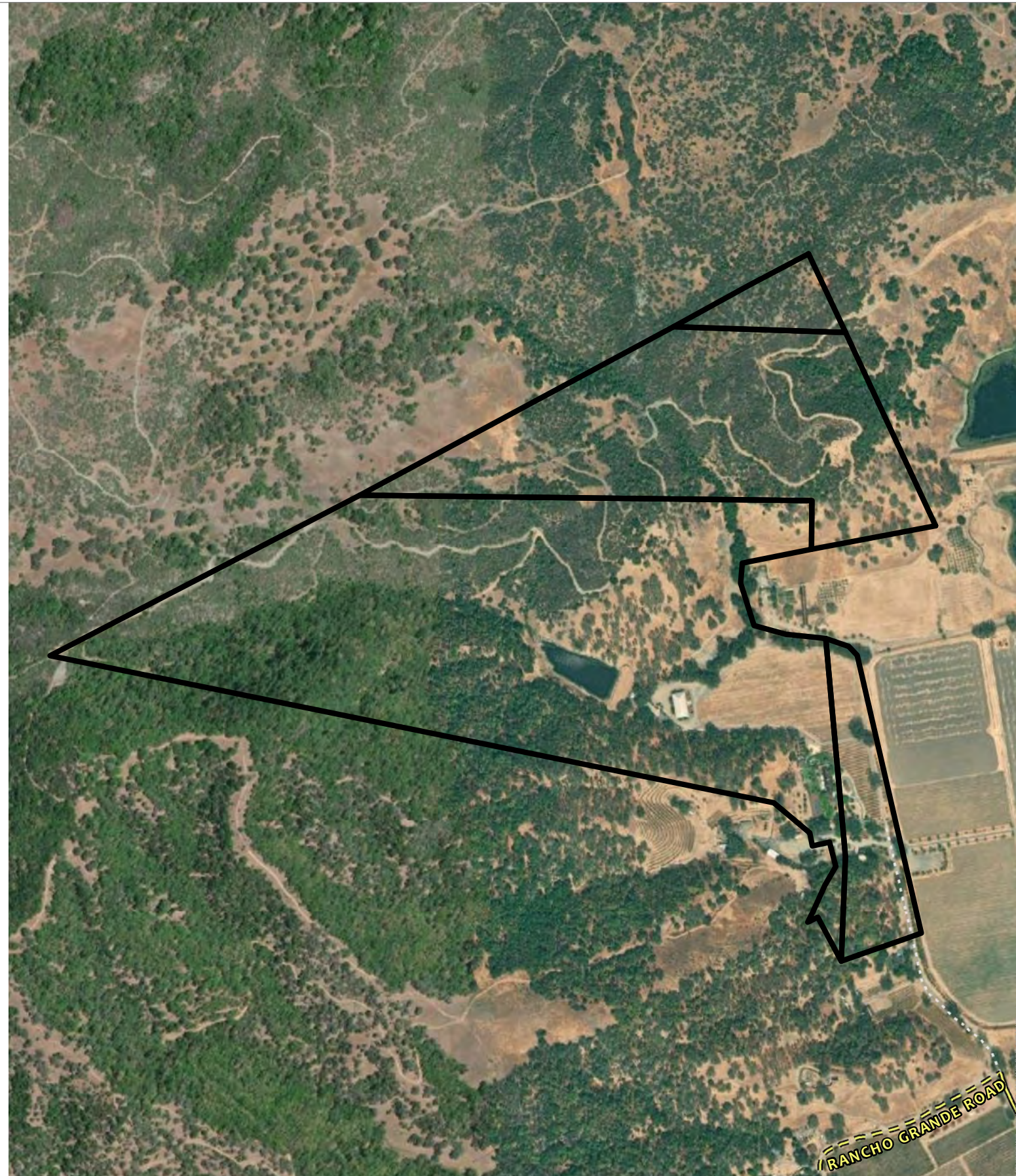
**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

● Major Towns & Places    = = = PRIVATE  
— Highways





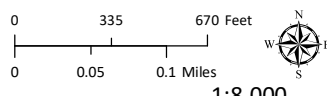
**AERIAL**

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES



**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

 Public Roads  
 Private Roads



1:8,000

**AERIAL**

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES



# General Construction Notes

- 1 SCOPE**  
All work on this project provided by the general contractor (GC) shall conform to the contract documents which include the drawings, specifications, all addenda and modifications issued by the architect.  
These contract documents intend to describe a finished project ready for legal use. The GC shall furnish and install all required elements for a complete operating system.
- 2 STANDARDS**  
The project shall be constructed according to the locally adopted edition of the uniform building code, the state of California, local municipality amendments and all other applicable codes. Governing authorities and codes take precedence over drawings and specifications. The GC shall report all discrepancies to the architect immediately.  
The GC shall maintain a current copy of the 2019 CBC on site at all times.  
The GC shall install all materials and products in strict accordance with manufacturers' recommendations. All manufacturers' articles, materials and equipment shall be applied installed, connected, erected, cleaned, and conditioned as per the manufacturers' instructions and applicable icbo reports.  
All materials shall be new unless otherwise noted and like materials shall be consistent in appearance unless specified otherwise.  
The GC and all subcontractors shall provide a one-year guarantee after project completion for all materials and workmanship.  
Mechanics, craftsmen, and workers skilled and experienced in the fabrication and installation of the work involved shall perform shop and fieldwork. All work on this project shall be performed in accordance with the best-accepted practices of the respective trades involved and in accordance with the drawings, submitted shop drawings, and these specifications.
- 3 DIMENSIONS**  
Written dimensions on drawings shall take precedence over scaled drawings. Do not scale drawings at any time. Walls and partitions shown in plan or section are to face of finish material unless otherwise. Interior elevation and cabinet dimensions are to face of finish material.
- 4 FIELD CONDITIONS**  
The GC shall verify dimensions against field conditions. construction documents are based on observation and documentation of existing conditions by the architect and from documents provided by the owner. The architect makes no claim to the accuracy of hidden conditions or conditions inaccessible from direct observation. should the GC encounter field conditions that vary from these construction documents and that affect the intent of these drawings or the contract/ subcontract sum, the architect shall be notified immediately.  
Exterior dimensions are to face of CMU or plywood where applicable, u.o.n. Interior dimensions are to face of stud u.o.n.
- 5 CONFLICTS**  
The GC shall become familiar with the existing conditions of the site and project prior to commencing work and in the case of conflict with the documents, shall notify the architect immediately for clarification.  
The architect shall be notified immediately in the case of conflict between project documents and consultants', manufacturers' or other documents or recommendations.  
Should conflicts occur between drawings and specifications, drawings shall govern in matters of dimension or quantity. Specifications shall govern in matters of materials or finishes.
- 6 SCHEDULE**  
All work shall be performed during regular business hours, as permitted by local agencies. work involving excessive noise or dust, or which would otherwise interfere with the normal operation of the building, site or neighboring sites shall be coordinated with the owner.  
The GC shall coordinate all work, including scheduling times and locations for deliveries, building access, etc...  
The commencement of work shall be deemed as an acknowledgement by the GC that all work of the project shall be completed in conformance with the contract documents and schedule.
- 7 REVISIONS AND CHANGES**  
Revisions, and changes must be submitted to the architect for review in the form of a change order, prior to the purchase, fabrication, or installation of the work in question.  
Any change, modification, or interpretation of the scope or requirements of these documents undertaken without consultation of the architect shall be the responsibility of the GC.  
The owner may order extra work or make changes by altering, adding to, or deducting from the work. the contract sum shall be adjusted accordingly.
- 8 UTILITIES**  
The architect does not assume responsibility for underground utilities or the existence of other buried objects. The locations of existing underground utilities and or facilities as shown on the drawings are approximate only. the gc shall contact the respective utility company and provide utility location services as required to obtain the exact depth of burial and horizontal location of utility lines, conduits, piping, etc... prior to performing underground construction the gc shall make necessary probes and explorations to identify areas of possible  
The GC shall inspect, test, and disconnect utility services at the main source or main branch. The GC shall securely cap and/or valve-off utility service behind final finished surfaces of intended construction, when faced, at finished face of exist. construction prior to demolition. utility service shall be defined as plumbing, hvac, electric, and fire protection.  
Adhesives, sealants and caulks shall be complaint with VOC and other toxic compound limits.
- 9 PERMITS**  
The GC shall arrange for all inspections and permits necessary to obtain a certificate of occupancy and or final permit signoff & inspection.
- 10 EXISTING CONDITIONS**  
Access panels, clean outs, and the like shall be maintained for existing building systems the GC shall verify that existing walls and floors to remain are within expected tolerance. The GC shall report to the architect any variations in floor levels greater than 1/4" in 10'-0". The GC shall inform the architect of any existing threshold elevation variations greater than 1/2".
- 11 DEFINITIONS**  
"Align" shall be defined as the accurate location of finish faces in the same plane. "typical" or "typ." shall be defined as conditions which are representative of similar conditions throughout. unless otherwise noted, details are usually keyed and noted. "typ." only once, when they first occur. "similar" or "sim." shall be defined as conditions which are comparable in characteristics for the conditions noted. verify dimensions and orientation on plans and elevations. "gc" refers to the general contractor, his agents and subcontractors. "architect" refers to the architect of record or his agent.
- 12 MATERIALS STORAGE AND PROTECTION OF WORK**  
Improvements on the site, work in progress, stored materials on property shall be protected by the GC from damage arising during the work. all items damaged due to insufficient protection or otherwise shall be fully restored by the gc to their prior condition at no cost to the owner. no part of the structure shall be overloaded beyond its safe carrying capacity at any time.
- 13 SECURITY**  
The GC shall be responsible for securing the site during the course of the project. if the site is unattended at any time, it shall be locked.
- 14 TOXIC MATERIALS**  
Any materials of unknown constitution uncovered during the course of construction shall be left untouched and immediately brought to the attention of the owner for testing.
- 15 CLEAN UP**  
The site shall be kept broom clean and free of debris during the course of construction. At the completion of the work the GC shall clean the project and the surrounding area, remove all waste materials and rubbish from the project as well as tools, construction equipment, machinery and surplus materials. the gc shall remove caulk, putty, and paint from glass and mirrors and wash and polish the same. clean and remove all labels, grease, dirt, stains, etc. from finished surfaces and equipment to the extent required restoring the intended finish.  
Planters and landscape areas shall be cleaned of debris and rough grading shall be completed.
- 16 COMMISSIONING**  
Commissioning, Testing and Adjusting, shall be included in the design and by the GC during construction of the project to verify that the building systems and components meet the owner's project requirements.
- 17 PROTECTION OF DUCT OPENINGS AND MECHANICAL EQUIPMENT DURING CONSTRUCTION**  
The GC shall provide protection for ducts, duct openings, permanent and construction mechanical equipment at the time of rough installation, storage, and until completion of construction, using materials or methods acceptable to local enforcing agencies in order to reduce dust/ debris that may collect in building systems.
- 18 BUILDING MAINTENANCE AND OPERATION**  
At the time of final inspection, the GC shall provide a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes an operation and maintenance manual as outlined in CGBC Section 5.410.

- 19 MOISTURE CONTENT OF BUILDING MATERIALS**  
Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be measured, verified, and documented in accordance with CGBC Section 5.505.
- 20 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL**  
Where outdoor areas are provided for smoking, smoking shall be prohibited 25 feet of building entries, outdoor intakes and operable windows and within the building as prohibited by other laws or regulation per CBC Title 24, Part 11 5.504.7

END OF GENERAL NOTES

## Abbreviations

ACOUS.	Acoustical	LAM.	Laminated
A.D.	Area Drain	LAV.	Lavatory
ADJ.	Adjustable	LVR.	Louver
A.F.F.	Above Finish Floor	L.P.	Low Point
AGGR.	Aggregate	M.C.	Medicine Cabinet
ARCH.	Architectural	MECH.	Mechanical
ASPH.	Asphalt	MIN.	Minimum
AWN.	Awning	MIR.	Mirror
		MET.	Metal
		M.P.R.	Multi Purpose Room
BI-FO. DR.	BI-Folding Door	(N)	New
BLDG.	Building	N.I.C.	Not In Contract
BLK.	Block	N.T.S.	Not To Scale
BLKG.	Blocking		
BM	Beam	OBS.	Obscure
B.O.	Bottom Of	O.C.	On Center
BW	Bottom of Wall	O.D.	Outside Diameter
		OPNG	Opening
CPT.	Carpet	PLAM.	Plastic Laminated
CAB.	Cabinet	PL.	Plastic
C.B.	Catch Basin	PLAS.	Plaster
CEM.	Cement	PLYWD	Plywood
C.J.	Construction Joint	PT.	Point
CL	Closet	QTY.	Quantity
CLG.	Ceiling	RISE	Riser
CLR.	Clear	RAD.	Radius
C.O.	Clean Out	RET.	Retaining
COL.	Column	RET. AIR	Return Air
CINC.	Concrete	R.D.	Roof Drain
CONT.	Continuous	R.F.	Refrigerator
CSMT.	Casement	REG.	Register
C.T.	Ceramic Tile	REINF.	Reinforced
C.L.	Center Line	REQ'D	Required
C.S.	Counter Sink	R.O.	Rough Opening
		RWD.	Redwood
DEMO	Demolition	R.W.L.	Rain Water Leader
DET.	Detail	SAG.	Supply Air Grill
D.H.	Double Hung	S.V.	Sheet Vinyl
D.F.	Douglas Fir	S.H.	Single Hung
DIAG.	Diagonal	SHT.	Sheet
DIM.	Dimension	SHWR.	Shower
DWGS.	Drawings	SIM.	Similar
DN.	Down	SM.	Sheet Metal
(E)	Existing	SKY.	Skylight
E.J.	Expansion Joint	SL.	Slider
EL.	Elevation	SL. GL. DR.	Sliding Glass Door
EQ.	Equal	SQ.	Square
EXT.	Exterior	S.S.D.	See Structural Drawings
		ST. STL.	Stainless Steel
F.B.T.	Furnished By Tenant	STD.	Standard
F.D.	Floor Drain	STL.	Steel
F.F.	Finish Floor	STG.	Storage
FIN.	Finish	STRUC.	Structural
F.O.C.	Face Of Concrete	T.	Tread
F.O.S.F.O.W.	Face Of Stud/Face Of Wall	TC.	Top Of Curb
FR. DR.	French Door	TEMP. GL.	Tempered Glass
FT.	Footing	TJ.	Truss Joist
FX.	Fixed	T.O.	Top Of
		T.O.C.	Top Of Concrete
GA.	Gauge	T.P.D.	Toilet Paper Dispenser
GALV.	Galvanized	TYP.	Typical
G.B. OR G.W.	Gypsum Board	TW.	Top Of Wall
GL.	Glass	TS.	Tube Steel
GLU. LAM.	Glue Laminated	U.O.N.	Unless Otherwise Noted
G.S.M.	Galv. Sheet Metal	VERT.	Vertical
GWB	Gypsum Board	V.I.F.	Verify In Field
H.B.	Hose Bibb	W/.	With
HGT.	Height	W.C.	Water Closet
H.M.	Hollow Metal	WD.	Wood
HOR.	Horizontal	WDW.	Window
H.P.	High Point	WP.	Waterproof
H.W.H.	Hot Water Heater	W.P.	Work Point
I.D.	Inside Diameter	YD.	Yard
INSUL.	Insulation		
INT.	Interior		
J.BOX	Junction Box		
JT.	Joint		

## Symbol Legend

	Elevation Reference (drawing #/ sheet #)
	Section Reference (drawing #/ sheet #)
	Vantage Point
	Datum or Spot Elevation Point
	Grid Line
	Detail Reference (drawing #/ sheet #)
<b>Room Name</b>	<b>Room Number</b>
	100
	Door Symbol
	Window Symbol
	Louver Symbol
	Wall Tag

# Sheet Index

- ARCHITECTURAL DRAWINGS:**
- A0.01 Cover Sheet
  - A0.02 Vicinity Site Plan
  - A0.10 Existing Site Plan
  - A0.11 Existing Site Plan - Enlarged
  - A0.12 Proposed Site Plan - Enlarged
  - A1.01 (E) First Floor Plan
  - A1.02 (E) Second Floor Plan
  - A1.03 (N) First Floor Plan
  - A1.04 (N) Second Floor Plan
  - A2.01 (E) Elevations
  - A2.02 (P) South & West Elevations
  - A2.03 (P) North & East Elevations

# Project Team

- ARCHITECT:**  
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 Stephanie Strawhacker, Project Manager  
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 E: matt@mathollis.com  
 E: stephanie@mathollis.com
- OWNER:**  
**Marc Taub**  
 11684 US-101  
 Hopland, CA 95449  
 E: m@taubfamilyco.com

# Project Summary

**Approval sought to use existing structure for as Transient Habitation - Lodging (limited) structure, which is permitted use subject to a Major Use Permit per Section 20.052.025 of the Mendocino County zoning ordinance.**

The current structure has a conditioned first floor (with kitchen, bathroom, living & dining room), a built-in outdoor bbq, a trellis on the northwest, and a raised platform at the rear.

The owner is seeking to maintain the residential use of the guesthouse with the following changes and improvements:  
 An addition over the existing raised platform to the west.  
 Replacing the existing trellis.  
 Replacing the existing bbq with an outdoor kitchen.  
 The second floor will be converted into five bedrooms while maintaining the existing envelope.  
 There are no additions to the 2nd floor and no height changes.  
 Second-floor deck over the western addition  
 New skylights.  
 New fire-pit to the northeast of the barn.  
 Other structures and features on the site include the primary residence & tennis court.

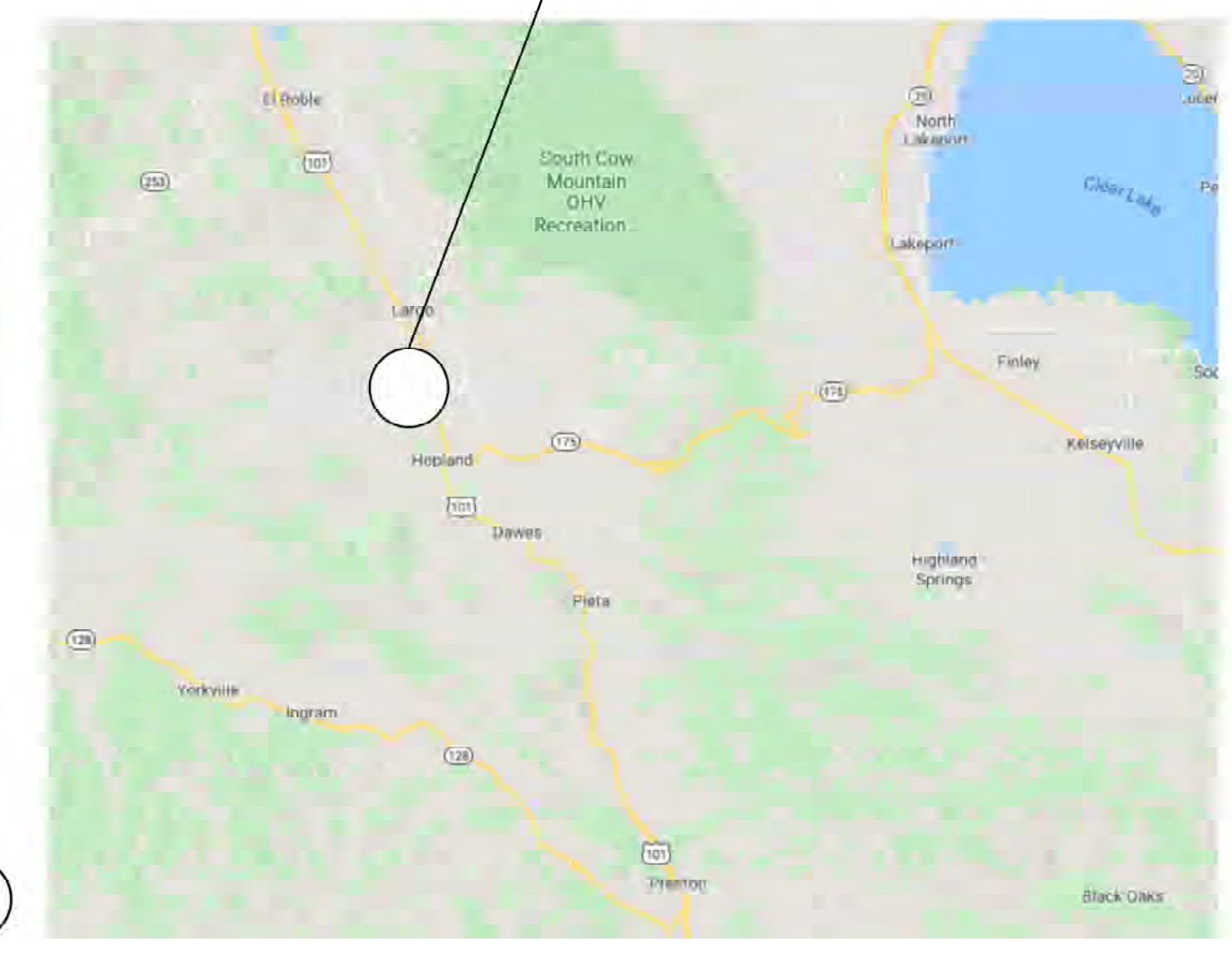
All work shall comply with 2019 versions of California Residential Code (CRC), California Building Code (CBC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBS), California Fire Code (CFC, if applicable), California Energy Efficiency Standards (CEES), and all applicable local codes.

**Site Information**  
 Site Address: 11704 Hewlitt & Sturtevant Rd, Hopland, CA 95449  
 APN #: 048-040-08  
 Lot Size: 14.4 Acres Total  
**Building Code Information**  
 Zoning Group: AG  
 Use Group/ Occupancy: R-3  
 Building Type: Type VB  
 Flood Zone: No  
 Fire Jurisdiction: Hopland Fire - structure and wildland fires  
 School District: None  
 Supervisorial District: District 5  
**Fire Resistance**  
**Automatic Fire Sprinkler System**  
 To be designed and installed to NFPA 13 - 2019 standards  
 - UNDER SEPARATE SUBMITTAL

## Square Footage

Project Info & Building Areas			
	EXISTING	PROPOSED	NOTES
<b>Conditioned Area</b>			
1st Floor Conditioned Area	1,973.00 Sq.Ft.	3,178.00 Sq.Ft.	
2nd Floor Conditioned Area	0 Sq.Ft.	1,997.00 Sq.Ft.	
<b>Covered Outdoor Area</b>			
1st Floor Outdoor Kitchen	345.00 Sq.Ft.	343.00 Sq.Ft.	
2nd Floor Outdoor Deck	0 Sq.Ft.	732.00 Sq.Ft.	
<b>Totals</b>	<b>2,318.00 Sq.Ft.</b>	<b>6,250.00 Sq.Ft.</b>	

## Vicinity Map



## Location Map



2325 3rd St. studio 426  
 san francisco, ca 94107  
 info@mathollis.com  
 mathollis.com  
 415 977 0194

Guesthouse- Major Use Permit  
 Transient Habitation - Lodging (limited)  
 11704 Hewlitt & Sturtevant Rd  
 Hopland, CA 95449  
 APN: 048-040-08

PUBLISH DATE  
 Use Permit Submittal 12/19/22

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 Scale:

Cover Sheet  

SHEET NO:  
**A0.01**

VICINITY PLAN  
NOT TO SCALE



ENLARGED VICINITY PLAN  
NOT TO SCALE

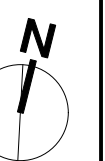


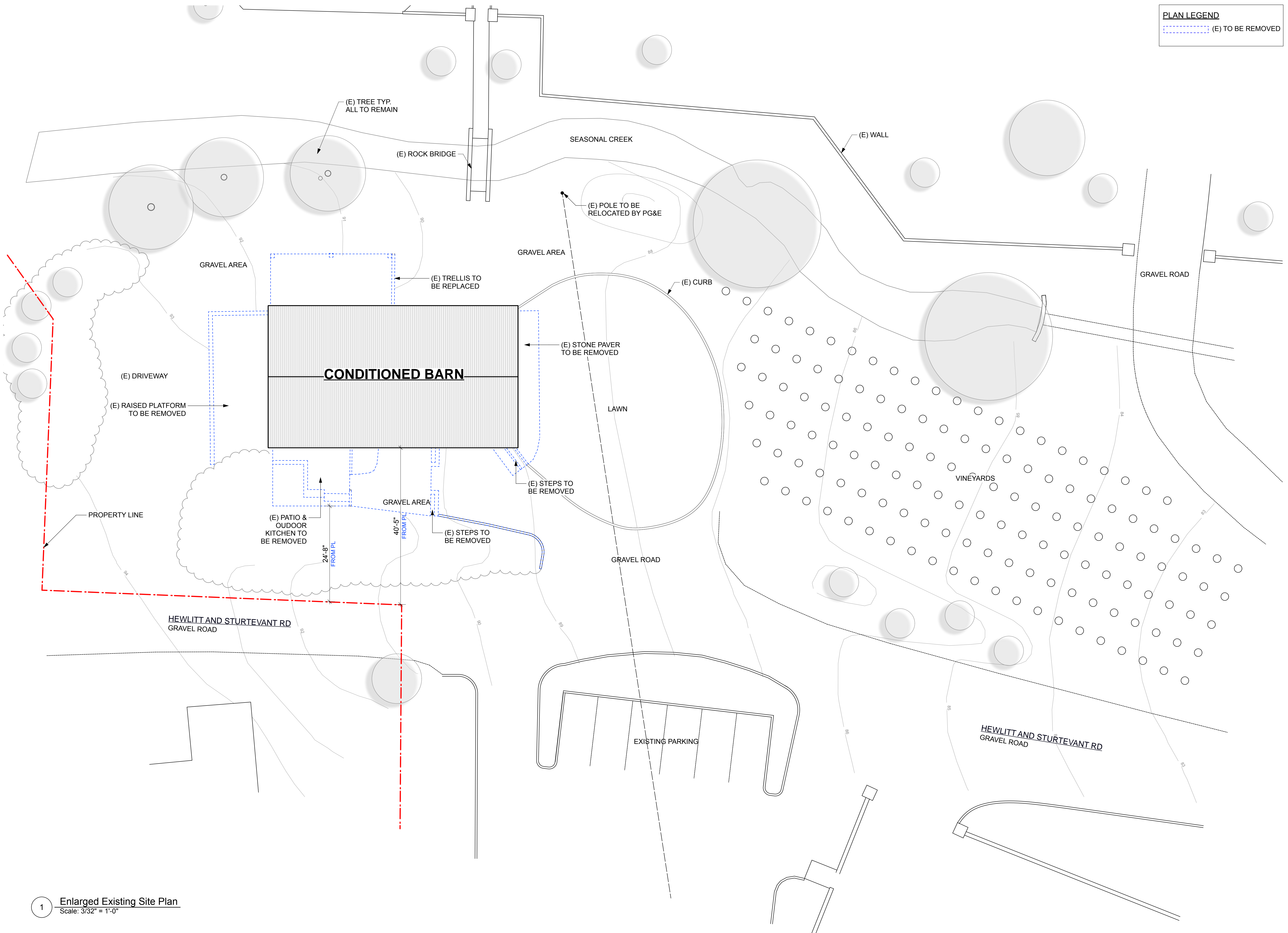


1 Parcel Plan  
Scale: 1:4000



2 Site Plan  
Scale: 1:1000





**PLAN LEGEND**  
 [Dashed Blue Line] (E) TO BE REMOVED

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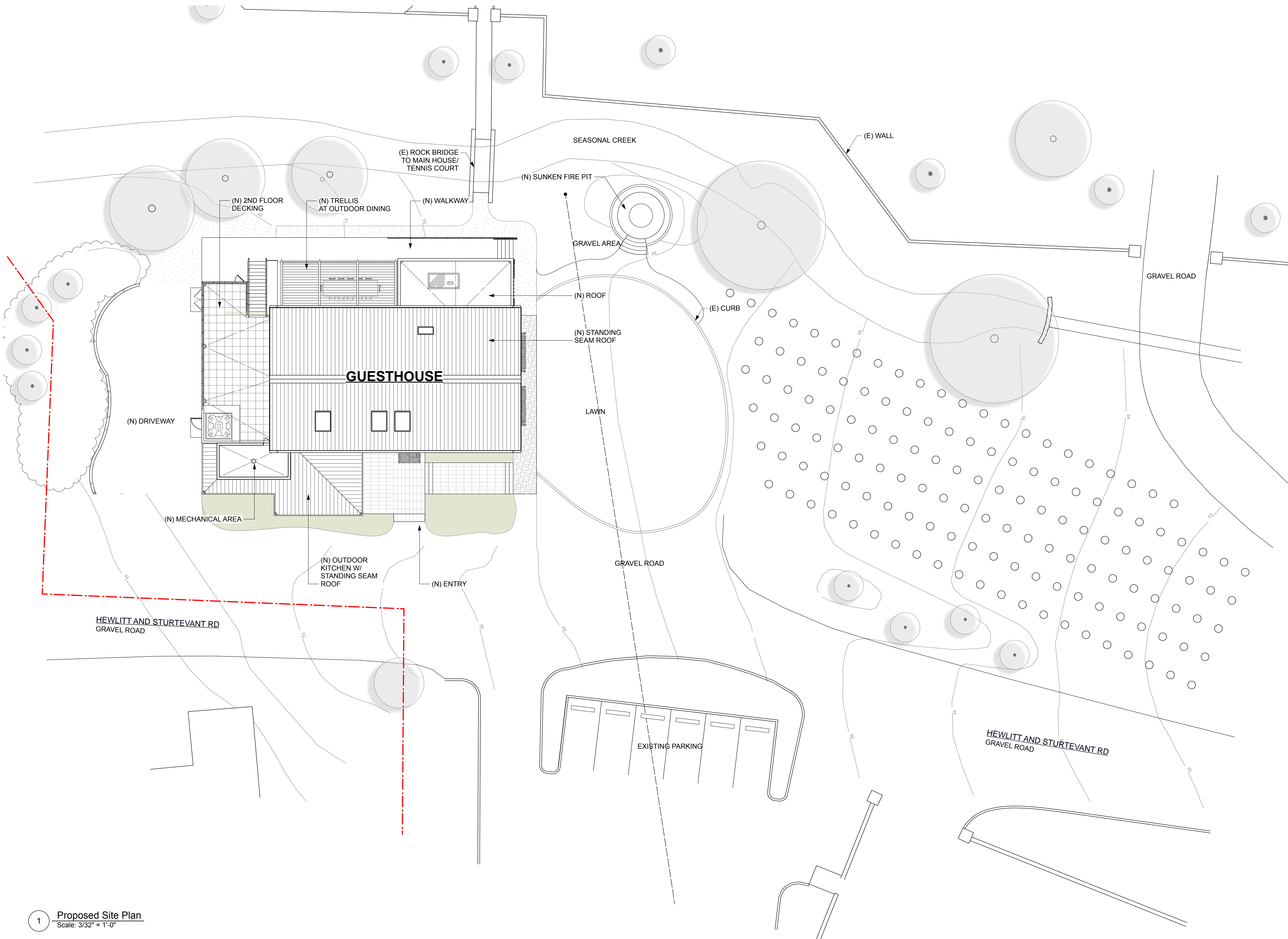
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(E) Site Plan-Enlarged  
 SHEET NO: **A0.11**

1 Enlarged Existing Site Plan  
 Scale: 3/32" = 1'-0"



1 Proposed Site Plan  
Scale: 3/32" = 1'-0"

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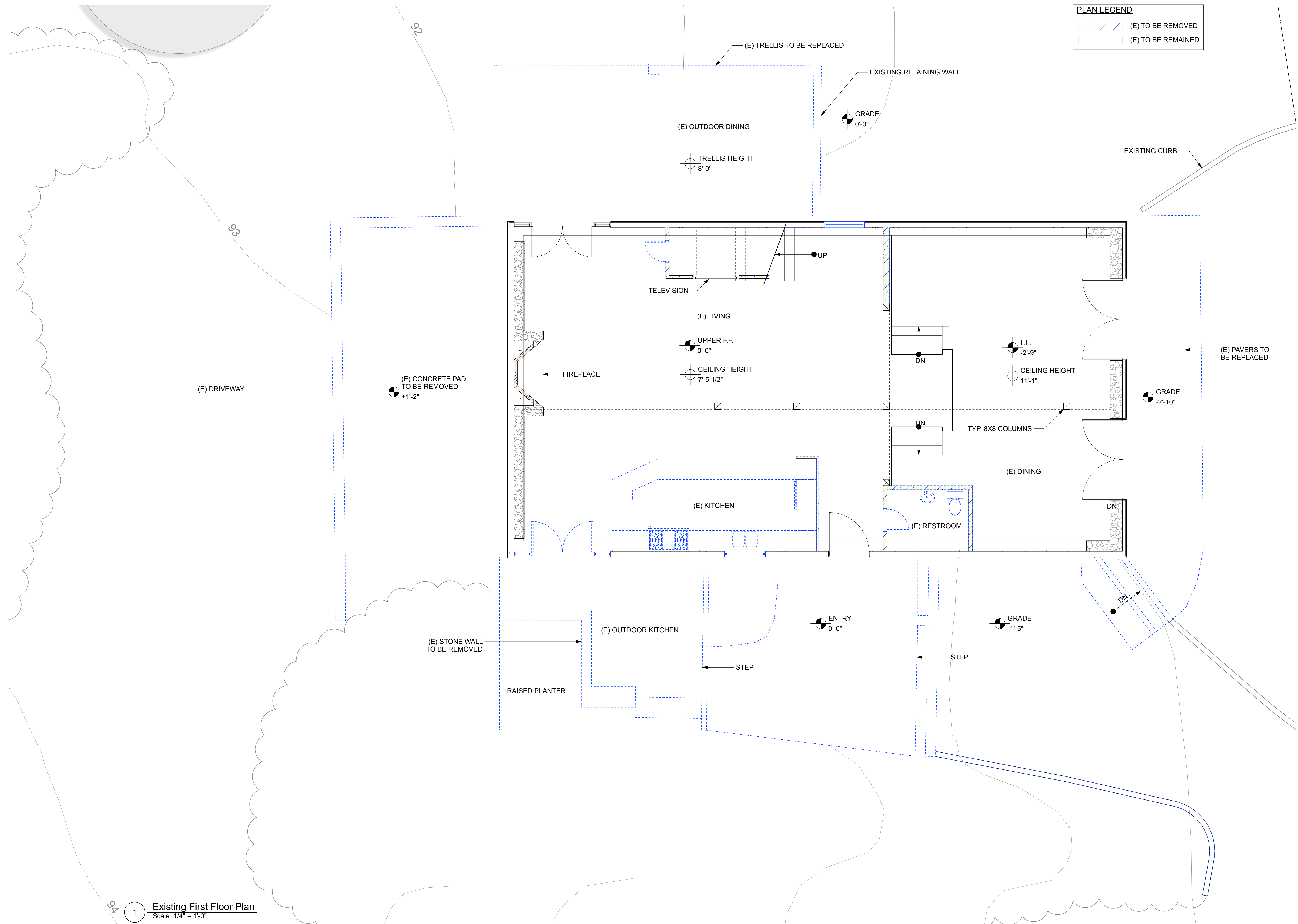


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Transient Habitation - Lodging (limited)  
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APN: 048-040-08


PUBLISH DATE  
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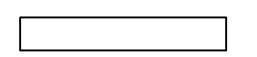
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Project No: 2118  
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(P) Site  
Plan-Enlarged  
SHEET NO:  
**A0.12**



**PLAN LEGEND**

 (E) TO BE REMOVED

 (E) TO BE REMAINED

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**LICENSED ARCHITECT**  
 MATT HOLLIS  
 No. 17227  
 EXPIRES: 12/30/2023  
 STATE OF CALIFORNIA  
 NOT FOR CONSTRUCTION

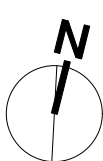
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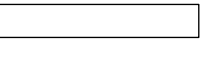
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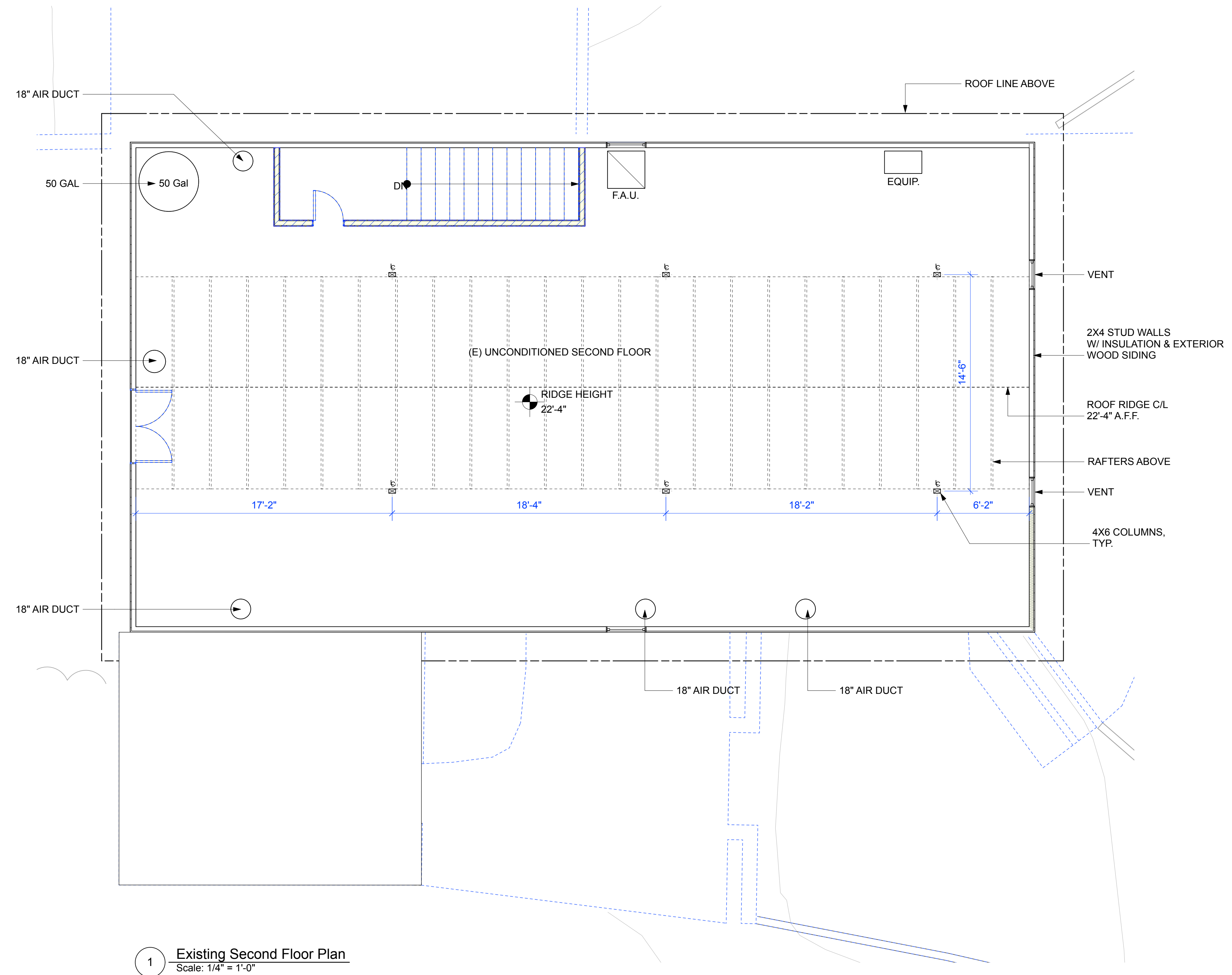


SHEET NO:  
**A1.01**

**PLAN LEGEND**

 (E) TO BE REMOVED

 (E) TO BE REMAINED



1 Existing Second Floor Plan  
Scale: 1/4" = 1'-0"

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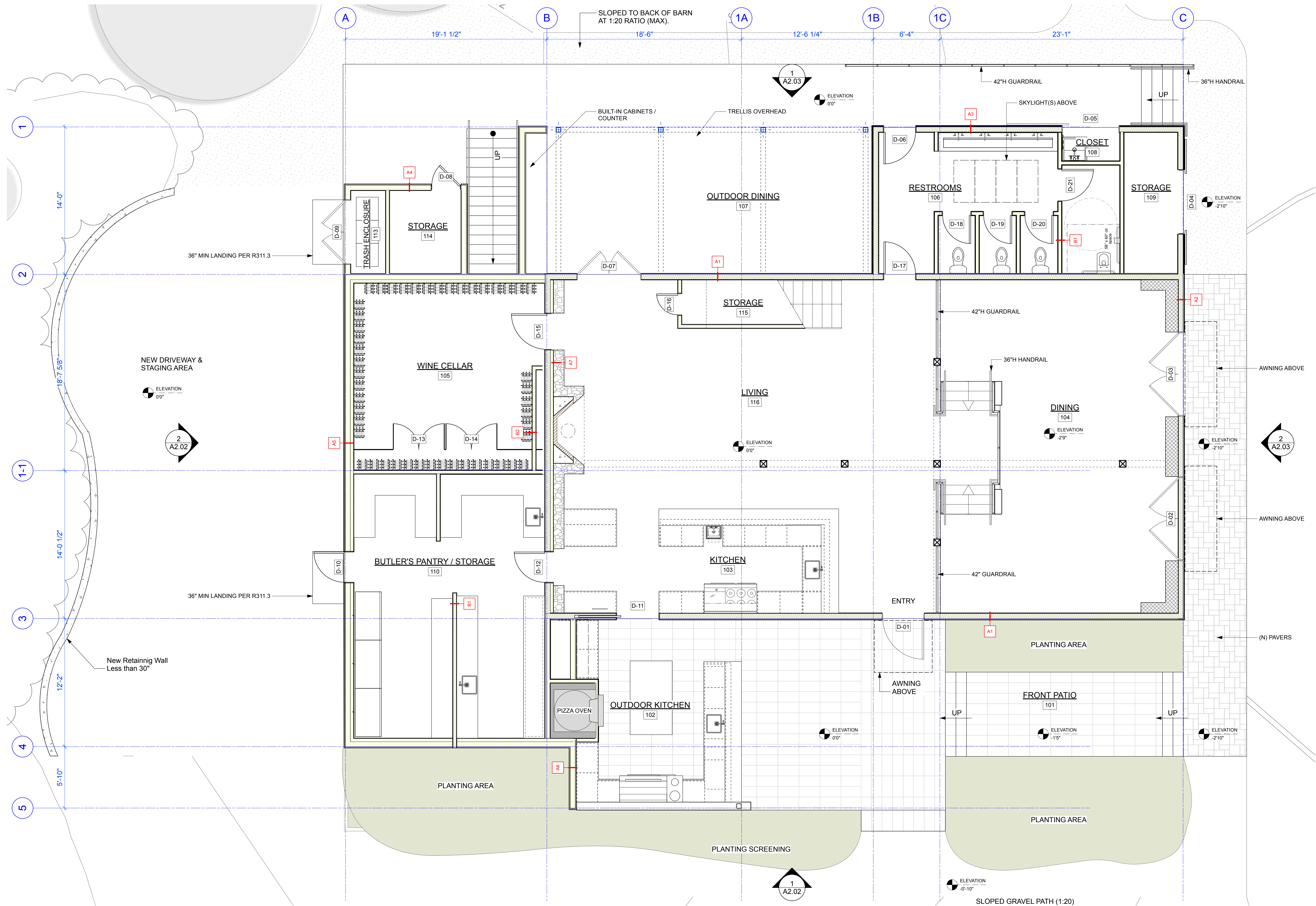


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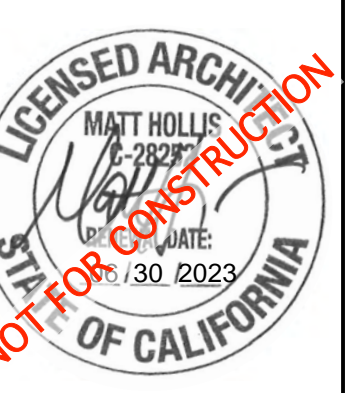
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Scale:

(E) Second Floor Plan  
SHEET NO: **A1.02**



1 Proposed First Floor Plan  
Scale: 1/4" = 1'-0"



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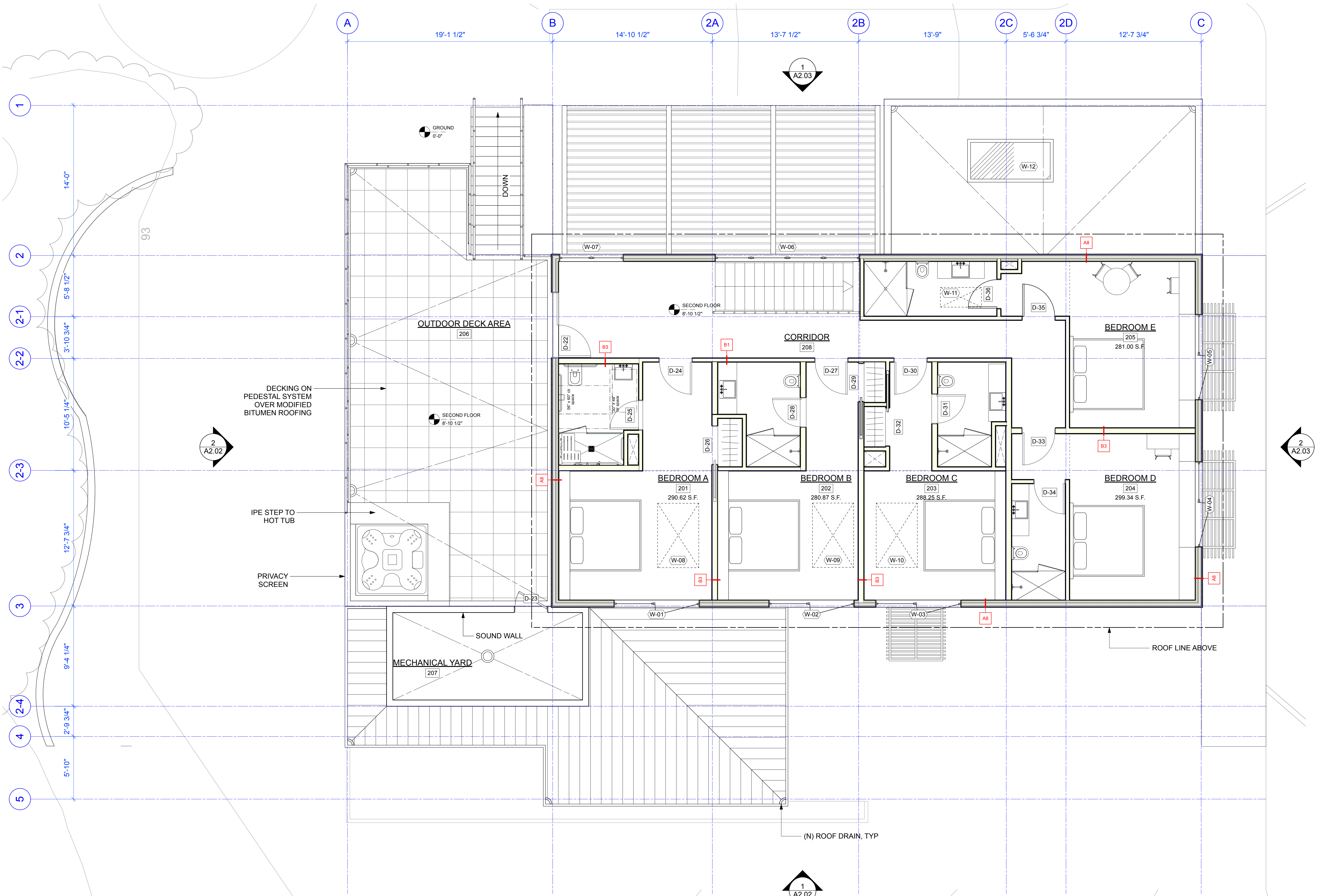
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(N) First Floor Plan

SHEET NO:  
**A1.03**





3 Second Floor Plan  
Scale: 1/4" = 1'-0"

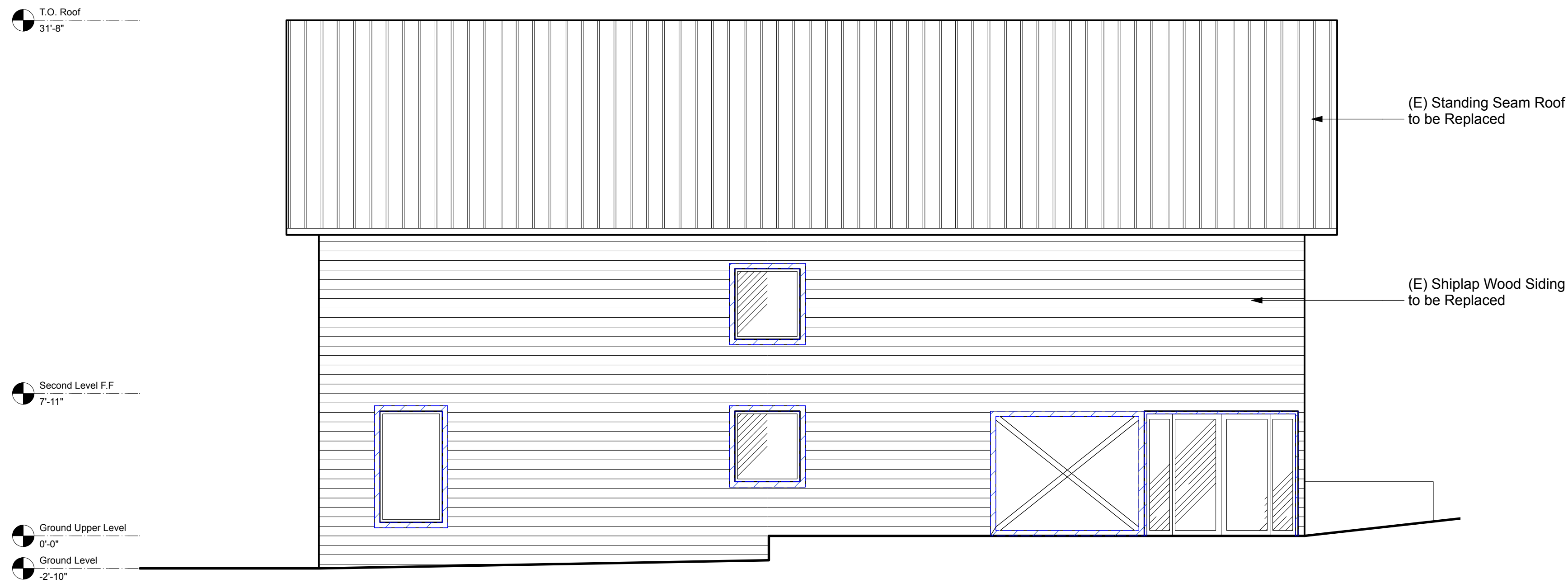


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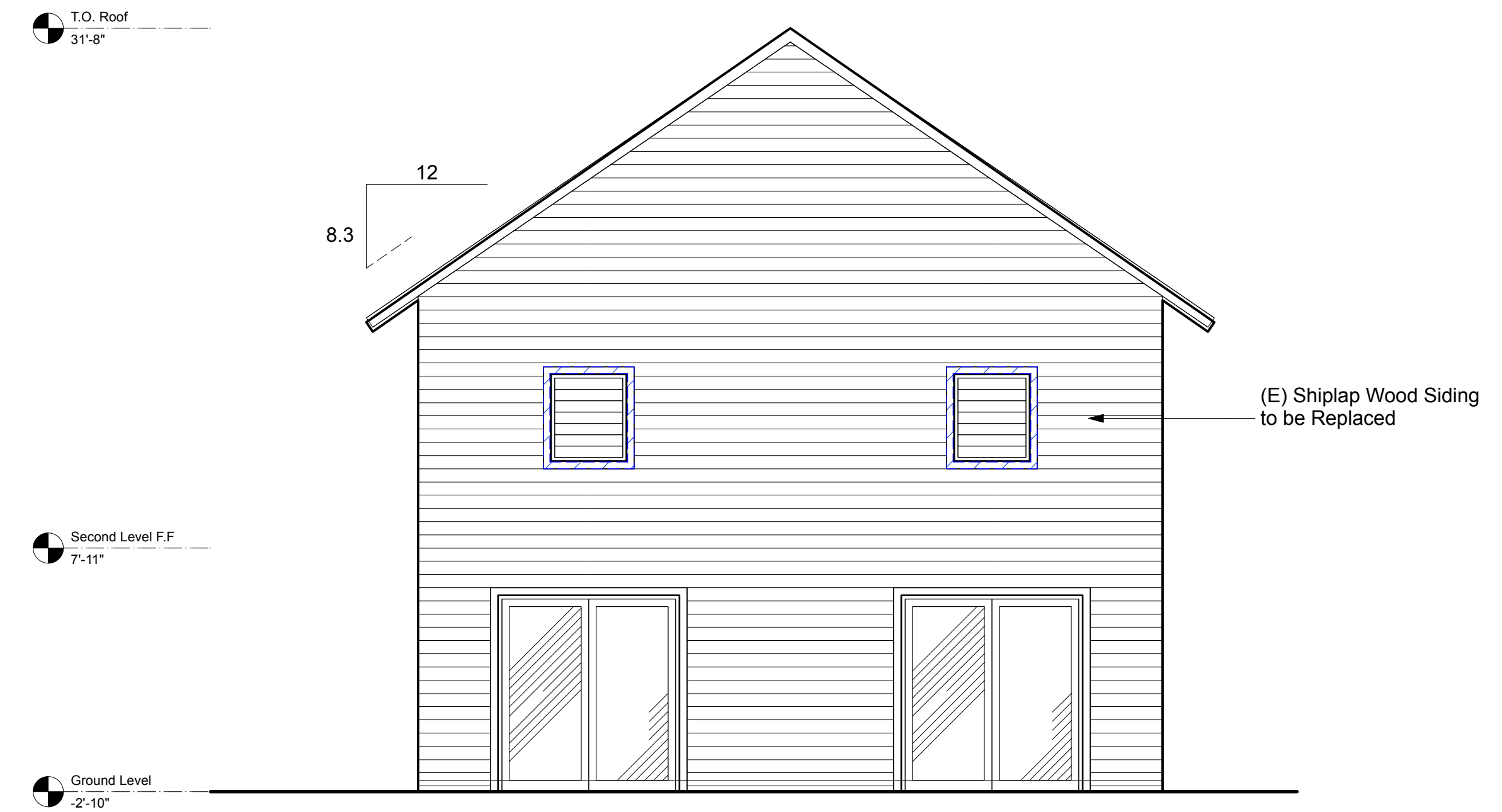
PUBLISH	DATE
Use Permit Submittal	12/19/22

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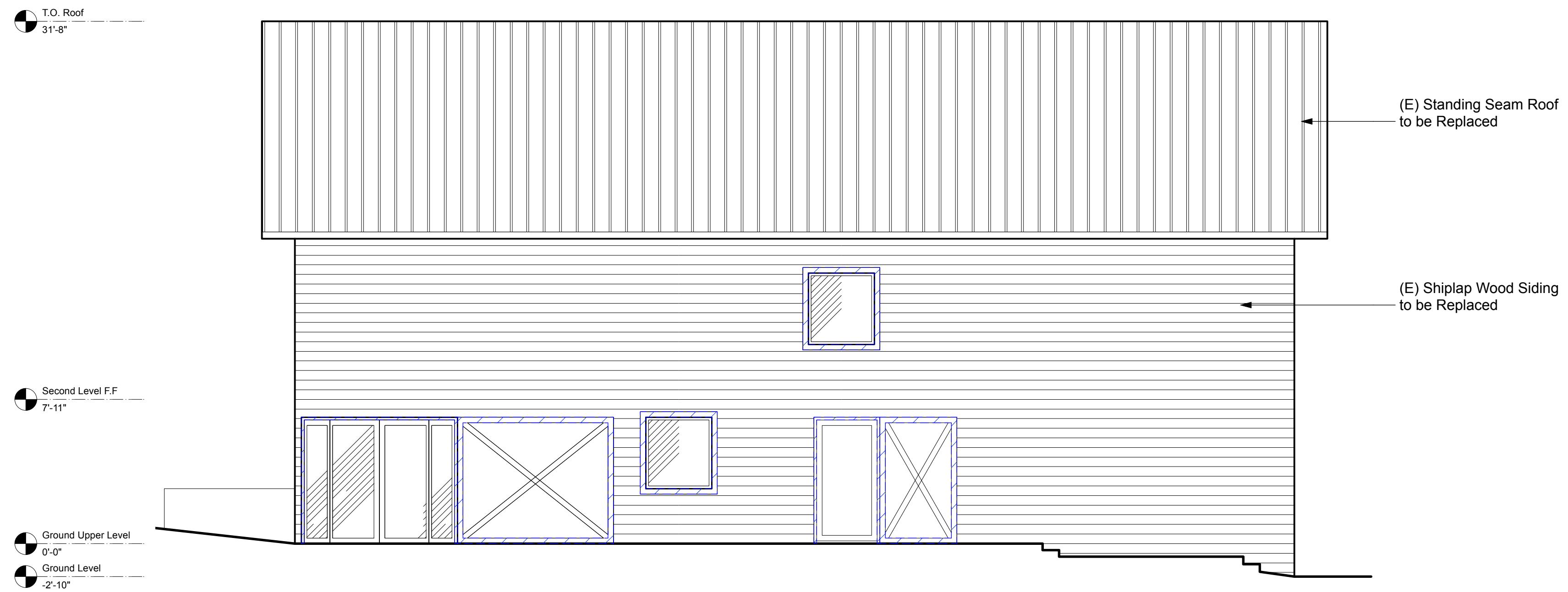
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 [White Box] (E) TO BE REMAINED



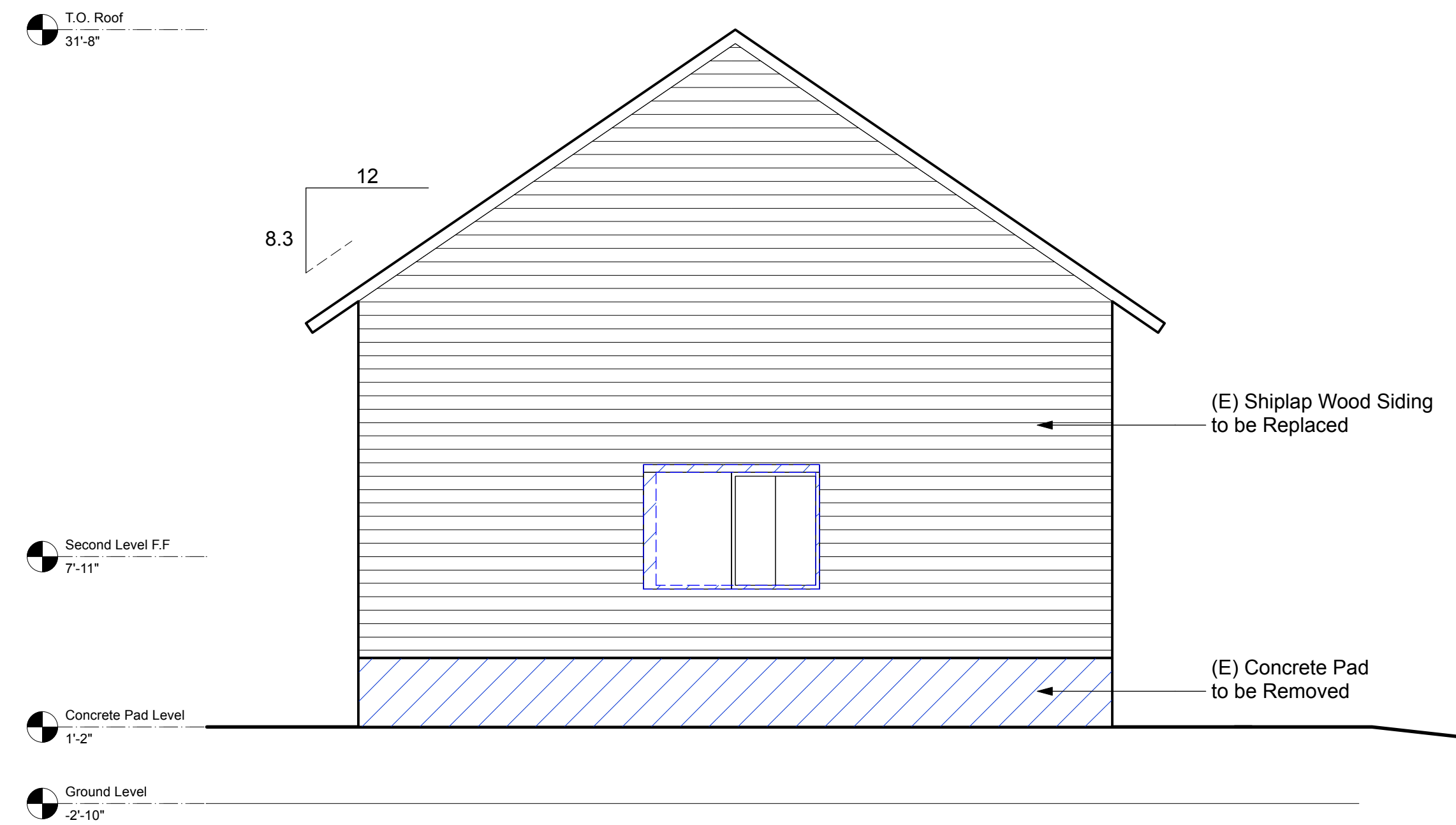
2 NORTH ELEVATION  
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1 EAST ELEVATION  
 Scale: 3/16" = 1'-0"

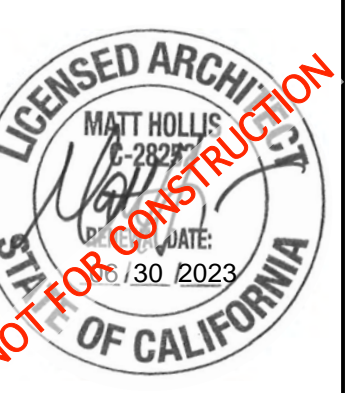


4 SOUTH ELEVATION  
 Scale: 3/16" = 1'-0"



3 WEST ELEVATION  
 Scale: 3/16" = 1'-0"

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 Scale:

(E) Elevations

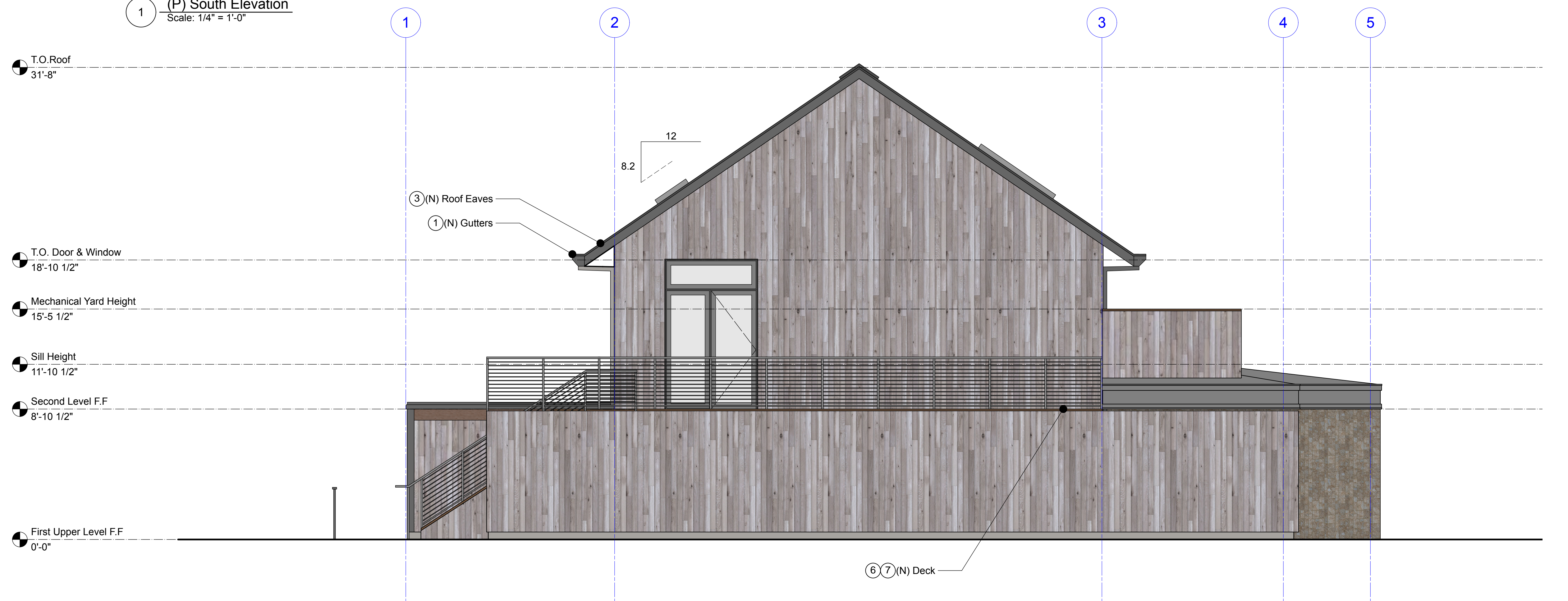
SHEET NO:  
**A2.01**

**WUI Design Notes:**

- ① **Roof Gutters:** Per CRC 2019 Section R337.6  
Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
- ② **Exterior Walls:** Per CRC 2019 Section R337.7.3  
The exterior wall covering or wall assembly shall be noncombustible or ignition-resistant material, a tested and approved wall assembly, or have one layer of 5/8" Type X gypsum sheathing applied and extend from the top of the foundation to the roof, and terminate at 2 inch nominal solid wood blocking between rafters at all roof overhands, or in the case of enclosed eaves, terminate at the enclosure.
- ③ **Open Roof Eaves:** Per CRC 2019 Section R337.7.4  
The exposed roof deck on the underside roof eaves shall consist of either noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck, or the exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the roof deck designed for exterior fire exposure including assemblies using the gypsum panel and sheathing products in the Gypsum Association Fire Resistance Design Manual. With exceptions.
- ④ **Exterior Windows:** Per CRC 2019 Section R337.8.21  
Exterior glazed assemblies shall be constructed of multipane glazing w/ a min. of one tempered pane meeting the requirements of Section 2406 Safety Glazing, have a fire resistance rating of not less than 20 minutes, or meet SFM standards.
- ⑤ **Exterior Doors:** Per CRC 2019 Section R337.8.3  
The exterior surface or cladding of exterior doors shall be of noncombustible material, ignition-resistant material, be of an assembly with a fire-resistance rating not less than 20 minutes, or have performance requirements as listed in code.
- ⑥ **Deck-to-Wall Flashing:** Per CRC 2019 Section R337.9.1  
A minimum of a 6-inch metal flashing, applied vertically on the exterior of the wall, shall be installed at all the deck-to-wall intersections.
- ⑦ **Deck Walking Surface:** Per CRC 2019 Section R337.9.4  
The walking surface of decks, porches, balconies and stairs shall be of material that complies with the performance requirements stated in code, be of ignition-resistant material that complies with the performance requirements stated in code, or be exterior fire-retardant-treated-wood.

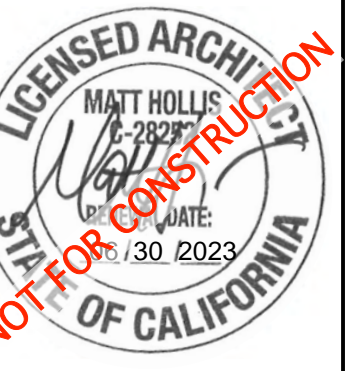


1 (P) South Elevation  
Scale: 1/4" = 1'-0"



2 (P) West Elevation  
Scale: 1/4" = 1'-0"

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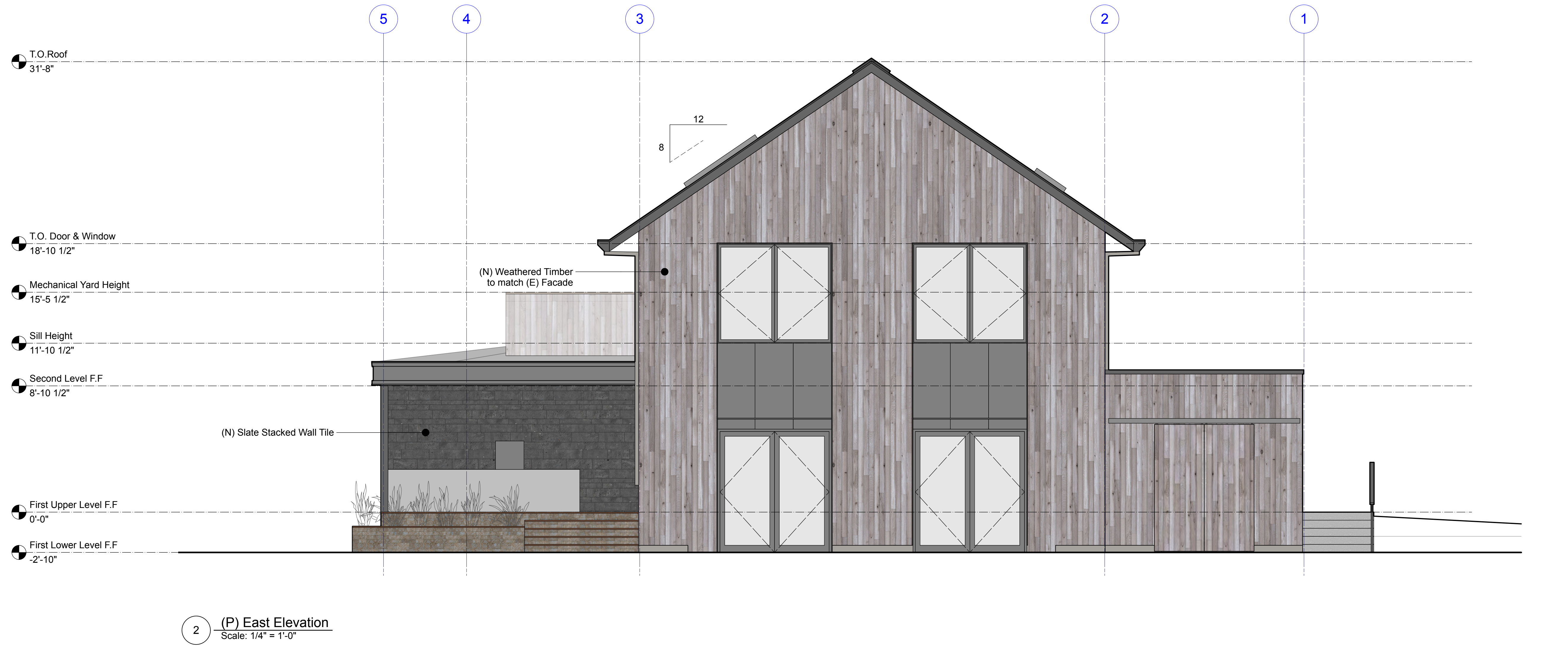
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Drawn by:  
Project No: 2118  
Scale:

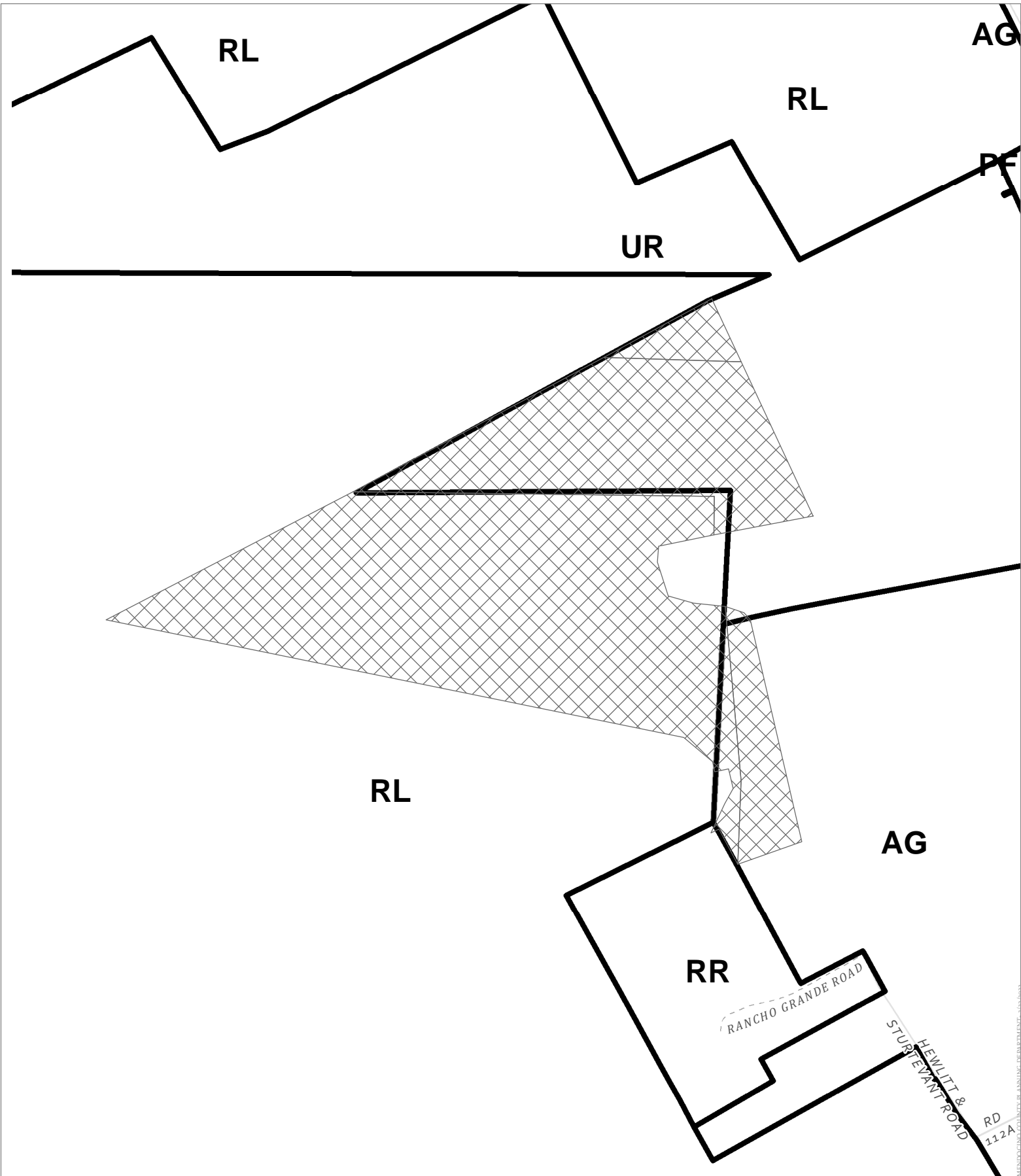
(P) South & West Elevations

SHEET NO:  
**A2.02**

## WUI Design Notes:

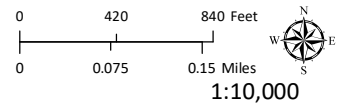
- 1 **Roof Gutters:** Per CRC 2019 Section R337.6  
Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
- 2 **Exterior Walls:** Per CRC 2019 Section R337.7.3  
The exterior wall covering or wall assembly shall be noncombustible or ignition-resistant material, a tested and approved wall assembly, or have one layer of 5/8" Type X gypsum sheathing applied and extend from the top of the foundation to the roof, and terminate at 2 inch nominal solid wood blocking between rafters at all roof overhands, or in the case of enclosed eaves, terminate at the enclosure.
- 3 **Open Roof Eaves:** Per CRC 2019 Section R337.7.4  
The exposed roof deck on the underside of roof eaves shall consist of either noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck, or the exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the roof deck designed for exterior fire exposure including assemblies using the gypsum panel and sheathing products in the Gypsum Association Fire Resistance Design Manual. With exceptions.
- 4 **Exterior Windows:** Per CRC 2019 Section R337.8.21  
Exterior glazed assemblies shall be constructed of multipane glazing w/ a min. of one tempered pane meeting the requirements of Section 2406 Safety Glazing, have a fire resistance rating of not less than 20 minutes, or meet SFM standards.
- 5 **Exterior Doors:** Per CRC 2019 Section R337.8.3  
The exterior surface or cladding of exterior doors shall be of noncombustible material, ignition-resistant material, be of an assembly with a fire-resistance rating not less than 20 minutes, or have performance requirements as listed in code.
- 6 **Deck-to-Wall Flashing:** Per CRC 2019 Section R337.9.1  
A minimum of a 6-inch metal flashing, applied vertically on the exterior of the wall, shall be installed at all the deck-to-wall intersections.
- 7 **Deck Walking Surface:** Per CRC 2019 Section R337.9.4  
The walking surface of decks, porches, balconies and stairs shall be of material that complies with the performance requirements stated in code, be of ignition-resistant material that complies with the performance requirements stated in code, or be exterior fire-retardant-treated-wood.





**CASE:** U 2023-0003  
**OWNER:** Heritance Vintner's, LLC  
**APN:** Various  
**APLCT:** Marc Taub  
**AGENT:** Stephanie Strawhacker  
**ADDRESS:** Hopland, CA

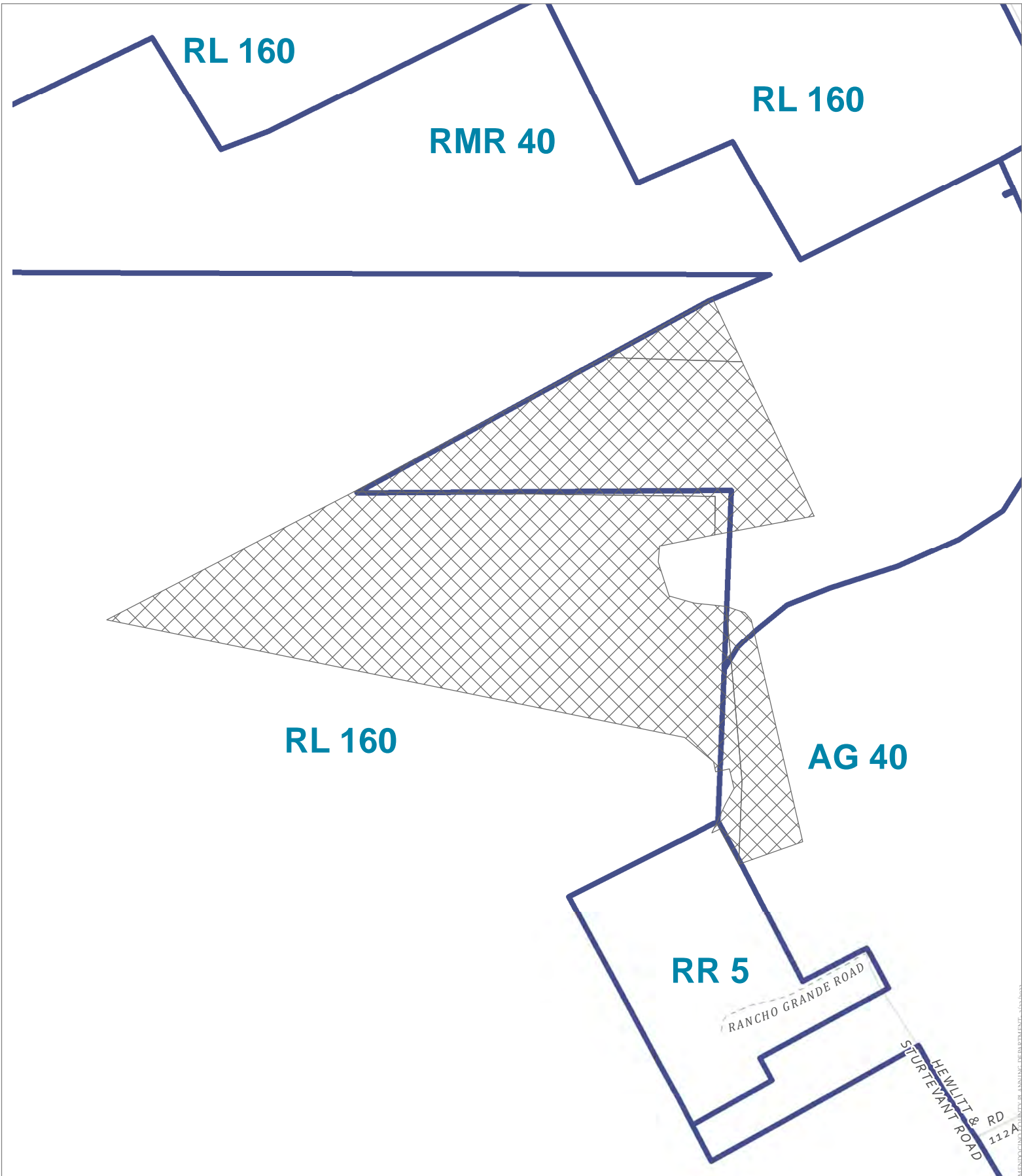
 Zoning Districts  
 Public Roads





**ZONING**

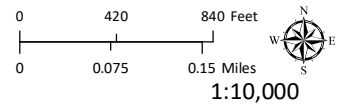
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MEMORANDUM TO THE PLANNING DEPARTMENT - 02/24/2023



**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

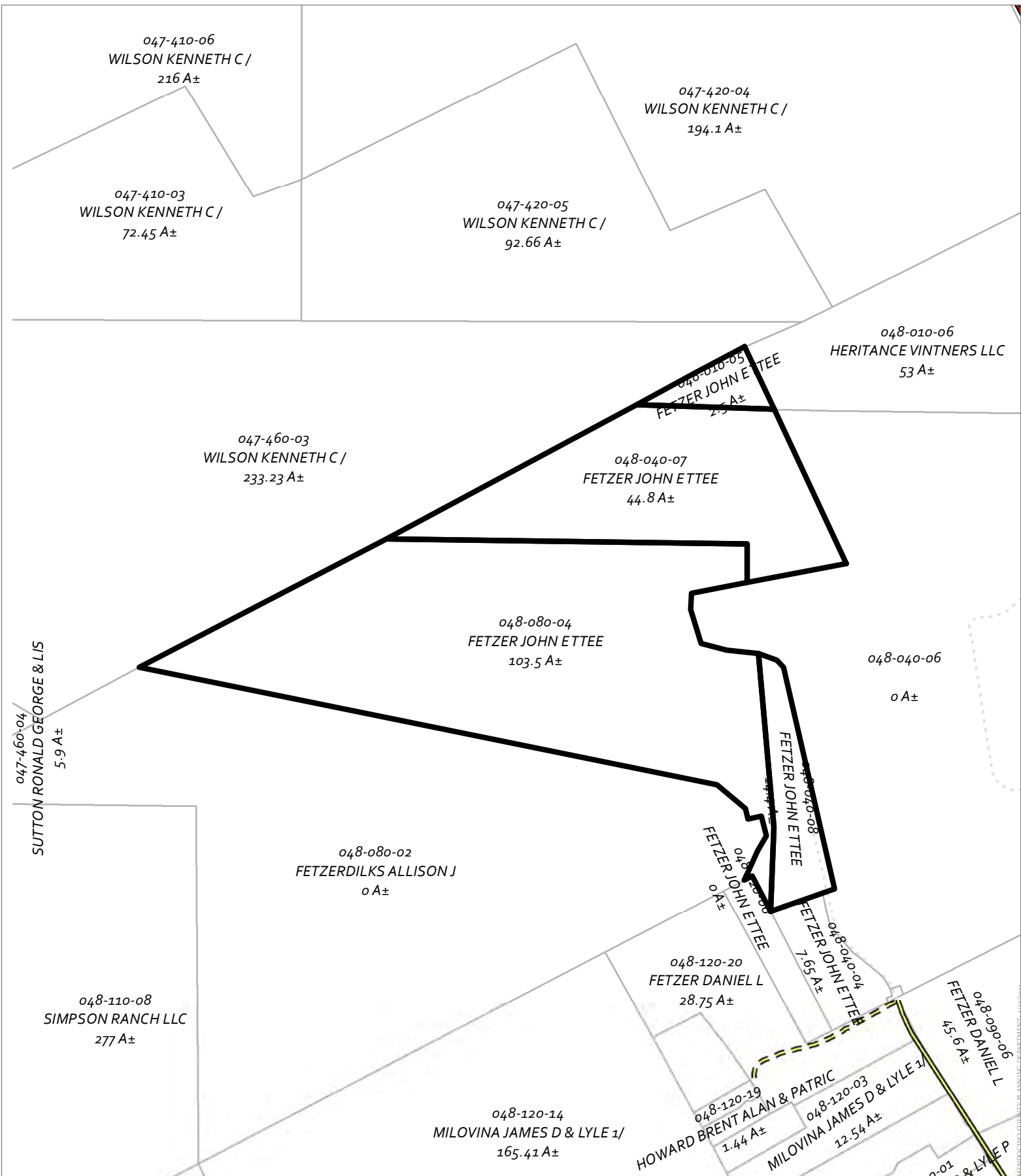
 General Plan Classes  
 Public Roads



**GENERAL PLAN**

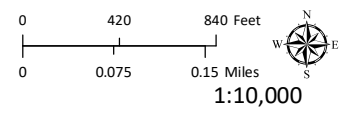
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MEMORANDUM TO THE BOARD OF SUPERVISORS, COUNTY OF CALIFORNIA, DEPARTMENT 4029-0003



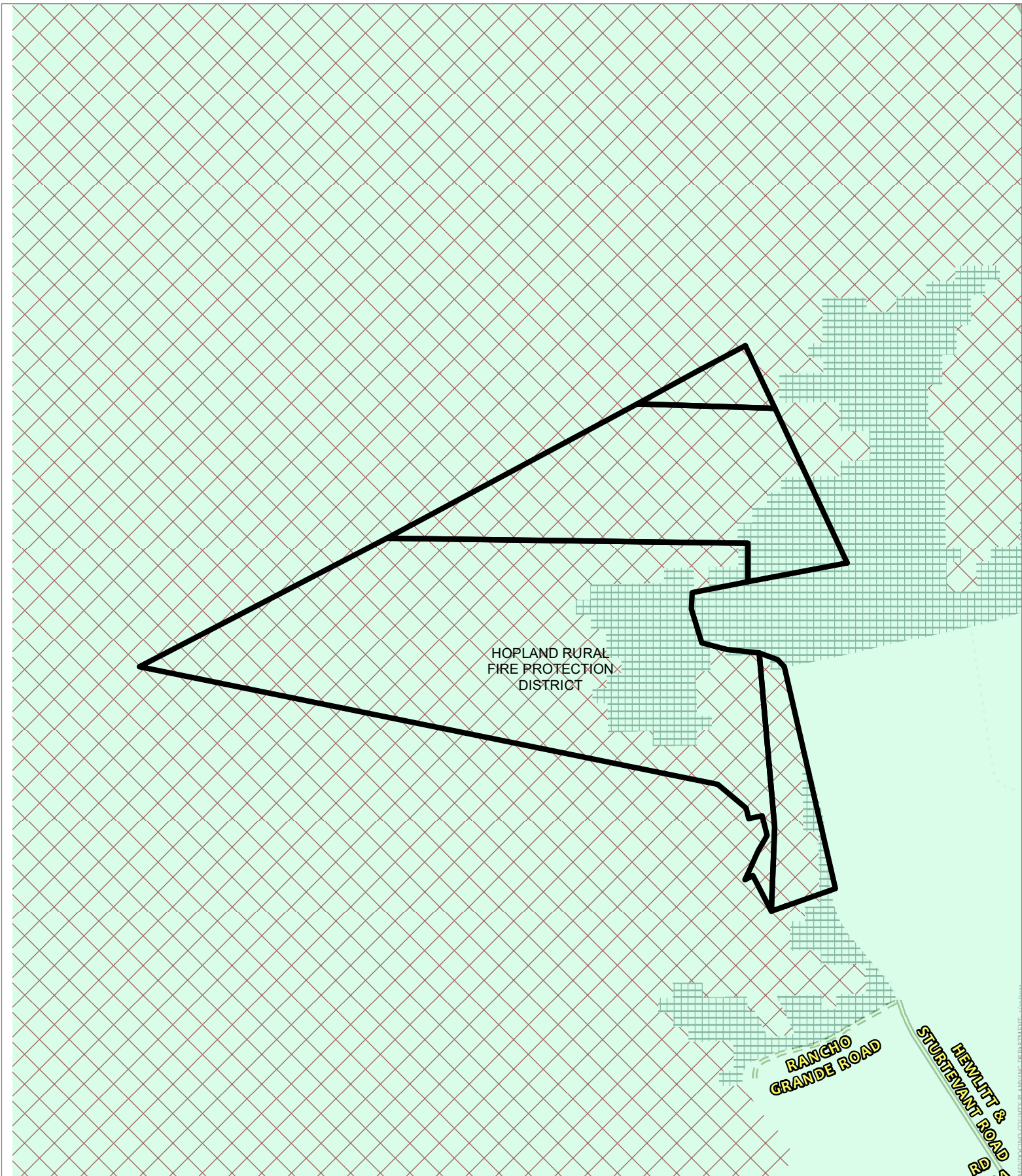
**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

Public Roads  
Private Roads




**ADJACENT PARCELS**

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**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

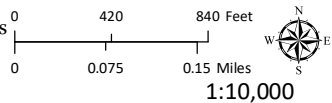
 High Fire Hazard

 County Fire Districts

 Private Roads

 Moderate Fire Hazard

 Public Roads



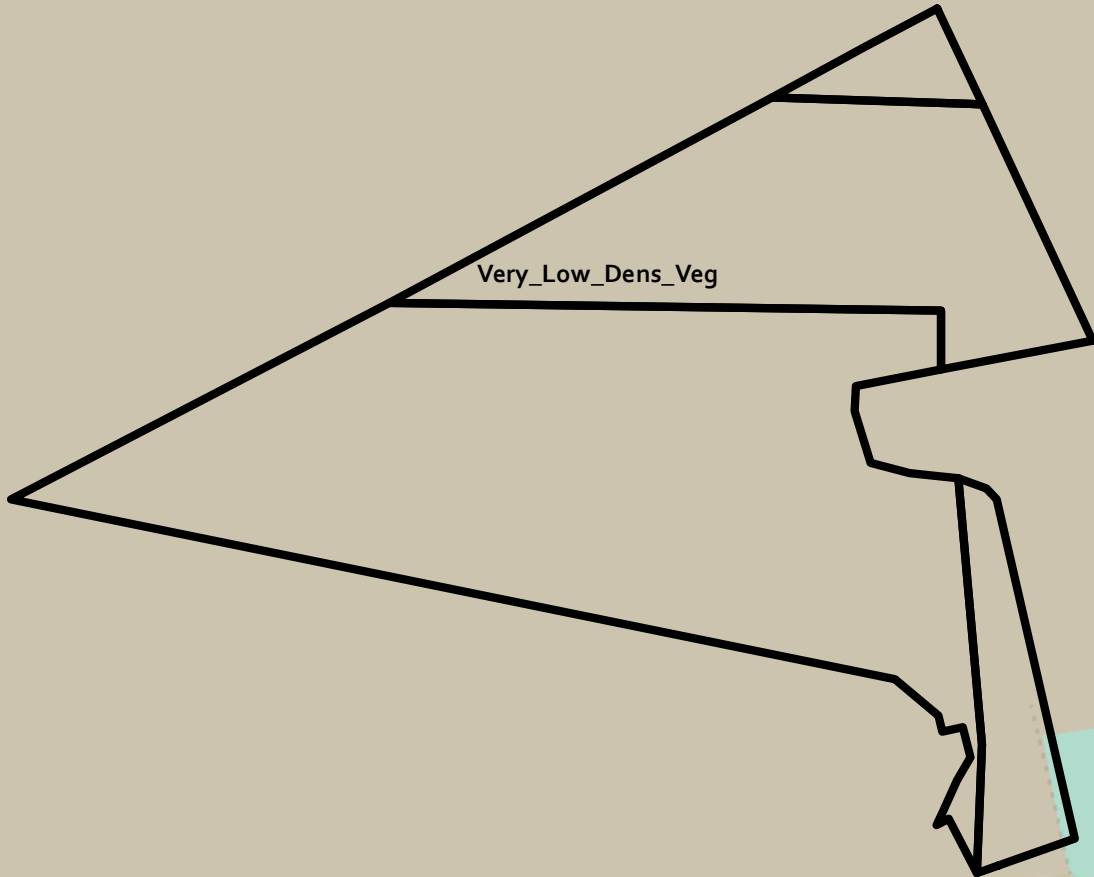
**FIRE HAZARD ZONES & RESPONSIBILITY AREAS**  
 STATE RESPONSIBILITY AREA

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HENNINGSON CONSULTING ENGINEERING DEPARTMENT - 4/29/2023

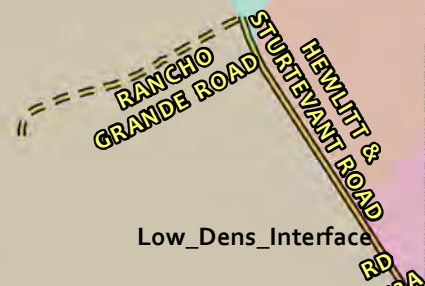


Uninhabited\_Veg





Uninhabited\_NoVeg

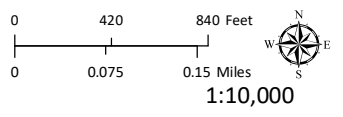
Med\_Dens\_Intermix



Low\_Dens\_Interface

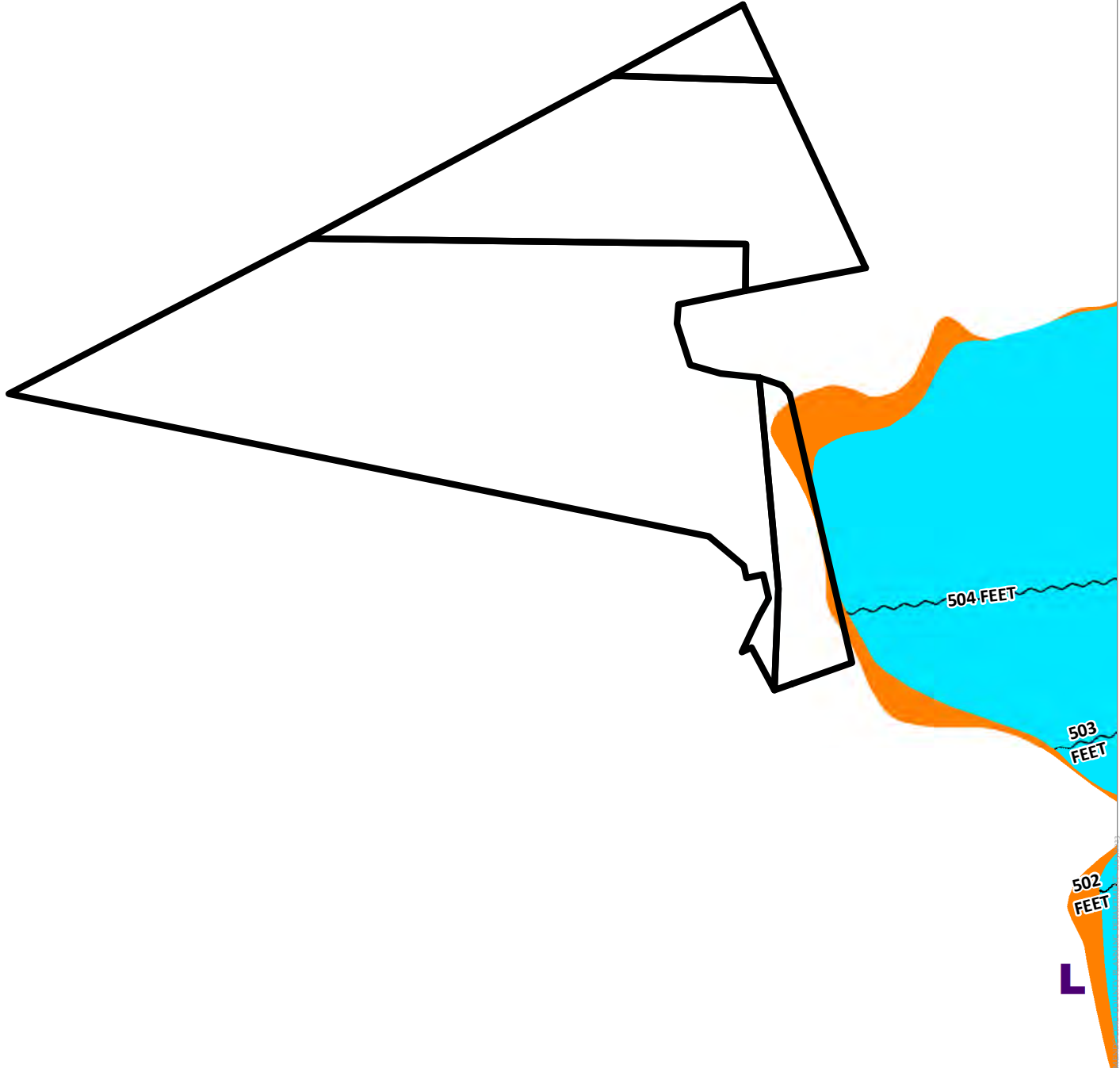
**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

 Public Roads  
 Private Roads



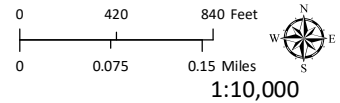
**WILDLAND-URBAN INTERFACE**

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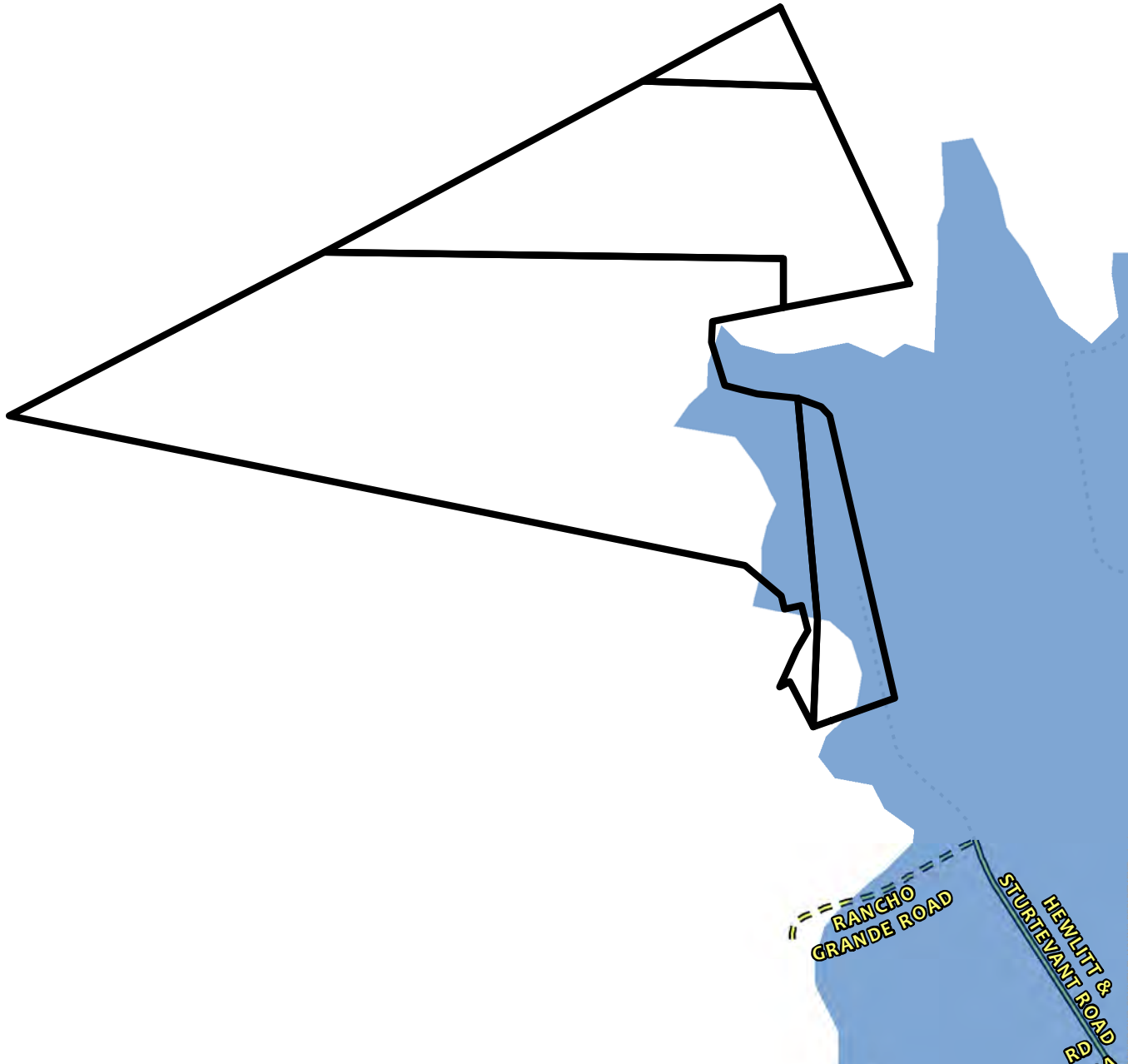
**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

 LOMA Letters






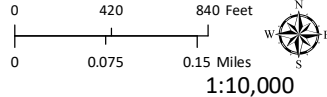
**FLOOD ZONES**

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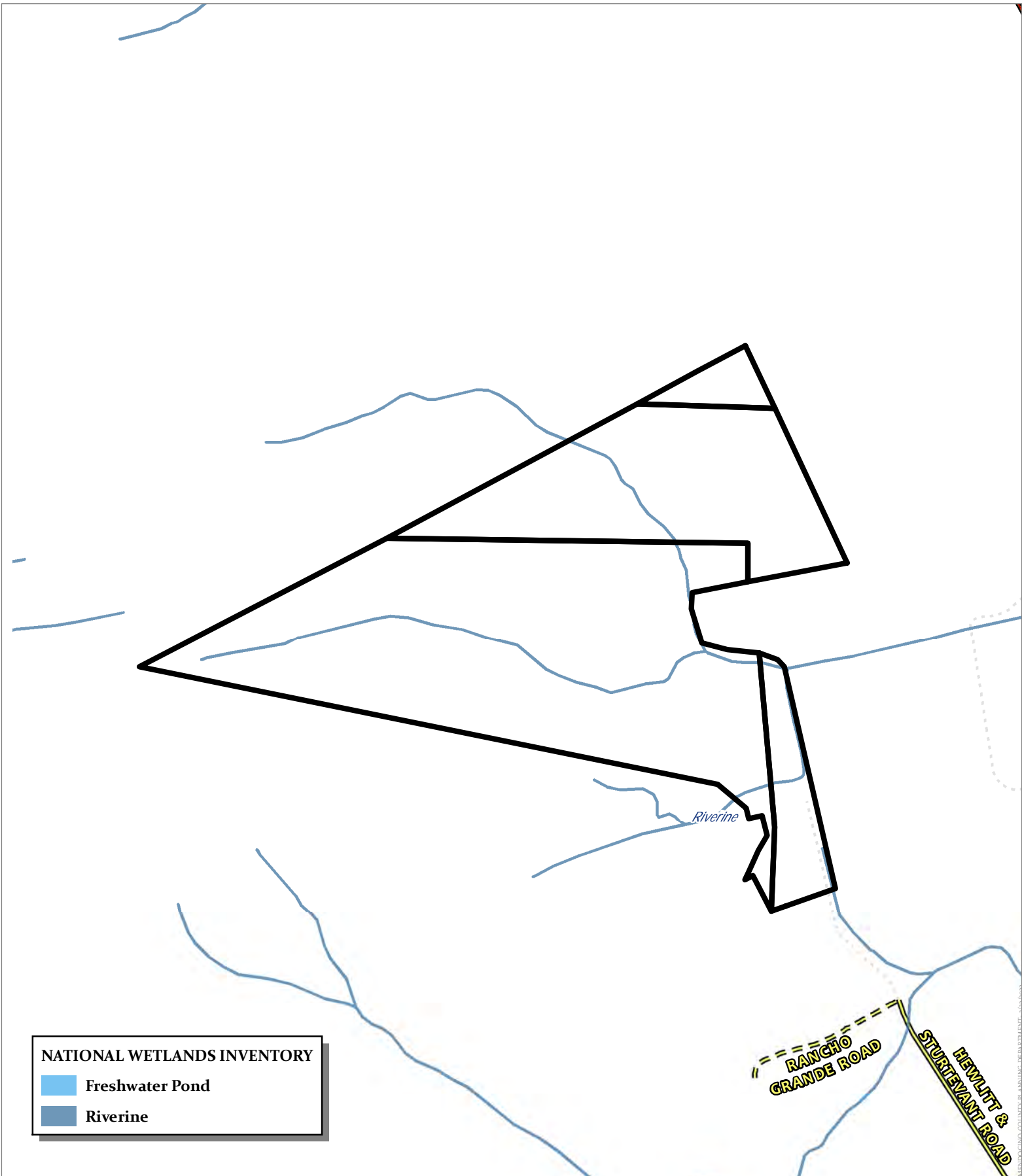
**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

 Estimated Inundation Zones  Private Roads  
 Public Roads



**DAM INUNDATION ZONES**

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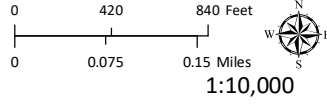


**NATIONAL WETLANDS INVENTORY**

- Freshwater Pond
- Riverine

**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

Public Roads  
 Private Roads



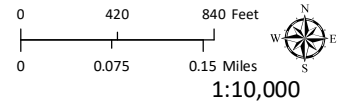
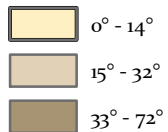
**WETLANDS**

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MEMORANDUM TO THE BOARD OF SUPERVISORS

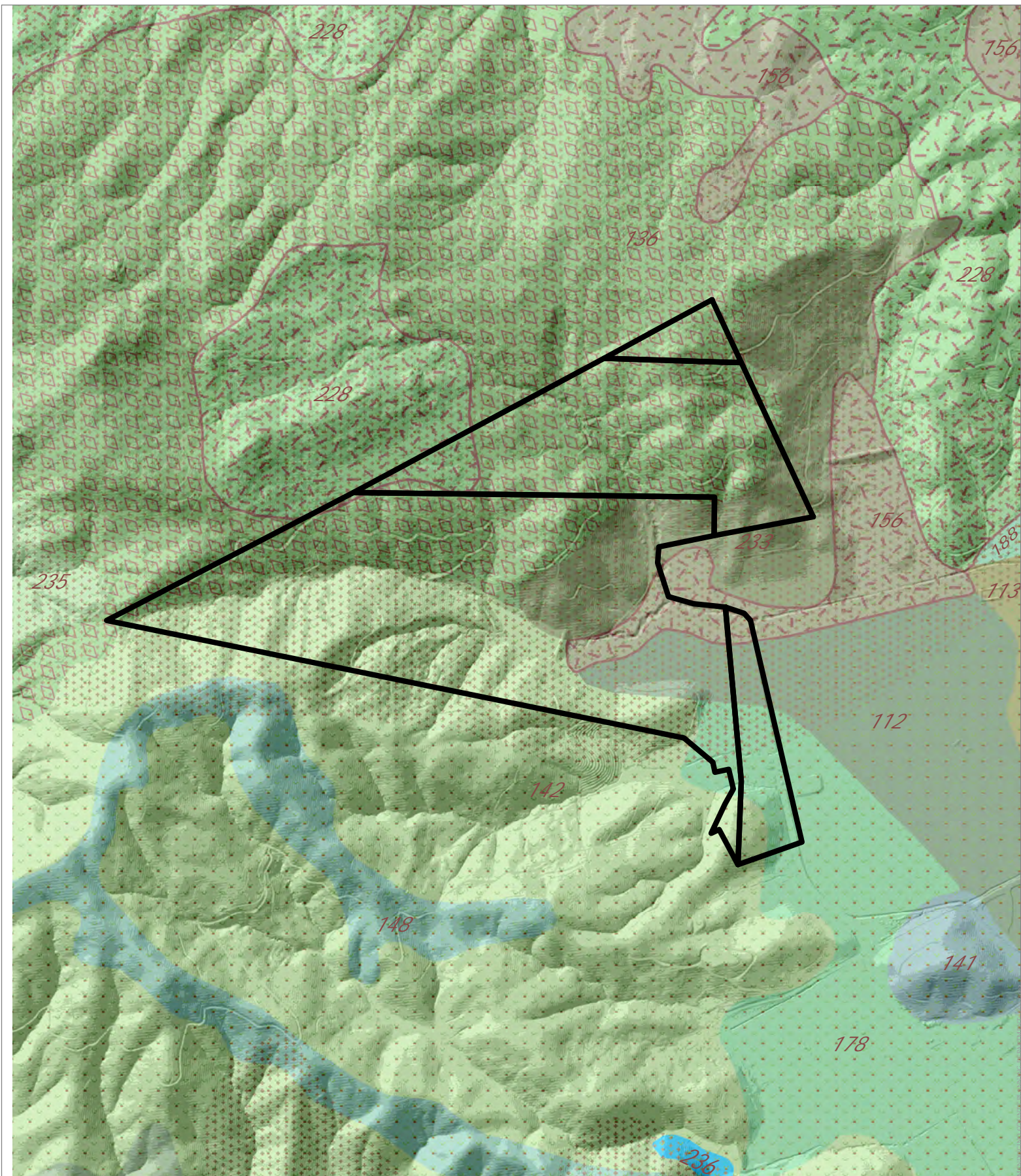


**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**



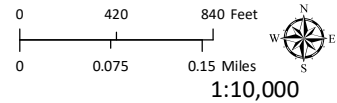
**ESTIMATED SLOPE**

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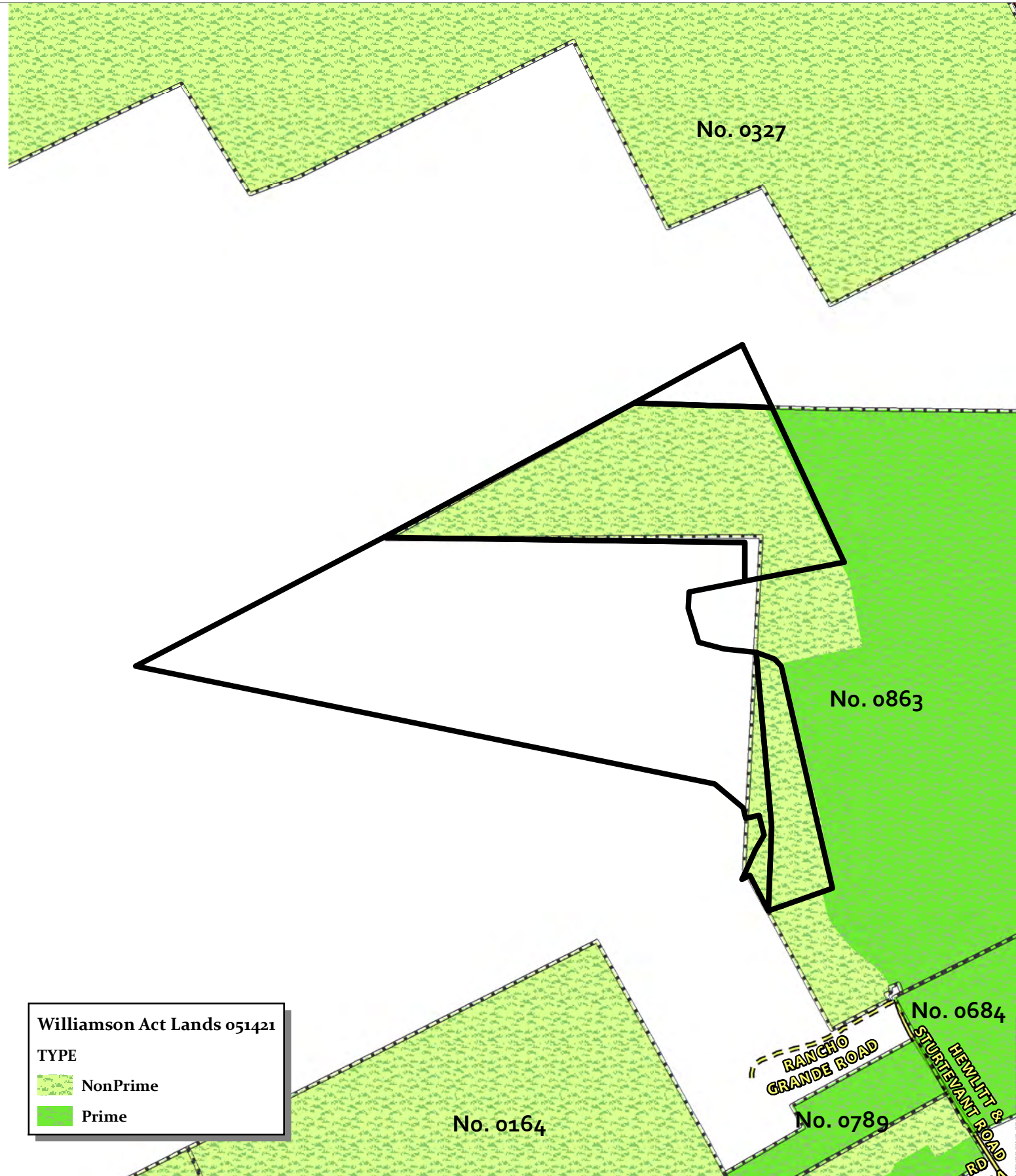
**CASE:** U 2023-0003  
**OWNER:** Heritage Vintner's, LLC  
**APN:** Various  
**AGENT:** Stephanie Strawhacker  
**ADDRESS:** Hopland, CA

-  Ultramafic Rock
-  Eastern Serpentine Inclusions
-  Eastern Serpentine Soils
-  Naturally Occurring Asbestos



**EASTERN SOIL CLASSIFICATIONS**

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**Williamson Act Lands 051421**

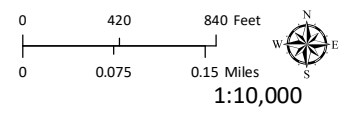
**TYPE**

- NonPrime
- Prime

**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

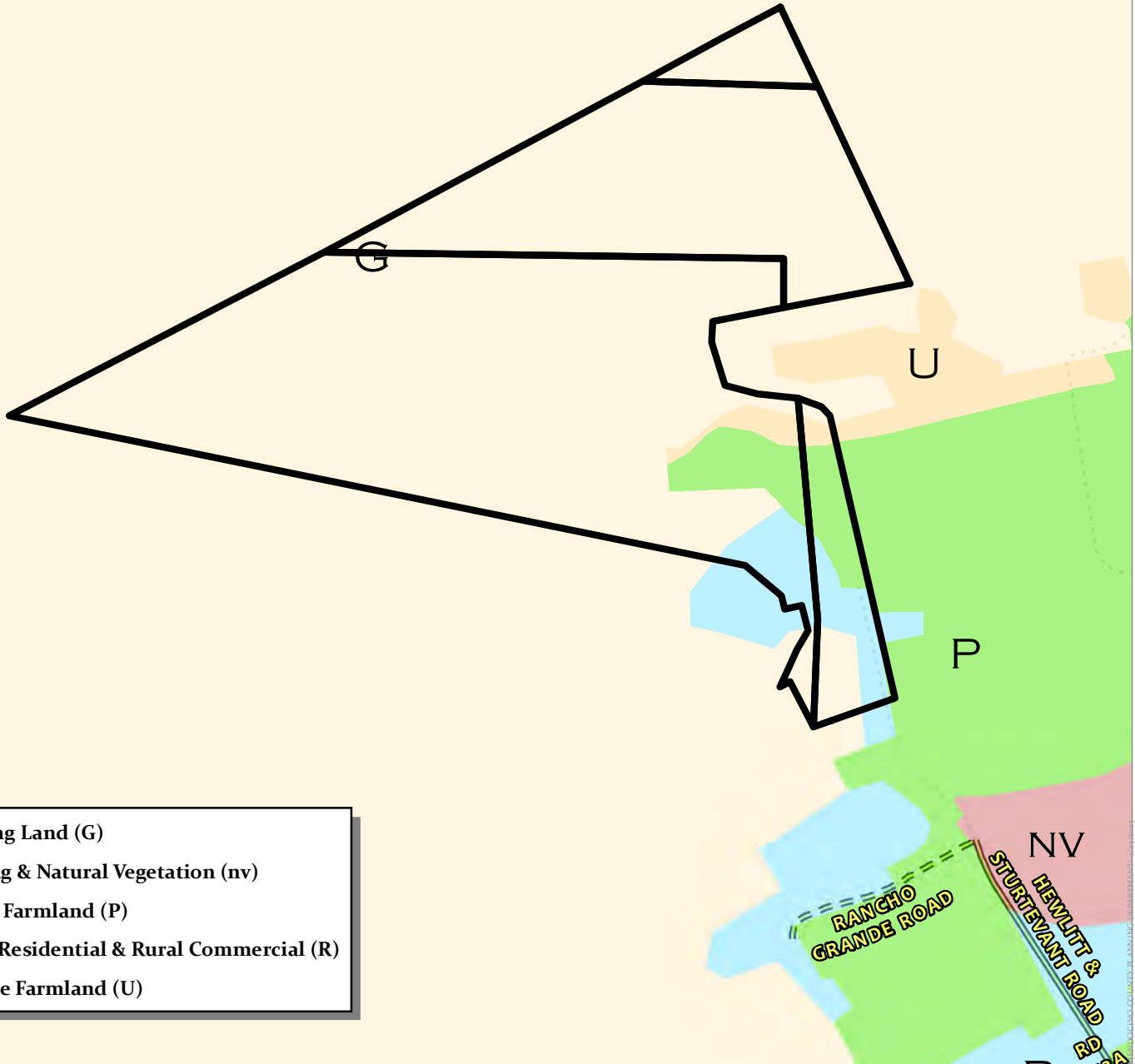
Contract Boundaries    Private Roads

Public Roads



**WILLIAMSON ACT**

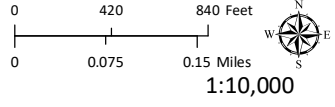
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	Grazing Land (G)
	Non-Ag & Natural Vegetation (nv)
	Prime Farmland (P)
	Rural Residential & Rural Commercial (R)
	Unique Farmland (U)

**CASE:** U 2023-0003  
**OWNER:** Heritage Vintner's, LLC  
**APN:** Various  
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**AGENT:** Stephanie Strawhacker  
**ADDRESS:** Hopland, CA

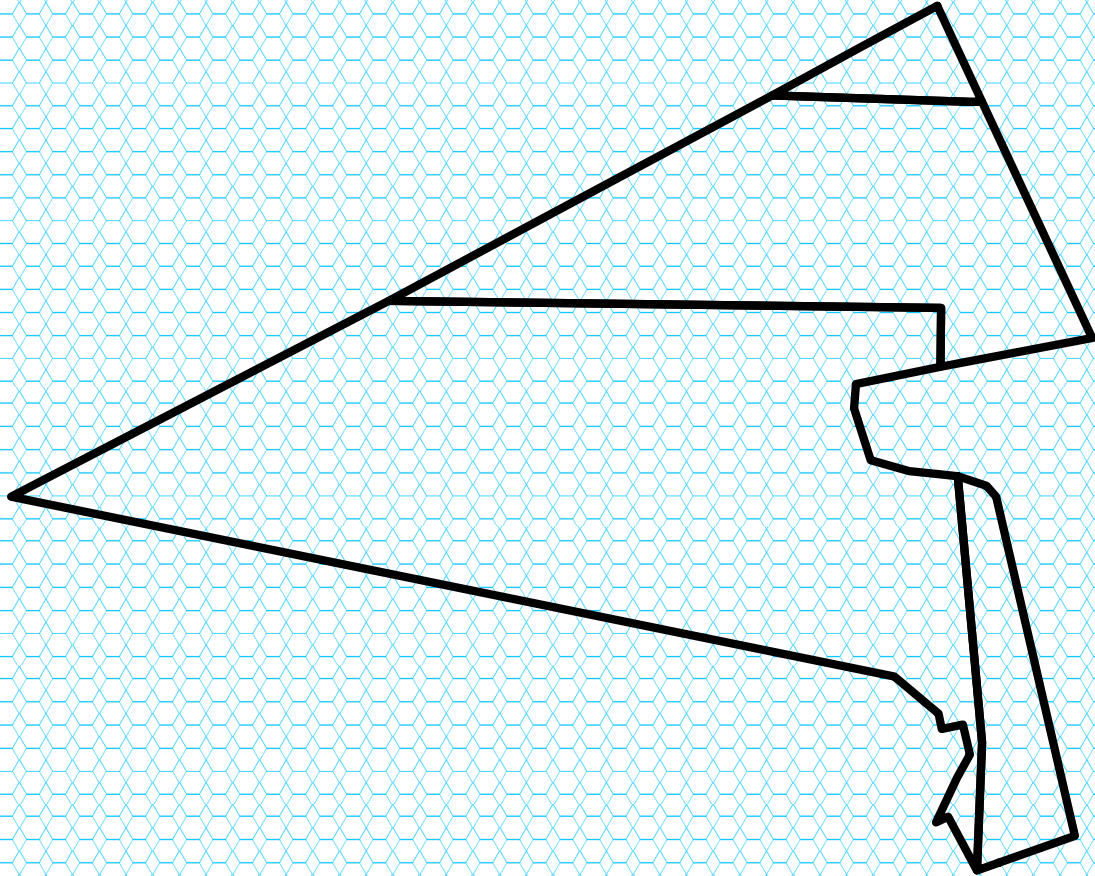
Public Roads  
 Private Roads




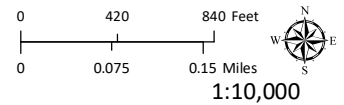
**IMPORTANT FARMLANDS**

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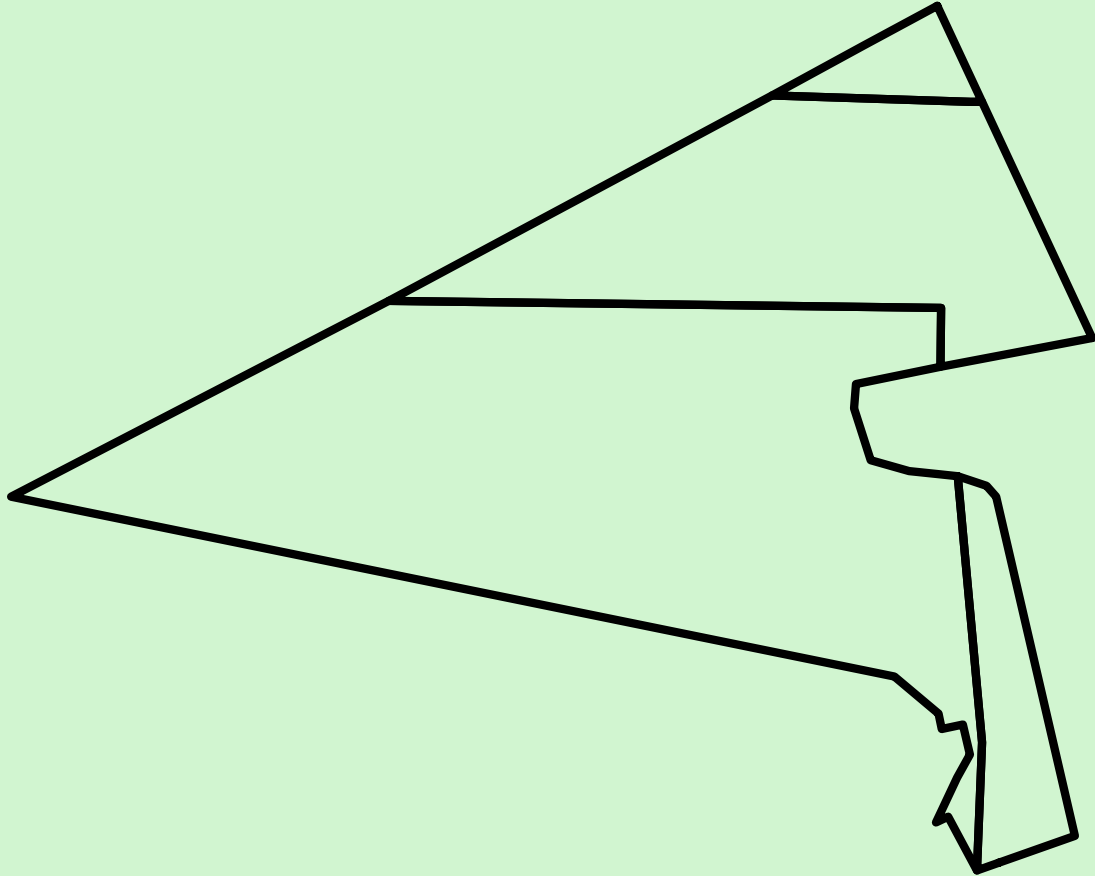


**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  Russian River Flood District  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**



**WATER DISTRICTS**

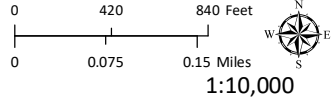
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MENDOCINO COUNTY PLANNING DEPARTMENT 4/29/2023

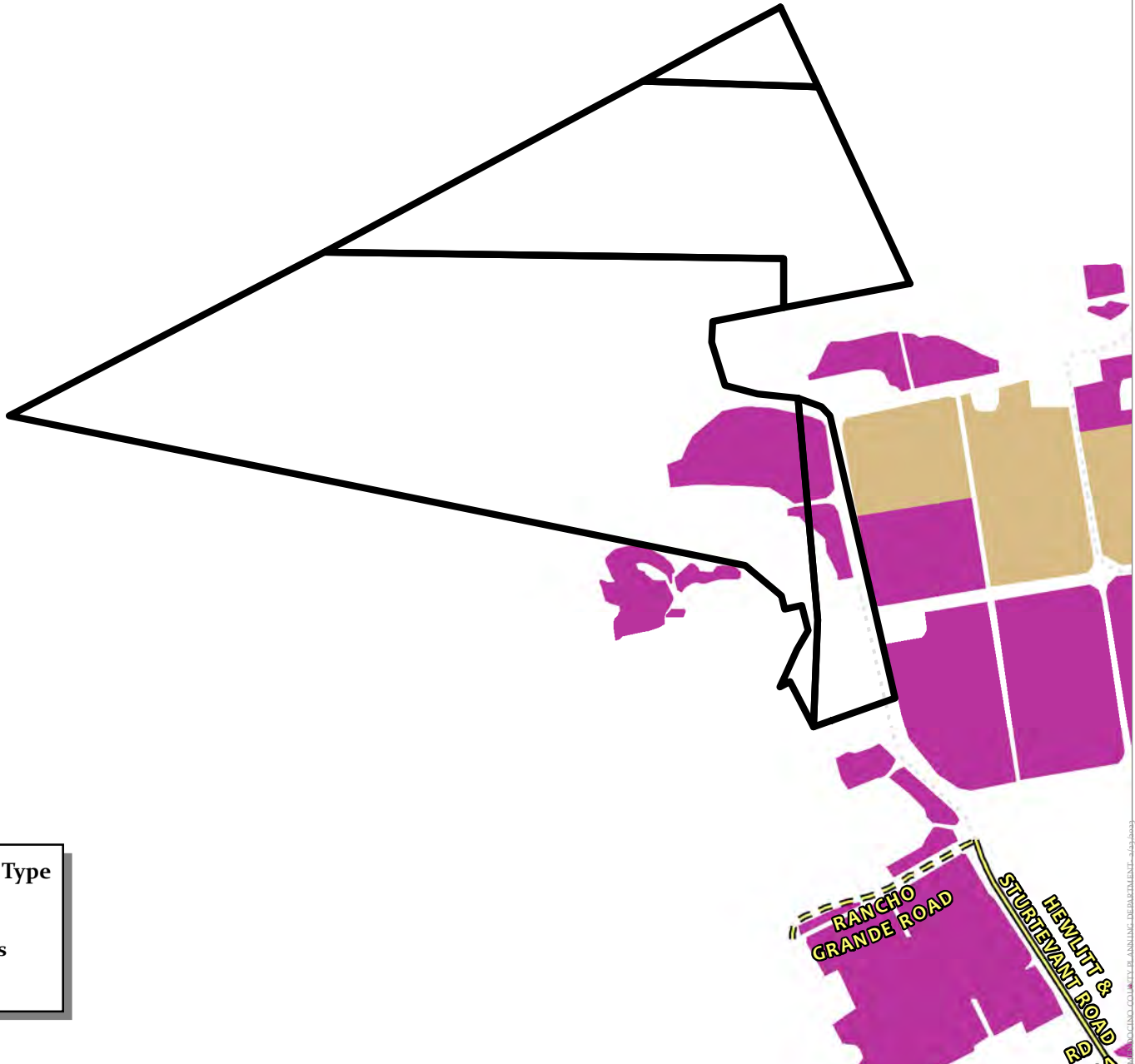
**CASE: U 2023-0003**  
**OWNER: Heritage Vintner's, LLC**  
**APN: Various**  
**APLCT: Marc Taub**  
**AGENT: Stephanie Strawhacker**  
**ADDRESS: Hopland, CA**

 Hopland MAC



**HOPLAND MUNICIPAL ADVISORY COUNCIL**

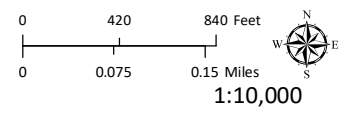
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**DWR Crop Type**  
 Crop2014  
 Grapes  
 Idle

**CASE: U 2023-0003**  
**OWNER: Heritance Vintner's, LLC**  
**APN: Various**  
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Public Roads  
 Private Roads



**DWR CROP TYPES**

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