



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES
860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

JULIA KROG, DIRECTOR
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February 21, 2023

**PUBLIC NOTICE OF PENDING ACTION AND SITE VIEW
MENDOCINO HISTORICAL REVIEW BOARD PERMIT**

The Mendocino Historical Review Board, on Monday, March 6, 2023, will perform a site view of the proposed project, beginning at 4:00 PM, or as soon as the Board may assemble. Concluding the site view, the Board will convene for their regular meeting in the Mendocino Community Center, 10525 School Street (the corner of School and Pine Streets), Mendocino, California, at 7:00 p.m. or as soon thereafter as the item may be heard, for the below described project that is located in the Town of Mendocino.

CASE#: MHRB_2022-0014

DATE FILED: 11/8/2022

OWNER/APPLICANT: MARCIA TRIMBLE

AGENT: DEBRA LENNOX

REQUEST: Mendocino Historical Review Board Permit for new single-family residence (1156 SF), decks and porches (710 SF), bike shed (48 SF), pump/battery storage shed (48 SF), utility enclosure (48 SF), two off street parking spaces, trellis, gates, fencing, gravel walkways, and exterior downcast lighting.

ENVIRONMENTAL DETERMINATION: Categorically Exempt

LOCATION: 44900 Ukiah St; APN: 119-150-34

SUPERVISORIAL DISTRICT: 5 (Williams)

STAFF PLANNER: STEVEN SWITZER

The staff report and notice will be available 10 days before hearing on the Department of Planning and Building Services website at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>.

As you are an adjacent property owner and/or interested party, you are invited to appear at the hearing and provide comments. Written comments should be submitted by mail to the Department of Planning and Building Services Commission Staff, at 860 North Bush Street, Ukiah, or 120 West Fir Street, Fort Bragg, California. In order to minimize the risk of exposure, the public may participate digitally in meetings by sending comments to pbscommissions@mendocinocounty.org by March 5, 2023 or orally via telecomment in lieu of personal attendance. All correspondence should contain reference to the above noted case number. All public comment will be made available to the Board, staff, and the general public as they are received and processed by staff, and can be viewed as attachments to this meeting agenda at <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>

The decision of the Mendocino Historical Review Board shall be final unless a written appeal is submitted to the Board of Supervisors with a filing fee within 10 calendar days thereafter. If appealed, the decision of the Board of Supervisors to approve the project shall be final. If you would like to be notified of the Mendocino Historical Review Board action, please submit a written request to this office.

If you challenge the above case in court, you may be limited to raising only those issues described in this notice or that you or someone else raised at the public hearing, or in written correspondence delivered to the Mendocino Historical Review Board Secretary at or prior to, the public hearing.

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE. Mendocino County complies with ADA requirements and upon request, will attempt to reasonably accommodate individuals with disabilities by making meeting material available in appropriate alternate formats (pursuant to Government Code Section 54953.2). Anyone requiring reasonable accommodation to participate in the meeting should contact the Department of Planning and Building Services by calling (707) 234-6650 or (707) 964-5379 at least five days prior to the meeting.

Additional information regarding the above noted case may be obtained by calling the Planning and Building Services Department at 707-964-5379, Monday through Friday.

JULIA KROG, Director of Planning and Building Services



**MENDOCINO HISTORICAL REVIEW BOARD
STAFF REPORT**

**MARCH 6, 2023
MHRB_2022-0014**

OWNER/APPLICANT: MARCIA TRIMBLE
27920 ROBLE ALTO
LOS ALTO HILLS, CA 94022

AGENT: DEBRA LENNOX
PO BOX 798
MENDOCINO, CA 95460

PROJECT DESCRIPTION: Mendocino Historical Review Board Permit for new single-family residence (1156 SF), decks and porches (710 SF), bike shed (48 SF), pump/battery storage shed (48 SF), utility enclosure (48 SF), two off-street parking spaces, trellis, gates, fencing, gravel walkways, and exterior downcast lighting.

STREET ADDRESS: 44900 Ukiah St; APN: 119-150-34

PARCEL SIZE: 5,662± Square Feet

ENVIRONMENTAL DETERMINATION: Categorically Exempt

HISTORIC STRUCTURES: On Site: Vacant lot
North: Category I Flanagan-Escuela House
South: Category I/Historic Structure
East: Vacant lot
West: Category I Bowman House

PAST MHRB PERMITS: 2020-0013 new single-family residence and garage (*Expired & Not Built*)

HISTORIC ORDINANCE STANDARDS: The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing applications. Relative to this application, the following issues are raised and should be addressed:

- | | |
|---|--------------------|
| ✓ Building Size, Height, Proportions and Form | ✓ Roof Shape |
| ✓ Relationship of Building Masses and Open Spaces | ✓ Color(s) |
| ✓ Relationship to Surrounding Structures | Sign Size |
| ✓ Materials and Textures | Number of Signs |
| ✓ Architectural Details and Style | Placement/Location |
| ✓ Facade Treatment | ✓ Lighting |
| ✓ Proportions of Windows and Doors | ✓ Paving/Grading |
| Landscaping | |

APPLICABLE SECTIONS OF MHRB GUIDELINES: V –General Guidelines (*Pages 6-7*); VII –Structural Guidelines (*Pages 7-10*); and VII –Non-Structural Guidelines (*Page 10-12*)

APPLICABLE SECTIONS OF MENDOCINO TOWN ZONING CODE: Section 20.760.030 –Work in Historical Zone A Requiring Approval, Section 20.760.050 –Standards, Chapter 20.656 –Mendocino Multiple Family Residential “MRM”, Section 20.692.015 –Yards

STAFF NOTES: The project site is designated as Multiple Family Residential on the Mendocino Town Plan Land Use Map and is within the Mendocino Multiple Family Residential District (MRM). Chapter 20.656 –Mendocino Multiple Family Residential “MRM” provides the following:

DEVELOPMENT STANDARDS FOR MRM DISTRICTS		
MENDOCINO TOWN CODE SECTION	STANDARD	PROPOSED
20.656.010(A)(1) –Residential Use Types	Single-Family Residential	Single-Family Residential
20.656.030 –Minimum Front & Rear Yards ¹	20-Feet	20-Feet
20.656.035 –Minimum Side Yards	6-Feet	0-Feet ²
20.656.045 –Maximum Building Height	28-Feet	26-Feet
20.656.050 –Minimum Vehicle Parking	2 Off-Street Spaces	2 Off-Street Spaces
20.656.060 –Maximum Lot Coverage	25%	24.5%
¹ Section 20.692.015(G): Front yard setbacks shall be maintained, in any Zoning District, from all lot lines that have street frontage. Side yard setbacks shall be maintained from all other lot lines that do not have street frontage.		
² Sec. 20.656.040 –Setback Exception for MRM District: Exceptions to the strict application of building setbacks may be allowed or greater setbacks may be required where it is found that strict compliance would have adverse impacts to community character, historic structures, open space, or public views. Exceptions may only be allowed pursuant to the review process in Chapter 20.760.		

LOT COVERAGE CALCULATIONS	
NAME	AREA
Residence	888 SF
Porches & Decks	356 SF
Bike Shed	48 SF
Pump/Battery Storage Shed	48 SF
Utility Enclosure	48 SF
TOTAL LOT COVERAGE	1,388 SF
MAXIMUM LOT COVERAGE (25% of 5,662 SF Lot)	1,415.5 SF

Mendocino Town Code (MCC) Section 20.692.015(E) provides the following:

...Fences and hedges in front yards and any rear or side yards that have street frontage may not exceed three and one-half (3½) feet in height. The above fence height limitations shall apply to view obstructing fences, such as board fences and picket fences.

The applicant currently proposes a 3½-feet tall picket fence along the front yard with street frontage on School Street and a 3½-feet tall picket fence with gate along the front yard with street frontage on Ukiah Street.

Pursuant with MCC Section 20.656.040, the applicant is requesting a setback exception. This exception may be allowed pursuant to the review process in Chapter 20.760 provided that the Review Board finds strict compliance would have adverse impacts to community character, historic structures, open space or public views. Mendocino Town Code Section 20.724.010(A) provides the following for concurrent applications:

...When an application for granting or modifying a variance is submitted concurrently with an application for granting or modifying a Mendocino Historical Review Board approval and said variance would be incidental and necessary to it the variance shall be designated as a concurrent variance and the application shall be reviewed by the Historical Review Board. Setback and building height exceptions reviewed by the Mendocino Historical Review Board shall not be subject to the requirements of this Chapter.

Staff recommends the Review Board consider granting a concurrent variance and adopt recommended Finding C for a reduced yard setback from 6-feet to 2-feet for the bike shed and pump/battery storage shed, and a reduced yard setback from 6-feet to 0-feet for the utility enclosure on the northern property line.

Mendocino Town Plan Appendix 7 –Mendocino Historic Review Board Design Guidelines provides the following:

MENDOCINO HISTORIC REVIEW BOARD DESIGN GUIDELINES		
VII. STRUCTURAL GUIDELINES	GUIDELINE	PROPOSED
1. Scale and Proportion	Height, width, general proportions, windows, and doors shall conform to surrounding buildings.	The window and door heights and widths conform to early northern California architecture preserved within the district.
2. Vertical Emphasis	This appearance is created by the general proportions of door and window openings. Buildings should be of a vertical appearance.	Door and window openings would have vertical emphasis.
3. Exterior Building Materials	Use of lap siding, v-rustic, T&G, ship-lap siding, Ansac, wood shingles, and vertical Board and Batten are favored.	Painted horizontal wooden siding is proposed. See recommended conditions.
4.a. Windows and Doors: Residential	Proportions (including relationships between windows and doors) shall be compatible with the architectural style and character of landmark structures... Windows and doors may have accent ornamentation when it is integral to the building design.	Wooden six-over-one, six-over-six, and bay windows are proposed. One round gable window is proposed on the southern elevation.
5. Foundation Walls	The maximum exposure should be 10-inches.	See recommended conditions.
6.a. Roof Form: Residential	Hip, mansard and high-pitched gable roofs are acceptable for main structures with lesser pitch common for porches or additions. Gable end roofs should face the street.	Pitched gabled roof on both structures. Gable end roofs face Ukiah Street.

MENDOCINO HISTORIC REVIEW BOARD DESIGN GUIDELINES		
VII. STRUCTURAL GUIDELINES	GUIDELINE	PROPOSED
6.b. Roof Materials	Must be compatible with surrounding buildings. Wood materials are encouraged. Asphalt shingles are allowed but are not encouraged.	Composite shingles of weather wood or equivalent with an 18-inch overhang and Solar arrays on the eastern and western elevations are proposed.
7. Architectural Features	All features and details should be in proportion with the building. The use of historic details on contemporary structures would only be included where they are appropriate to the building design.	One residence and three sheds are proposed. A spiral staircase contained in a wooden enclosure to resemble a water tower is proposed on the western elevation.

As detailed in the application, a new single-family residence with a gable roof, decks, and porches with a combined 1,244 SF lot coverage is proposed. The main entrance of the residence faces Ukiah Street (CR 407C). Accessory structures including a bike shed, pump/battery storage shed, and utility enclosures are also proposed along the northern property line. Two off-street parking spaces will be located adjacent to School Street (CR 407O).

The single-family residence will have horizontal wooden siding painted Chantilly Lace (OC-65) and wooden doors, windows, and trim painted Distant Gray (OC-68). All wooden picket fences painted Chantilly Lace (OC-65) and all accessory structures painted wood to match the single-family residence. Downcast exterior and path lighting is proposed that is dark sky compliant. Exterior spiral staircase will be white powder coated stainless steel with vertical balusters and wooden treads and handrails. Roofing materials include composite shingles with solar arrays on the east and western roof elevations.

Contingent on the approval of this MHRB permit, adequate findings can be made to further process a Categorical Exclusion Permit (CE) for the proposed residential land use.

RECOMMENDED FINDINGS: The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (A) Pursuant with MCC Sec. 20.760.065(A), the proposed new single-family residence with decks, porches, accessory structures, two off street parking spaces, exterior downcast lighting, gravel walkways, trellis, gates, and fencing is well represented by shape and form. The proposed development is in harmony with the exterior appearance and design of existing structures within the District; and
- (B) Pursuant with MCC Sec. 20.760.065(B), the proposed new single-family residence with decks, porches, accessory structures, two off street parking spaces, trellis, gates, fencing, gravel walkways, and exterior downcast lighting would not detract from the appearance of other property within the District; and
- (C) Pursuant with MCC Sec. 20.724.010(A), a reduced front yard is an incidental and necessary concurrent variance to allow the bike shed and pump/battery storage to be sited 2-feet from the property line and the utility enclosure to be sited 0-feet from the property line.

RECOMMENDED CONDITIONS:

1. This action shall become final and effective on the 11th day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit have been completed prior to its expiration.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division. The applicant shall secure all required encroachment permits from the Department of Transportation.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. Should the project deviate from the approved MHRB Permit 2022-0014, the property owner shall request a determination for consistency with the intent of the MHRB Permit 2022-0014, and MCC Chapter 20.760. Minor alterations that are found not to comply with the approved MHRB permit shall be considered and processed as major alterations subject to securing a MHRB permit and final action by the Review Board.
6. Any Building Permit request shall include MHRB Permit 2022-0014 attached to or printed on the plans submitted.
7. Outdoor lighting shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend beyond the property boundaries.
8. The exterior finish shall be painted horizontal siding with no more than 10-inches of the foundation visible. The body, trim, door, and window paint colors shall be Chantilly Lace (OC-65) and Distant Gray (OC-68), or their equivalent. Roofing materials shall include composition shingles and solar arrays. Exterior service meters and other mechanical equipment, e.g., electric meters, shall be enclosed within a cabinet.
9. All exterior doors and window frames shall be made from wood. Exterior building materials shall not include use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick, plastic laminated beams, concrete block or boards, stucco or asbestos shingles or panels, or plywood panels.
10. Fences shall be made from wood. Solid wood fences are discouraged except where they are necessary for screening parking and storage. Chain link or metal fences, concrete block, plastic, fiberglass or plywood fences are prohibited. Concrete or smooth concrete block are prohibited. Fences and hedges in front yards and any rear or side yards that have street frontage may not exceed three and one-half (3½) feet in height.

11. Walkways and driveways surfaces shall be brick, flagstone, board, grass and/or gravel. Asphalt and concrete are prohibited. Major coverage of front yard setbacks is not allowed and shall be limited to areas shown on the approved site plan.

The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten-day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$2,260.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

ATTACHMENTS:

- A. Application MHRB_ 2022-0014

**COUNTY OF MENDOCINO
DEPT. OF PLANNING & BUILDING
SERVICES**

**120 WEST FIR STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379
Fax: 707-961-2427**

Case No(s) MHRB-2022-0014
Date Filed 11/8/2022
Fee \$ \$1801.00
Receipt No. PRJ-053072
Received by Tia Sar

Office Use Only

MHRB APPLICATION FORM

Name of Applicant Marcia Trimble	Name of Property Owner(s) same	Name of Agent Debra Lennox
Mailing Address 27920 Roble Alto Los Altos Hills, CA 94022	Mailing Address same	Mailing Address PO Box 798 Mendocino, CA 95460
Telephone Number (650)823-8845	Telephone Number same	Telephone Number 707-813-7886

Assessor's Parcel Number(s)
119-150-34

Parcel Size 5741 <input checked="" type="checkbox"/> Square Feet <input type="checkbox"/> Acres	Street Address of Project 44900 Ukiah St.
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TYPE OF DEVELOPMENT

(Check appropriate boxes)

- Demolition. Please indicate the type and extent of demolition. (see next page)
- Construction of a structure.
- Addition to a structure.
- Alteration of exterior of structure.
- Construction, installation, relocation or alteration of outdoor advertising sign.
- Outdoor lighting.
- Walkways, driveways, parking areas, and grading.
- Exterior painting of a structure.
- Other.

PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

1. Describe your project in detail.

- **For demolition**, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- **For new signs**, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- **For new copy on existing signs**, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- **For exterior painting**, describe existing and proposed colors. Provide paint chips for proposed colors.
- **For exterior lighting**, include description/detail of fixtures and indicate locations on the site plan.
- **For new construction**, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- **For walkways, driveways, paving and grading**, provide dimensions, location and materials.

NEW SINGLE FAMILY RESIDENCE(1156 sf), DECKS & PORCHES (710 SF), 2 OFF STREET PARKING SPACES, BIKE SHED(48 sf), PUMP/BATTERY STORAGE SHEDS(48 sf), UTILITY ENCLOSURE(48 SF), TRELLIS, GATES, FENCING & GRAVEL WALKWAYS, EXTERIOR DOWNCAST, SHIELDED LOW WATTAGE LIGHTING

2. If the project includes new construction, please provide the following information:

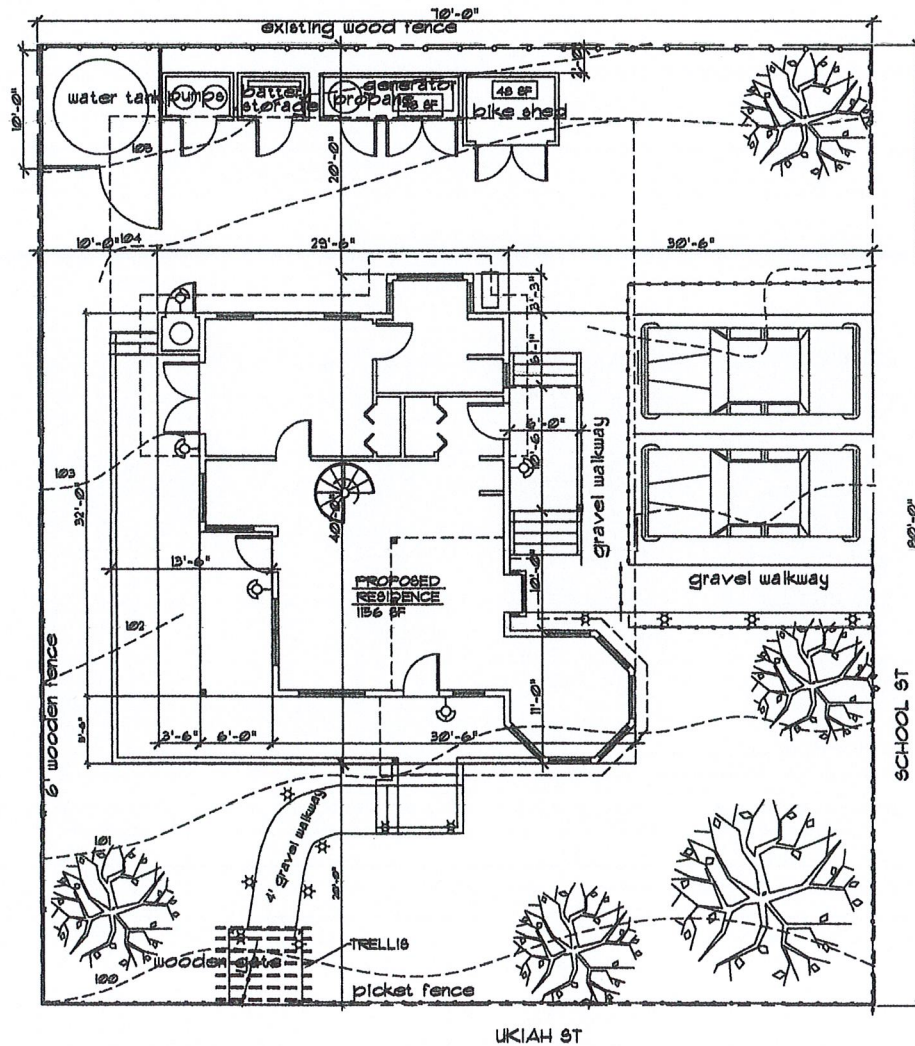
- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? 1232 SF+100TANK sq. ft.
- What is the total floor area (internal) of all structures on the property? 2078 sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? N/A sq. ft.

If you need more room to answer any question, please attach additional sheets

NEW RESIDENCE & OUTBUILDINGS

for MARCIA TRIMBLE

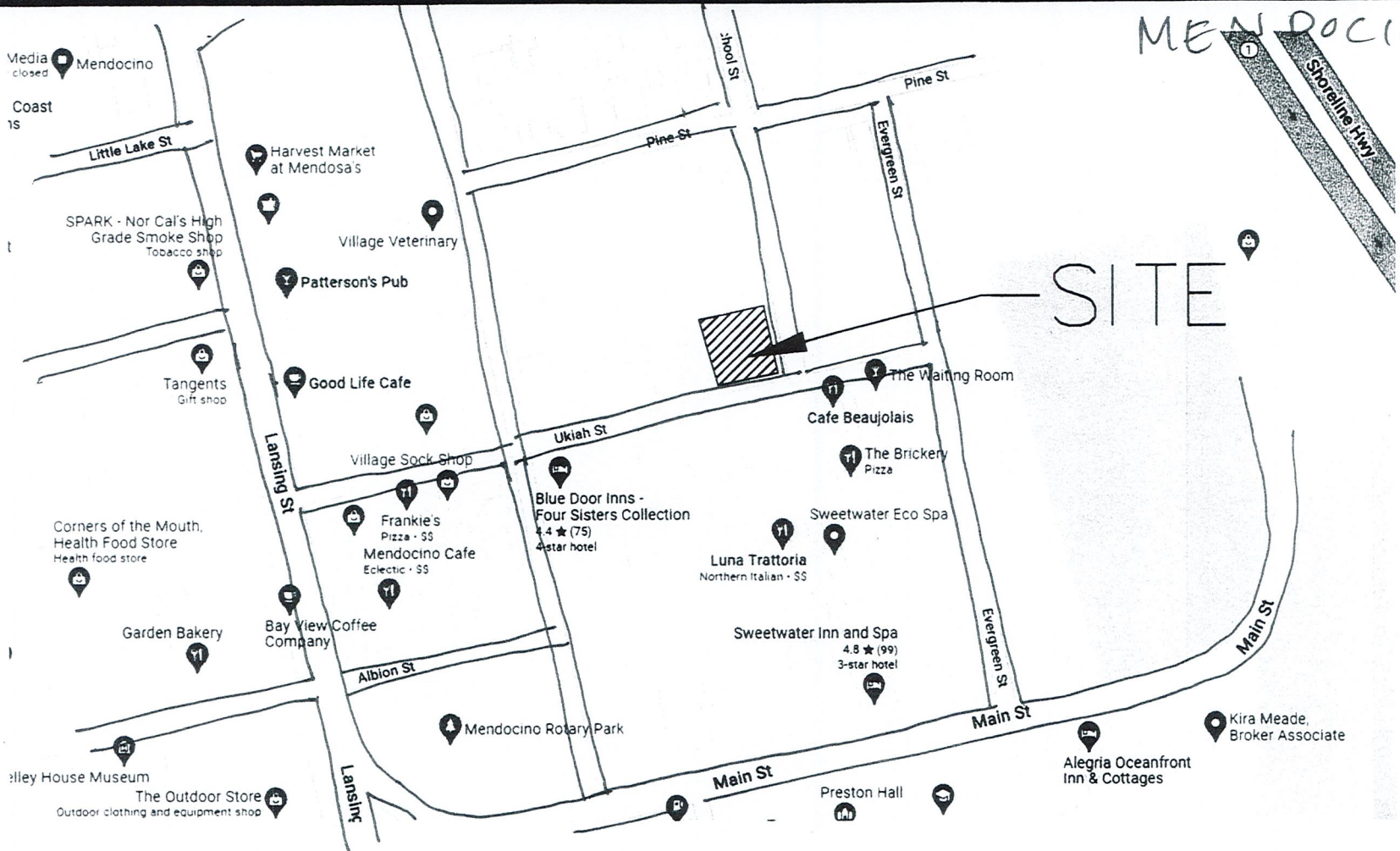
44900 UKIAH ST, MENDOCINO, CA
AP# 119-150-34



 **PLOT PLAN**
SCALE: 1/16"=1'-0"

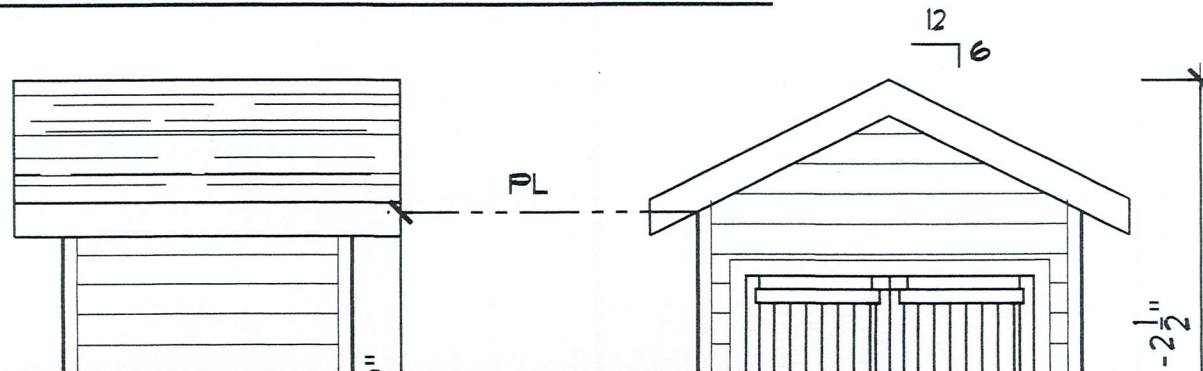
TRIMBLE RESIDENCE

44900 UKIAH ST

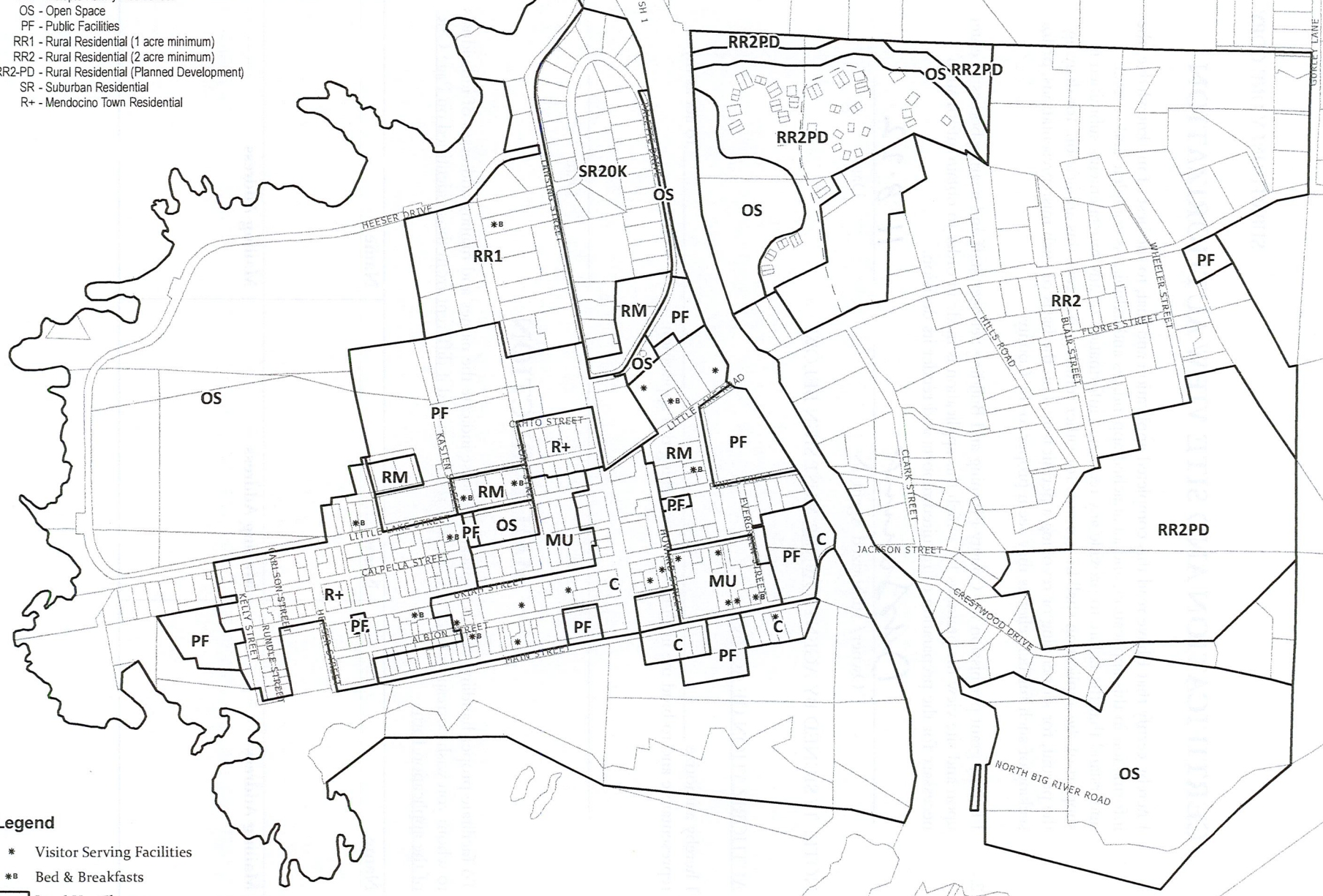


VICINITY / LOCATION PLAN - MENDOCINO

NOT TO SCALE



- C - Commercial
- FL - Forestland
- MU - Mixed Use
- RM - Multiple Family Residential
- OS - Open Space
- PF - Public Facilities
- RR1 - Rural Residential (1 acre minimum)
- RR2 - Rural Residential (2 acre minimum)
- RR2-PD - Rural Residential (Planned Development)
- SR - Suburban Residential
- R+ - Mendocino Town Residential



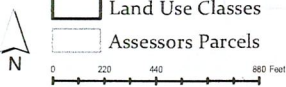
Legend

* Visitor Serving Facilities

*B Bed & Breakfasts

Land Use Classes

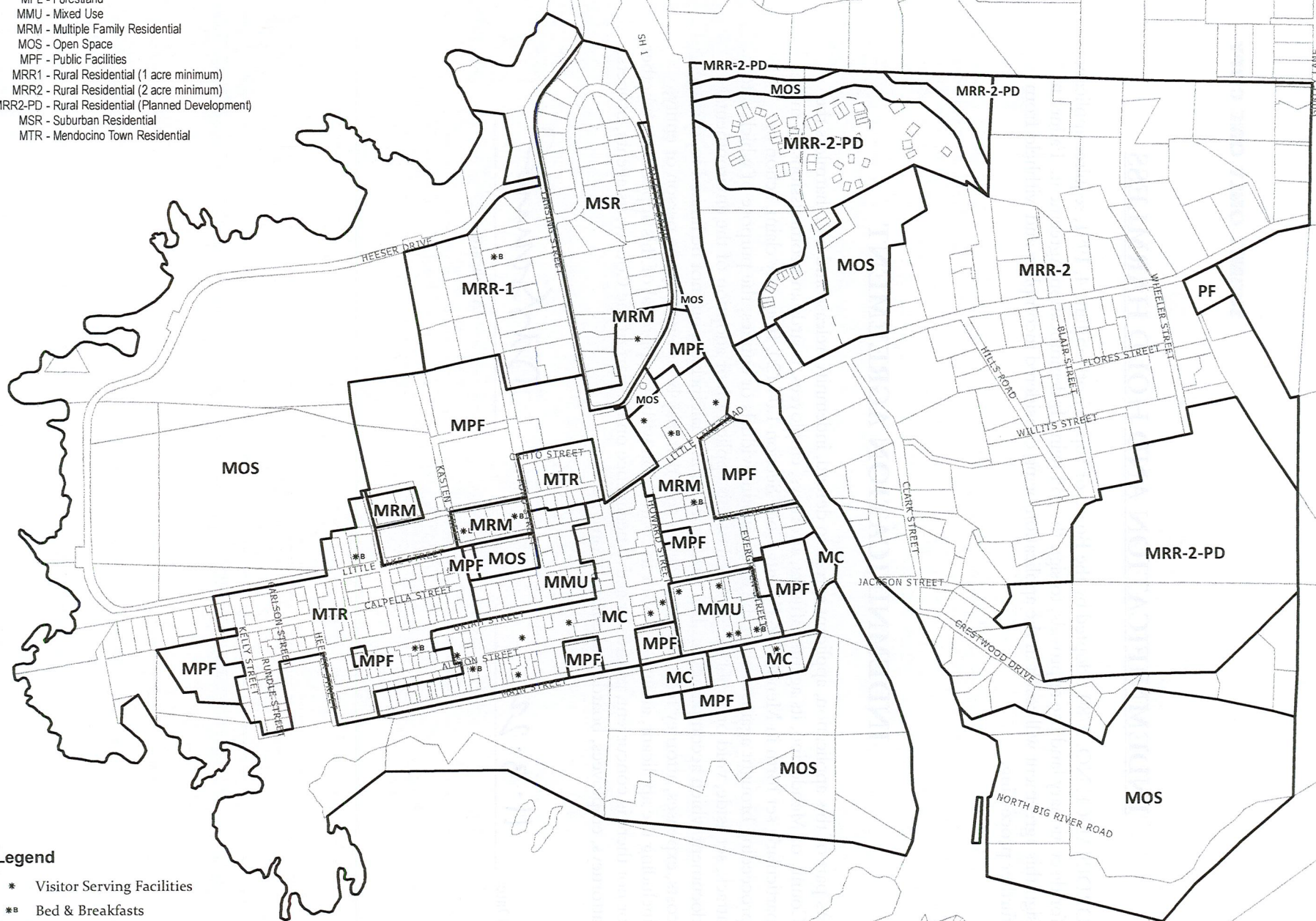
Assessors Parcels



Map produced by the Mendocino County Department of Planning & Building Services February, 2018
 Source: Mendocino Town Land Use Map, updated October 17, 2017.

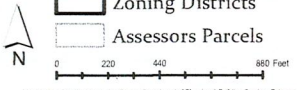
MENDOCINO TOWN LAND USE

- MC - Commercial
- MFL - Forestland
- MMU - Mixed Use
- MRM - Multiple Family Residential
- MOS - Open Space
- MPF - Public Facilities
- MRR1 - Rural Residential (1 acre minimum)
- MRR2 - Rural Residential (2 acre minimum)
- MRR2-PD - Rural Residential (Planned Development)
- MSR - Suburban Residential
- MTR - Mendocino Town Residential



Legend

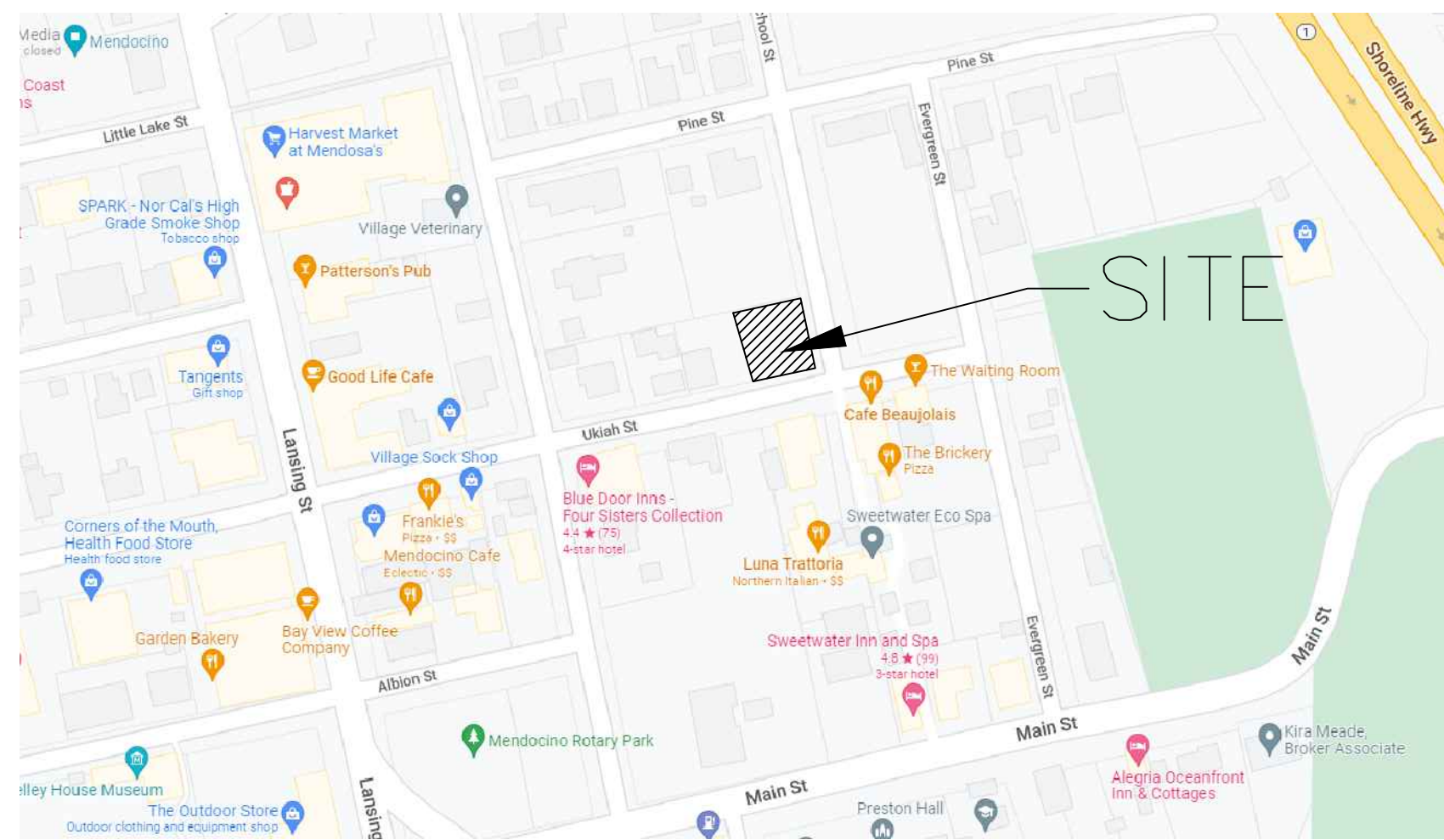
- * Visitor Serving Facilities
- *B Bed & Breakfasts
- ▭ Zoning Districts
- ▭ Assessors Parcels



Map produced by the Mendocino County Department of Planning & Building Services February, 2018
 Source: Mendocino Town Land Use Map, adopted October 17, 2017.

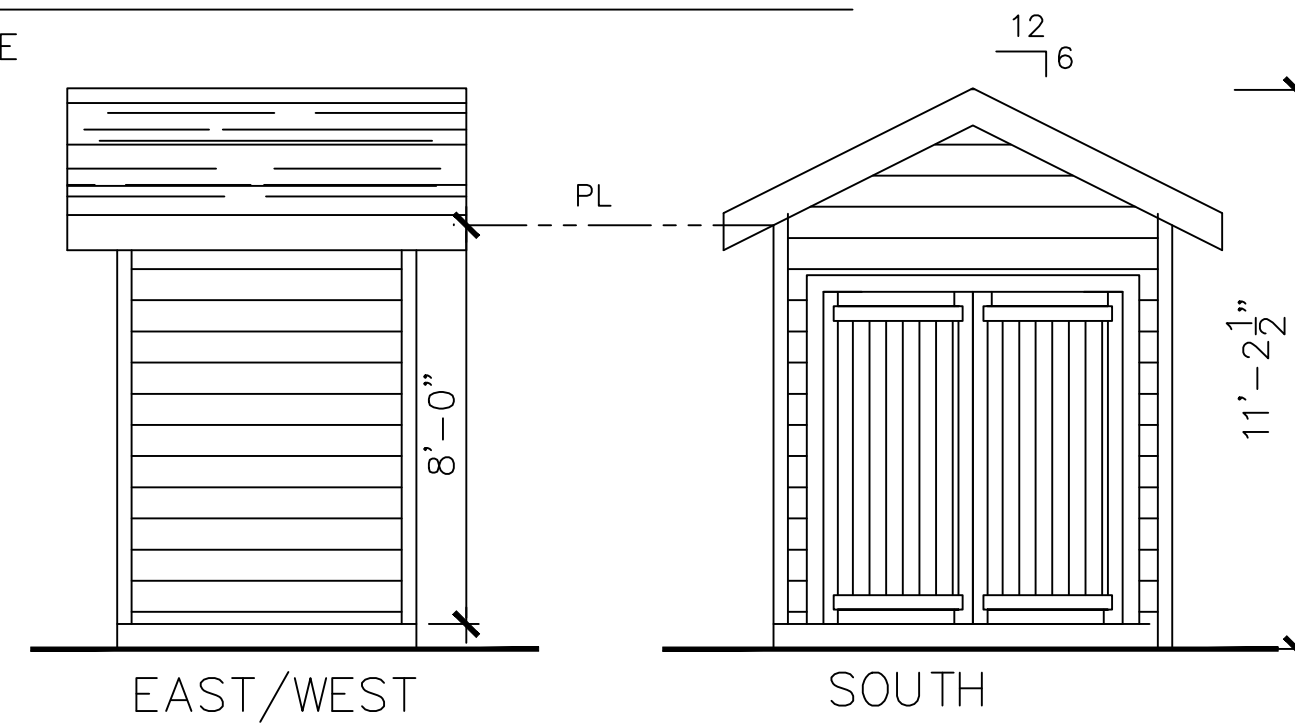
NEW RESIDENCE & OUTBUILDINGS

for MARCIA TRIMBLE
44900 UKIAH ST, MENDOCINO, CA
AP# 119-150-34



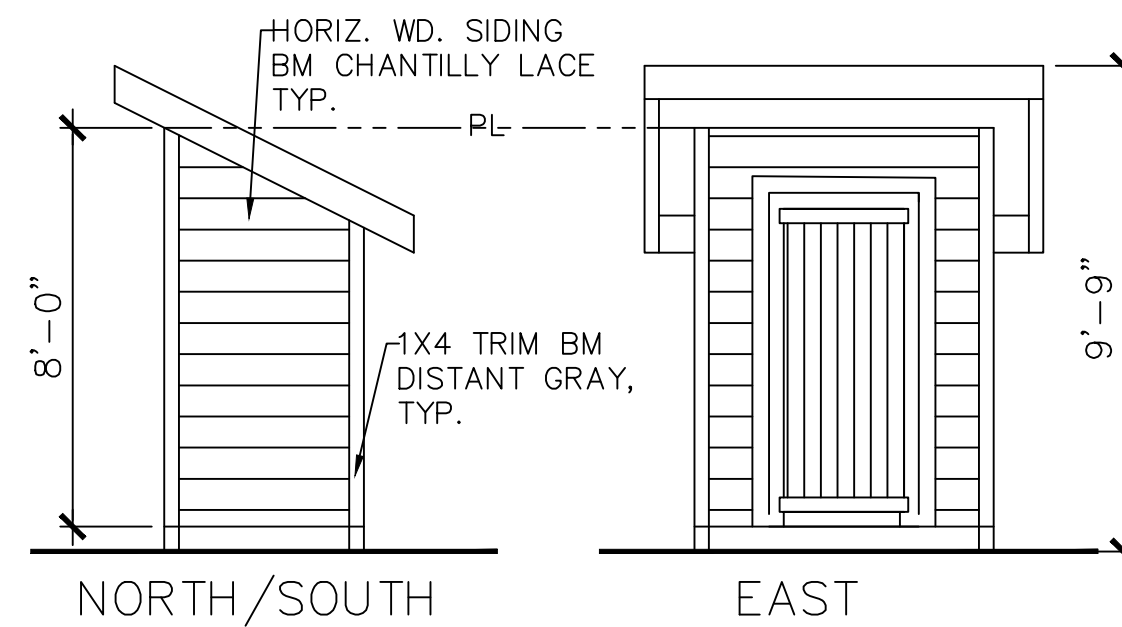
VICINITY / LOCATION PLAN

NOT TO SCALE



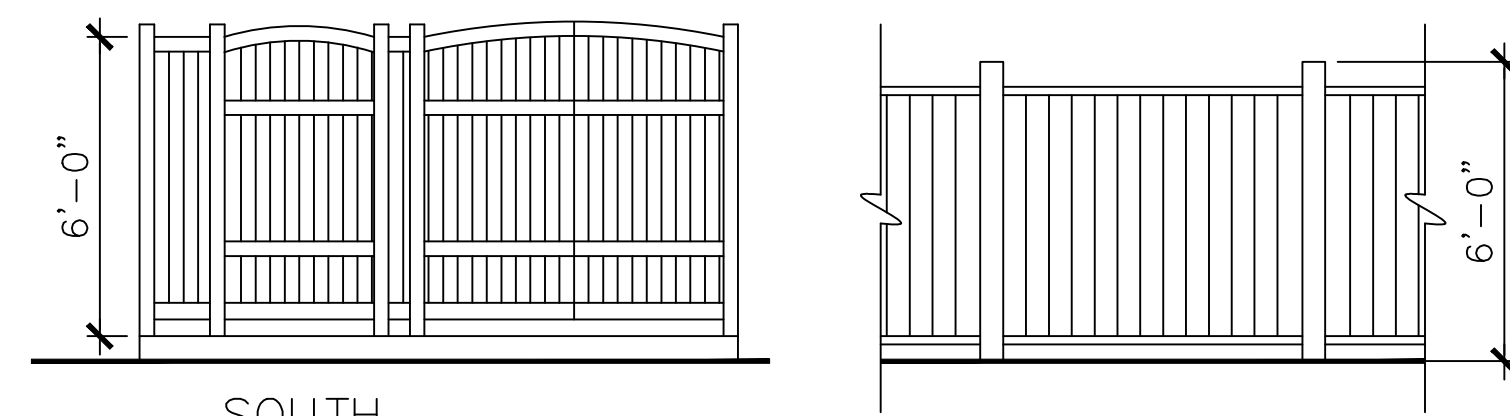
BIKE SHED

SCALE: 1/4" = 1'-0"



PUMP/BATTERY SHEDS

SCALE: 1/4" = 1'-0"

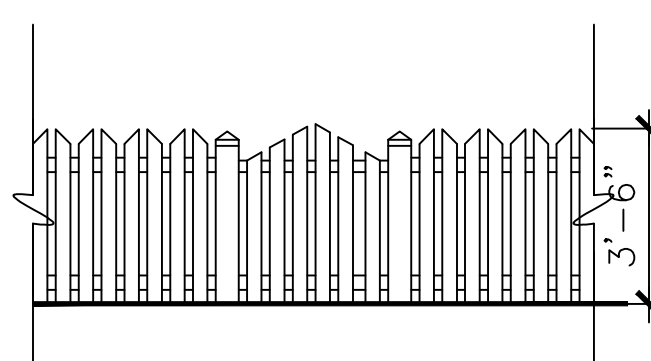


PROPANE/GENER. ENCLOSURE

SCALE: 1/4" = 1'-0"

WATER TANK ENCLOSURE

SCALE: 1/4" = 1'-0"



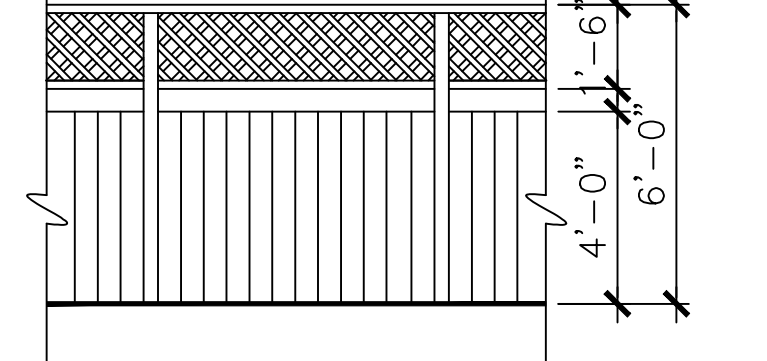
PICKET FENCE & GATE

SCALE: 1/4" = 1'-0"

NOTE: ① ALL FENCES PAINTED BM 'CHANTILLY LACE'

② SEE SHEET A2.2 FOR EXTERIOR FINISH & LIGHTING SCHEDULE & DETAILS

③ ALL OUTBUILDINGS PAINTED WOOD TO MATCH HOUSE

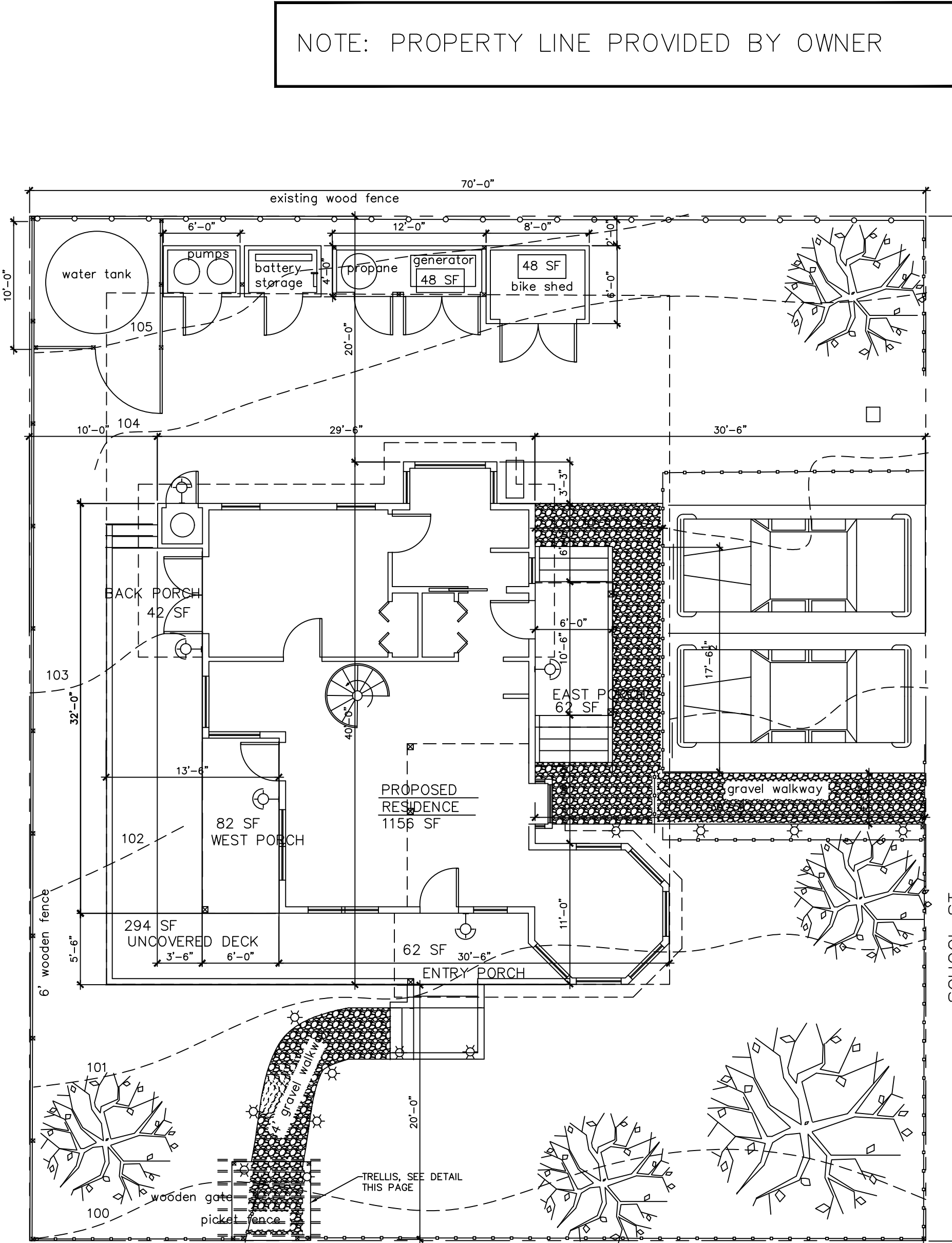


WOODEN FENCE

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- PATH LIGHT
- CLG. MOUNTED FIXTURE
- SHIELDED, WALL MOUNTED, EXTER.



NOTE: PROPERTY LINE PROVIDED BY OWNER



PLOT PLAN

SCALE: 1/8" = 1'-0"

INDEX OF DRAWINGS

ARCHITECTURAL	
A1.0	PROJECT INFORMATION, LOCATION MAP ROOF PLAN
A2.1	PROPOSED MAIN FLOOR PLAN
A2.2	PROPOSED ROOF PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:

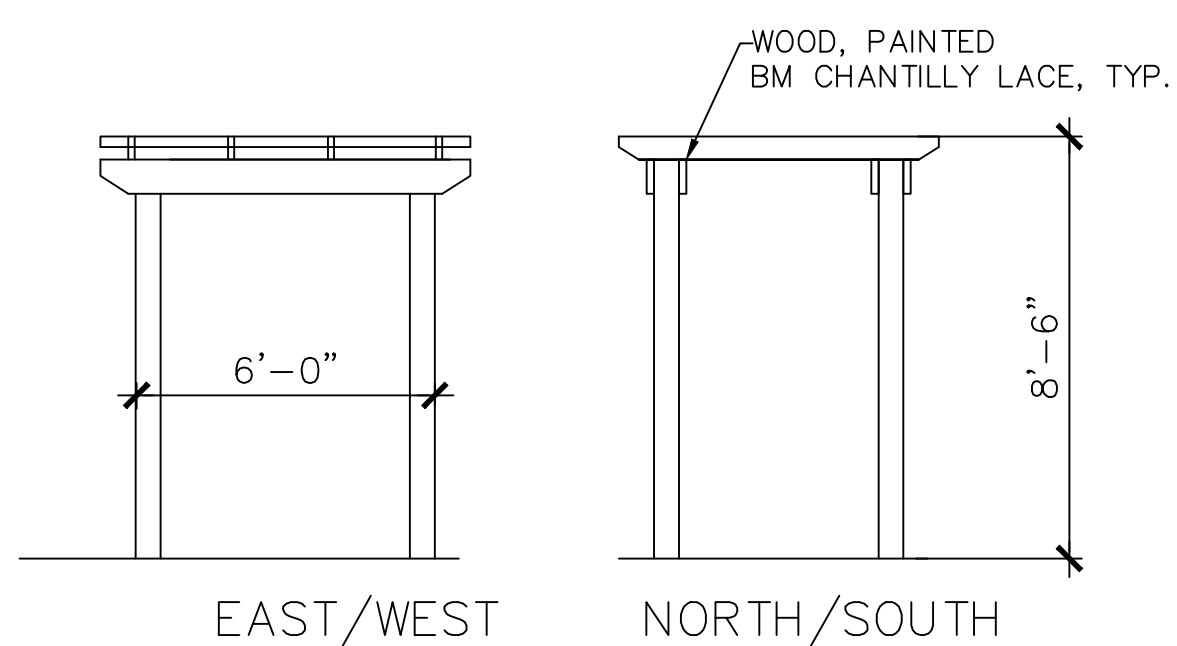
NEW SINGLE FAMILY RESIDENCE, 2 OFF STREET PARKING SPACES, BIKE SHED, PUMP SHED, UTILITY ENCLOSURE & FENCING

AREA CALCULATIONS

LOT SIZE:	5,600 SF
PROPOSED BUILDING	
PROPOSED LIVING	
FIRST FLOOR	888 SF
LOFT	268 SF
TOTAL	1156 SF
PROPOSED DECK & PORCHES	
ENTRY/WEST/BACK DECKS	294 SF+ (186 SF COVERED)
EAST DECK	(62 SF COVERED)
BALCONY	120 SF
OBSERVATION DECK	48 SF
(TOTAL COVERED PORCH AREA...)	216 SF
TOTAL UNCOVERED DECK	462 SF
PROPOSED ACCESSORY	
BIKE SHED	48 SF
PUMP/BATTERY STORAGE SHEDS	48 SF
UTILITY ENCLOSURE	48 SF
WATER TANK ENCLOSURE	100 SF
TOTAL	96 SF (COVERED) 148 SF (UNCOVERED)
TOTAL PROPOSED LOT COVERAGE	1232 SF
TOTAL AREA OF ALL STRUCTURES	2078 SF

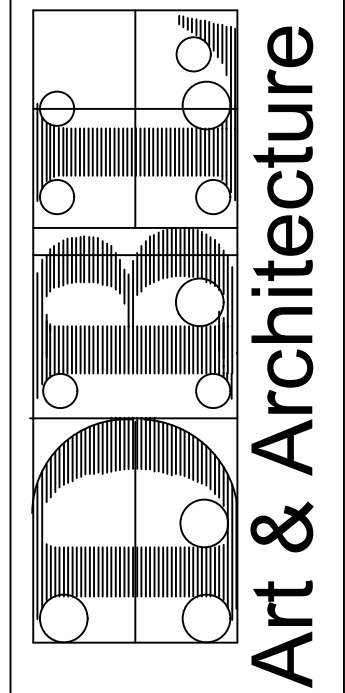
SITE AND BUILDING NOTES:

ZONING: MENDOCINO TOWN RESIDENTIAL HISTORICAL DISTRICT A
CONSTRUCTION GROUP:
BUILDING MATERIALS:
EXTERIOR MATERIALS: WOOD SIDING
ROOFING: COMP SHINGLES
WINDOWS & DOORS: WOOD



TRELLIS

SCALE: 1/4" = 1'-0"



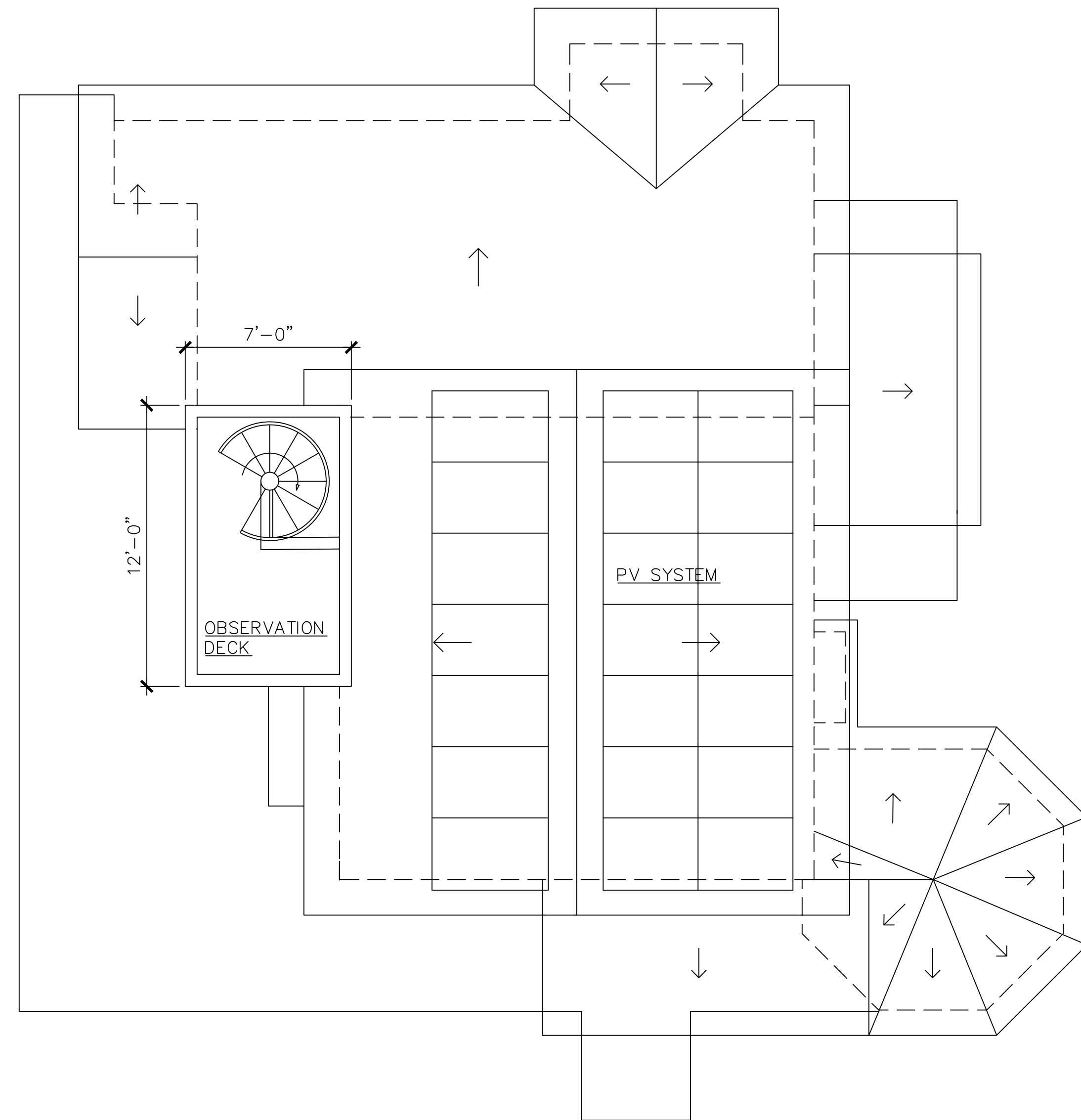
Debra Lennox, AIA
LEED AP ARCHITECT
Mendocino, CA 95460
PO Box 798
707-937-0770
dblennox@mcn.org/www.dblennox.com

REVISION	BY

PROJECT INFO & PLOT PLAN
NEW RESIDENCE
TRIMBLE
MENDOCINO, CA

SCALE: 1/4" = 1'-0"
DATE: 2.16.2022
DRAWN: LR
FILE: TRIMBLE A1

SHEET
A1.0
OF SHEETS



ROOF PLAN
 NORTH SCALE: 1/4" = 1'-0"



EXTERIOR SPIRAL STAIR

NTS
 NOTE: 'PARAGON STANISLAUS' SPIRAL STAIR- WHITE POWDER COATED STAINLESS STEEL W/ WOOD TREADS & HANDRAIL, STAINLESS STEEL VERTICAL BALUSTERS OR EQUIV.



PATHLIGHT

NTS

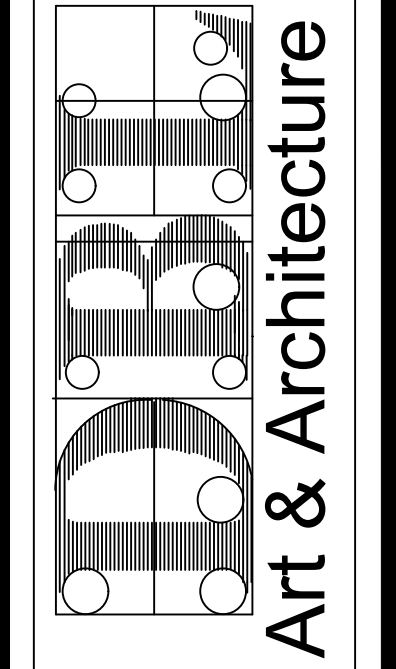


WALL SCONCE

NTS

EXTERIOR FINISH & LIGHTING SCHEDULE					
PORTION OF PROJECT & ELEVATION	FINISHES				REMARKS
	SIDING TYPE & 'COLOR'	CORNER TRIM SIZE & 'COLOR'	WIND.. TRIM SIZE & 'COLOR'	DOOR TRIM SIZE & 'COLOR'	
HOUSE -EAST	WOOD 'GHANTILLY LACE'	1 X 6 WOOD 'DISTANT GRAY'	1 X 4 WOOD 'DISTANT GRAY'	1 X 4 WOOD 'DISTANT GRAY'	HORIZONTAL
HOUSE -WEST	"	"	"	"	"
HOUSE -NORTH	"	"	"	"	"
HOUSE -SOUTH	"	"	"	"	"
GABLE ENDS					VERTICAL

NOTES:
 1. ALL SHEDS TO MATCH HOUSE COLORS
 2. ALL COLORS BENJAMIN MOORE OR EQUIV.
 3. WALL SCONCE LIGHTING TO BE 'DANBURY MODERN INDUSTRIAL' LED, GALV. STEEL MATTE FINISH, DARK SKY COMPLIANT 4.5"W X 6"H X 7"D
 4. PATHLIGHTING 'VERDE GREEN' LED HAT 8.25"~ X 29" HIGH



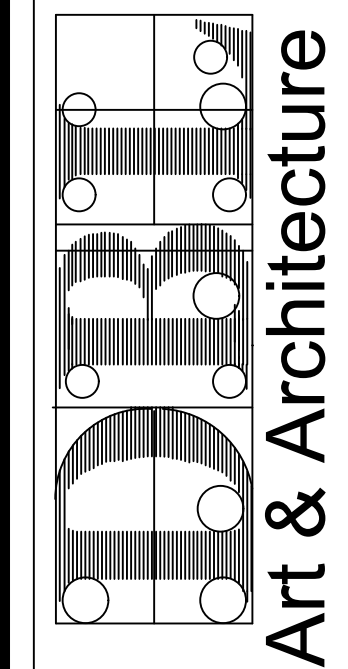
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ROOF PLAN W/ DECK, LIGHTING & COLOR DETAILS
 NEW RESIDENCE
 TRIMBLE
 MENDOCINO, CA

SCALE: 1/4" = 1'-0"
 DATE: 11.18.2022
 DRAWN: LR
 FILE: TRIMBLE A2-A3

SHEET
A2.2
 OF SHEETS



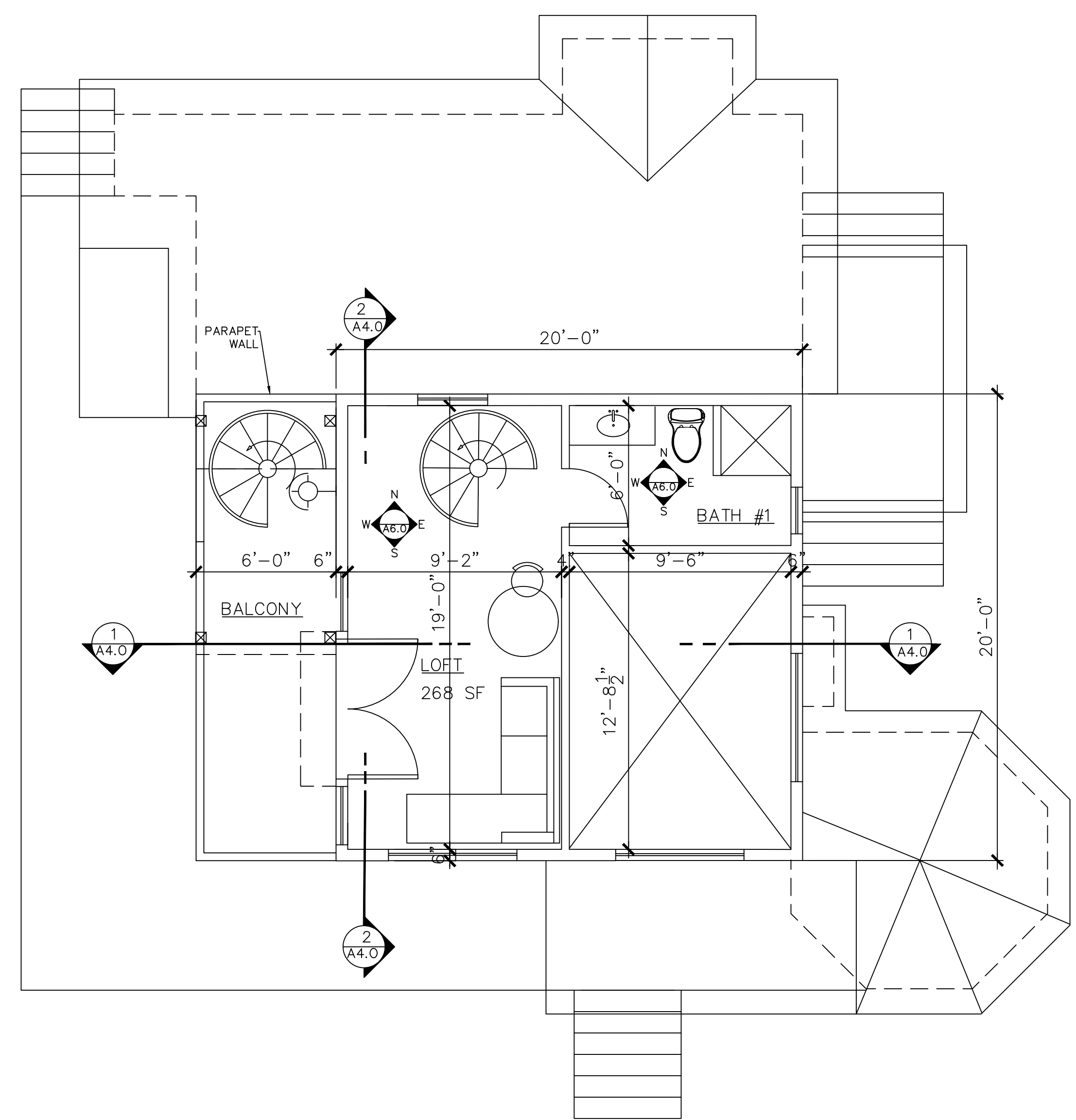
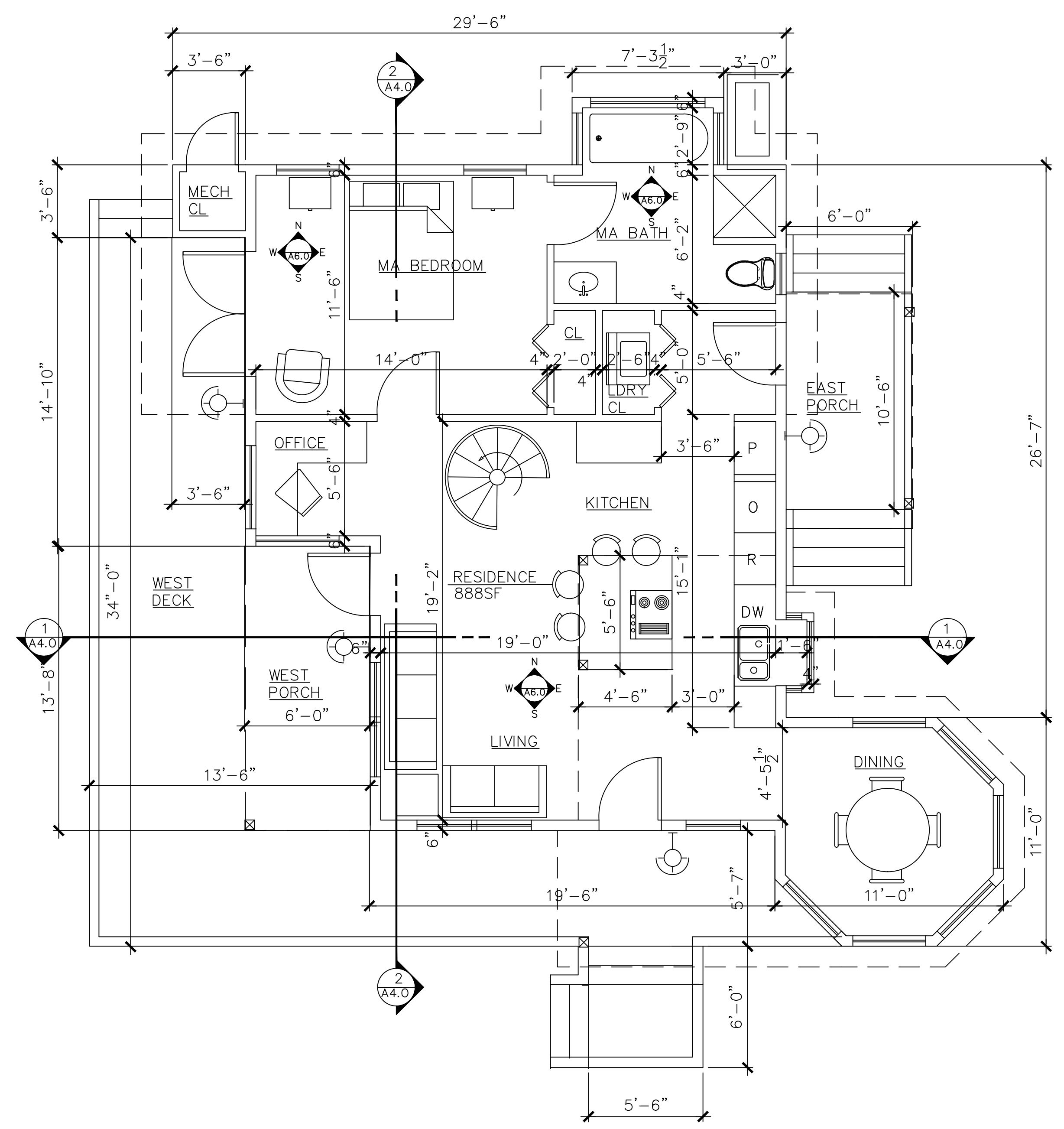
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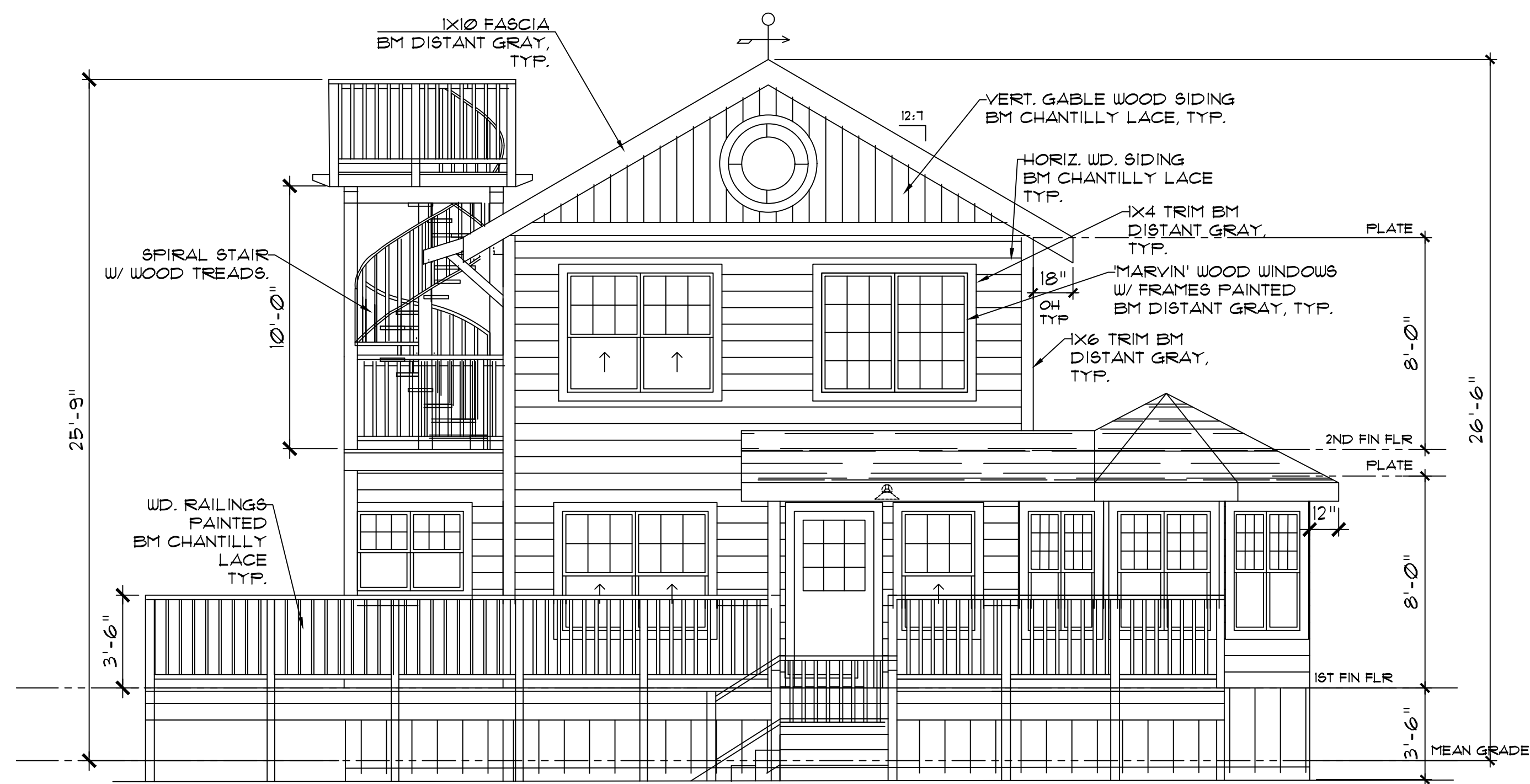
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PLAN 1 FLOOR PLANS
NEW RESIDENCE
 TRIMBLE
 MENDOCINO, CA

SCALE: 1/4" = 1'-0"
 DATE: 11.18.2022
 DRAWN: LR
 FILE: TRIMBLE A2-A3

SHEET
A2.1
 OF SHEETS





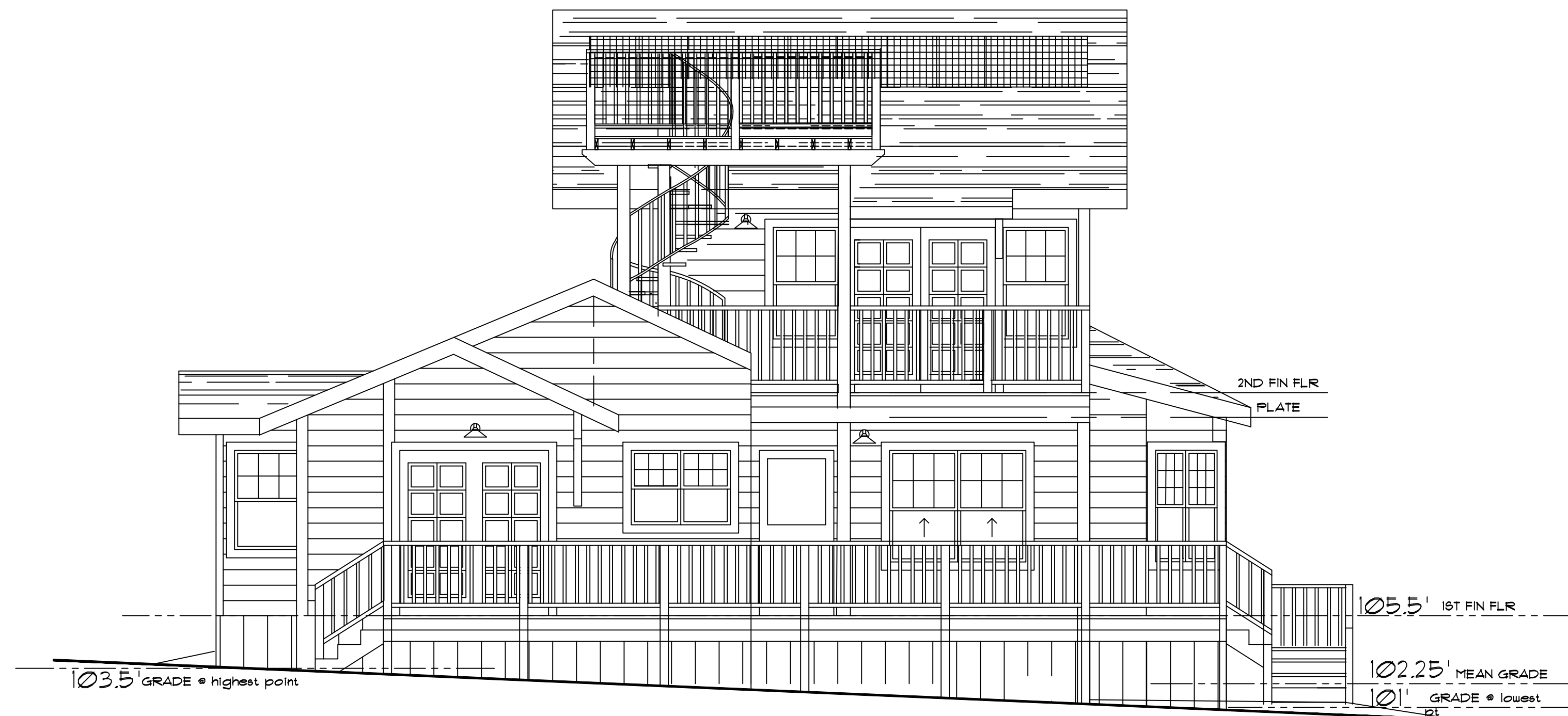
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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① SOUTHWEST CORNER
SCALE: NTS



② SOUTHEAST CORNER
SCALE: NTS



③ NORTHEAST CORNER
SCALE: NTS



④ NORTHWEST CORNER
SCALE: NTS

PRELIMINARY

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