



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES
860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

JULIA KROG, DIRECTOR
Telephone 707-234-6650
FAX 707-463-5709
FB PHONE: 707-964-5379
FB FAX: 707-961-2427
pbs@mendocinocounty.org
www.mendocinocounty.org/pbs

November 21, 2022

PUBLIC NOTICE OF PENDING ACTION
MENDOCINO HISTORICAL REVIEW BOARD PERMIT

The Mendocino Historical Review Board, at a special meeting to be held on Monday, December 5, 2022 at 2:00 p.m. or as soon thereafter as the item may be heard, will conduct a public hearing on the following project(s) at the time listed or as soon thereafter as the item may be heard. This meeting will be conducted virtually and not available for in person public participation in an effort to slow the spread of COVID-19 and pursuant to the recommendation of the Mendocino County Health Officer and the California Department of Industrial Relations. In order to minimize the risk of exposure during this time of emergency, the public may participate digitally in meetings by sending comments to pbscommissions@mendocinocounty.org or via Telecomment. The telecomment form may be found at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas>, and is available for viewing on the Mendocino County YouTube page, at <https://www.youtube.com/MendocinoCountyVideo>.

CASE#: MHRB_2022-0008

DATE FILED: 9/9/2022

OWNER/APPLICANT: MAIN STREET MENDO LLC

AGENT: KELLY GRIMES

REQUEST: Request for a Mendocino Historical Review Board Permit to replace a water tower staircase with a new enclosed staircase structure, reroute an existing wooden pathway, and construct a wooden ramp for access to an existing raised deck. Note: The site is listed as a category IVb non-historic resource in Appendix 1 of the Mendocino Town Plan ("deli and restaurant").

ENVIRONMENTAL DETERMINATION: Categorically Exempt

LOCATION: 45040 Main Street, Mendocino; APN: 119-238-10.

SUPERVISORIAL DISTRICT: 5 (Williams)

STAFF PLANNER: LIAM CROWLEY

The staff report and notice will be available 10 days before hearing on the Department of Planning and Building Services website at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>.

As you are an adjacent property owner and/or interested party, your comments are invited. Written comments should be submitted by mail to the Department of Planning and Building Services Commission Staff, at 860 North Bush Street, Ukiah, or 120 West Fir Street, Fort Bragg, California. In order to minimize the risk of exposure during this time of emergency, the public may participate digitally in meetings by sending comments to pbscommissions@mendocinocounty.org by December 4, 2022 or orally via telecomment in lieu of personal attendance. All correspondence should contain reference to the above noted case number. All public comment will be made available to the Board, staff, and the general public as they are received and processed by staff, and can be viewed as attachments to this meeting agenda at <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>.

The decision of the Mendocino Historical Review Board shall be final unless a written appeal is submitted to the Board of Supervisors with a filing fee within 10 calendar days thereafter. If appealed, the decision of the Board of Supervisors to approve the project shall be final. If you would like to be notified of the Mendocino Historical Review Board action, please submit a written request to this office.

If you challenge the above case in court, you may be limited to raising only those issues described in this notice or that you or someone else raised at the public hearing, or in written correspondence delivered to

the Mendocino Historical Review Board Secretary at or prior to, the public hearing.

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE. Mendocino County complies with ADA requirements and upon request, will attempt to reasonably accommodate individuals with disabilities by making meeting material available in appropriate alternate formats (pursuant to Government Code Section 54953.2). Anyone requiring reasonable accommodation to participate in the meeting should contact the Department of Planning and Building Services by calling (707) 234-6650 or (707) 964-5379 at least five days prior to the meeting.

Additional information regarding the above noted case may be obtained by calling the Planning and Building Services Department at (707)-964-5379, Monday through Friday.

JULIA KROG, Director of Planning and Building Services



**MENDOCINO HISTORICAL REVIEW BOARD
STAFF REPORT**

**DECEMBER 5, 2022
MHRB_2022-0008**

OWNER/APPLICANT: MAIN STREET MENDO LLC
PO BOX 777
FERNDALE, CA 95536

AGENT: KELLY GRIMES
PO BOX 598
LITTLE RIVER, CA 95456

PROJECT DESCRIPTION: Request for a Mendocino Historical Review Board Permit to replace a water tower staircase with a new enclosed staircase structure, reroute an existing wooden pathway, and construct a wooden ramp for access to an existing raised deck. Note: The site is listed as a category IVb non-historic resource in Appendix 1 of the Mendocino Town Plan ("deli and restaurant").

STREET ADDRESS: 45040 Main Street, Mendocino; APN: 119-238-10.

PARCEL SIZE: 0.22± Acres

ENVIRONMENTAL DETERMINATION: Categorically Exempt

HISTORIC STRUCTURES: On Site: Category IVb "deli & restaurant, dwelling on Albion St."
North: Category I "MacCallum House" 1882/1908
South: Category I "Ford House" 1854
East: Category I "Kelley Rental" 1870s
Category I "Kelley Pond"
Category I "Kelley House" 1861
West: Category S/IIb "Site of Alhambra Hotel"

PAST MHRB PERMITS: MHRB_2016-0026 to install the Bloom sign, MHRB_2013-0016 to install several signs including the Flow sign, MHRB_2009-0023 for a propane tank and hand railings, MHRB_2009-0013 to install the Origin sign, #2005-59 for the Europa signs, #2008-39 for the Mendocino Bath Company signs, MHRB_2003-0013 to install or replace several signs, and #95-46 to install a sign.

HISTORIC ORDINANCE STANDARDS: The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing applications. Relative to this application, the following issues are raised and should be addressed:

- ✓ Building Size, Height, Proportions and Form
- ✓ Relationship of Building Masses and Open Spaces
- ✓ Relationship to Surrounding Structures
- ✓ Materials and Textures
- ✓ Architectural Details and Style
- ✓ Facade Treatment
- ✓ Proportions of Windows and Doors
- Landscaping
- ✓ Roof Shape
- ✓ Color(s)
- Sign Size
- Number of Signs
- ✓ Placement/Location
- ✓ Lighting
- ✓ Paving/Grading

APPLICABLE SECTIONS OF MHRB GUIDELINES: VII – Structural Guidelines, Building Design (pages 7-9) & Sidewalks and Driveways (page 9); VIII – Non-Structural Guidelines, Exterior Painting (page 11).

PROJECT DESCRIPTION: Per the applicant, the proposed project would:

- *Remove dilapidated water-tower staircase*
- *Construct new staircase structure, enclosed, with accessible lift (see elevations for material callouts)*
- *Reroute wooden pathway around building*
- *Construct ramp with handrails and wheel stops for access to raised deck (7" step)*

STAFF NOTES: According to the submitted plans, the proposed work would include the following features:

Proposed Feature	Material	Color
Rerouted walkway	Wood	N/A
Handrails	Aluminum mounted on redwood posts	N/A
Ramp	Wood	N/A
Stairwell siding	Hardi-panel, redwood	To match existing structure
Stairwell roof	Asphalt composite shingle to match existing structure	N/A
Stairwell fascia	Redwood	White to match existing structure
Stairwell windows	Wood frame	White to match existing structure
Stairwell double doors	Redwood or equal	White to match existing doors ¹

The proposed stairwell, including its features, materials, and colors would be in keeping with the character of the existing structure to which the stairwell would be attached. Per Mendocino County Code (MCC) Section 20.716.010(B), the proposed project is considered continuation and maintenance of a nonconforming structure, and the proposed replacement structure conforms to the Local Coastal Program (LCP). Use of the structure would not change. The proposed addition conforms to applicable development regulations of the Mendocino Commercial (MC) zoning district, including minimum yard setbacks and maximum building height.

RECOMMENDED FINDINGS: The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (A) Pursuant to MCC Section 20.760.065(A), the exterior appearance and design of the proposed stairwell, walkway, and ramp is in harmony with the exterior appearance and design of existing structures within the District and with that of the existing restaurant structure to which the stairwell would be attached; and
- (B) Pursuant to MCC Section 20.760.065(B), the appearance of the proposed stairwell, walkway, and ramp will not detract from the appearance of other property within the District; and
- (C) Pursuant to MCC Section 20.760.065(C), the proposed work will not unnecessarily damage or destroy a structure of historical, architectural, or cultural significance. The existing stairwell to be demolished and the existing structure to which the proposed stairwell would be attached are not considered to be historically, architecturally, or culturally significant per Appendix 1 of the Mendocino Town Plan.

¹ The submitted plans show "color TBD". However, correspondence with the agent clarified that the doors would be painted white to match the existing restaurant building doors (see attachment D).

RECOMMENDED CONDITIONS:

1. This action shall become final and effective on the 11th day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit have been completed prior to its expiration.
2. The application along with supplemental exhibits and related materials shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. A final judgement of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2022-0008 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2022-0008 have been satisfied.
6. Any Building Permit request shall include MHRB Permit 2022-0008 printed on the plans submitted.
7. Outdoor lighting shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend beyond the property boundaries.
8. The exterior body, trim, door, and window paint colors shall match the existing paint colors of the attached commercial structure (45040 Main Street). Composite shingles shall match the existing shingles on the roof of the attached structure.
9. New or replacement exterior building materials shall not include use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick, plastic laminated beams, concrete block or boards, stucco or asbestos shingles or panels, or plywood panels.

The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten (10) day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$2,620.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

ATTACHMENTS:

- A. Application MHRB_2022-0008
- B. Historical Information
- C. MHRB Policy Exterior Paint Colors
- D. Correspondence with Agent

**COUNTY OF MENDOCINO
DEPT. OF PLANNING & BUILDING
SERVICES**

120 WEST FIR STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379
Fax: 707-961-2427

Case No(s) MHRB-2022-0008
Date Filed 9/9/22
Fee \$ 1801.00
Receipt No. PRJ-052000
Received by Steve K.

Office Use Only

MHRB APPLICATION FORM

Name of Applicant <u>Main Street Mendo, LLC.</u>	Name of Property Owner(s) <u>Main Street Mendo, LLC</u>	Name of Agent <u>Kelly B. Grimes, Architect</u>
Mailing Address <u>P.O. Box 777 Ferndale, CA 95536</u>	Mailing Address <u>P.O. Box 777 Ferndale, CA 95536</u>	Mailing Address <u>P.O. Box 598 Little River, CA. 95456</u>
Telephone Number <u>707-442-1426</u>	Telephone Number <u>707-442-1426</u>	Telephone Number <u>707-937-2904</u>

Assessor's Parcel Number(s)
119-238-10-00

Parcel Size <u>9600</u> <input checked="" type="checkbox"/> Square Feet <input type="checkbox"/> Acres	Street Address of Project <u>45040 MAIN ST.</u>
--	--

TYPE OF DEVELOPMENT
(Check appropriate boxes)

- Demolition. Please indicate the type and extent of demolition. (see next page)
- Construction of a structure.
- Addition to a structure.
- Alteration of exterior of structure.
- Construction, installation, relocation or alteration of outdoor advertising sign.
- Outdoor lighting.
- Walkways, driveways, parking areas, and grading.
- Exterior painting of a structure.
- Other.

RECEIVED

SEP 09 2022

PLANNING & BUILDING SERV
FORT BRAGG CA

PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

1. Describe your project in detail.

- For demolition, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- For new signs, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- For new copy on existing signs, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- For exterior painting, describe existing and proposed colors. Provide paint chips for proposed colors.
- For exterior lighting, include description/detail of fixtures and indicate locations on the site plan.
- For new construction, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- For walkways, driveways, paving and grading, provide dimensions, location and materials.

- Remove delapidated water-tower staircase
- Construct new staircase structure - enclosed, with accessible lift. See elevations for material callouts
- Reroute wooden pathway around bldg.
- Construct Ramp w/ handrails & wheelstops for access to Raised deck. (7" step).

2. If the project includes new construction, please provide the following information:

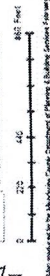
- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? 6402 sq. ft.
- What is the total floor area (internal) of all structures on the property? 7264 sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? sq. ft.

If you need more room to answer any question, please attach additional sheets

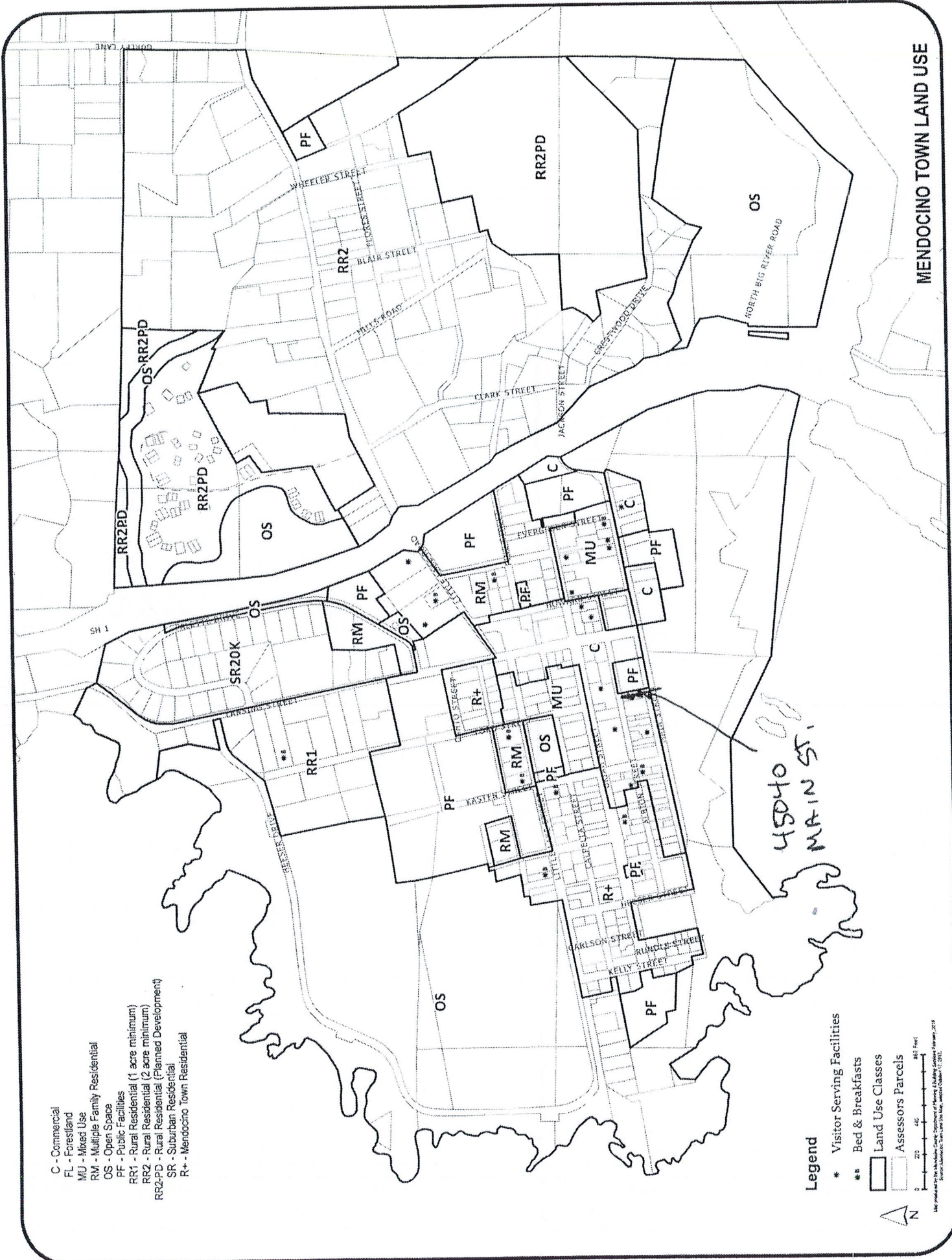
MENDOCINO TOWN LAND USE

- C - Commercial
- FL - Forestland
- MU - Mixed Use
- RM - Multiple Family Residential
- OS - Open Space
- PF - Public Facilities
- RR1 - Rural Residential (1 acre minimum)
- RR2 - Rural Residential (2 acre minimum)
- RR2-PD - Rural Residential (Planned Development)
- SR - Suburban Residential
- R+ - Mendocino Town Residential

- Legend**
- * Visitor Serving Facilities
 - ** Bed & Breakfasts
 - Land Use Classes
 - Assessors Parcels



Map produced by the Mendocino County Office of Planning and Economic Development, 2017.



A New Accessible lift and staircase for:

Main Street Mendocino, LLC
 45040 Main Street
 Mendocino, California
 95460

ABBREVIATIONS

@	AT
(E)	EXISTING
(N)	NEW
RDWD	REDWOOD
SHT	SHEET
TBD	TO BE DETERMINED
TYP	TYPICAL
W/	WITH

PROPERTY LINES SHOWN REPRESENT A 60'x160' PARCEL, BUILDING LOCATIONS ARE APPROXIMATE

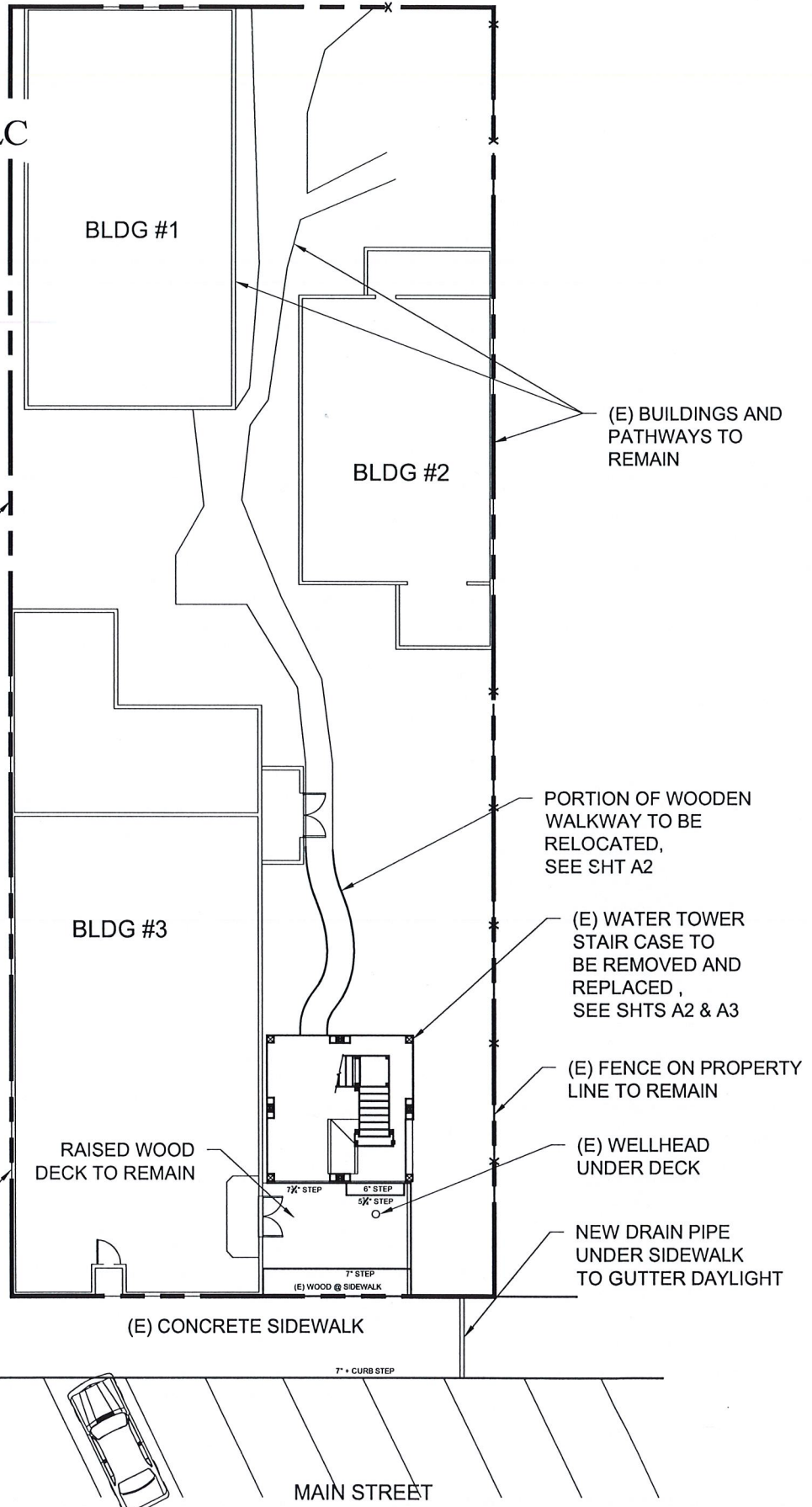
PROJECT DATA:

A-2 OCCUPANCY, ASSEMBLY
 CONSTRUCTION TYPE V-B, LIGHT WOOD FRAMED

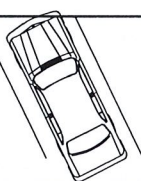
LOT SIZE 9600 SQFT

LOT COVERAGE

BLDG #1	1328 SQ. FT.
BLDG #2	1062 SQ. FT.
BLDG #3	2437 SQ. FT.
WATERTOWER	325 SQ. FT.
(NEW STAIRS	277 SQ. FT.)
WOOD DECKS & PATHS	1250+ SQ.FT.
(E) TOTAL	6402 SQ. FT.
(N) TOTAL	6354 SQ. FT.



(E) SITE PLAN
 SCALE: 1" = 20'-0"



MAIN STREET

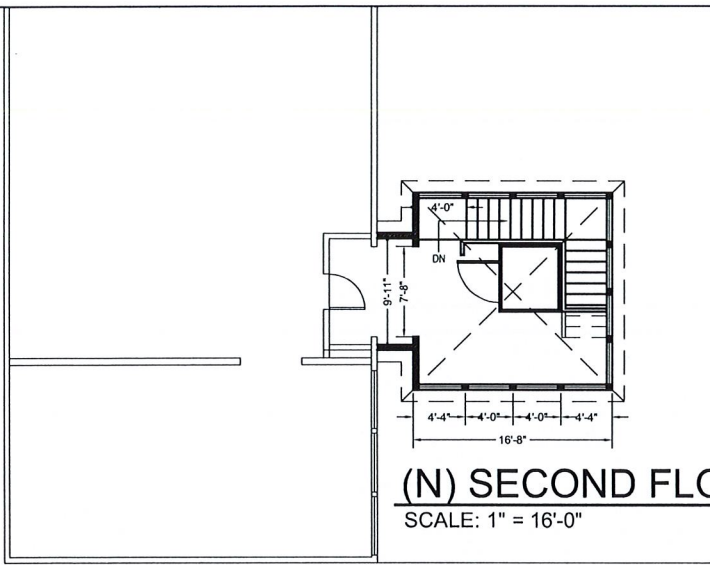
NEW ACCESSIBLE LIFT AND STAIRS FOR:
MAIN STREET MENDO, LLC
 45040 MAIN STREET
 MENDOCINO, CA 95460

A.P. # 119-238-10-00

NOTES:
 SHEET NAME: **SITE PLAN**

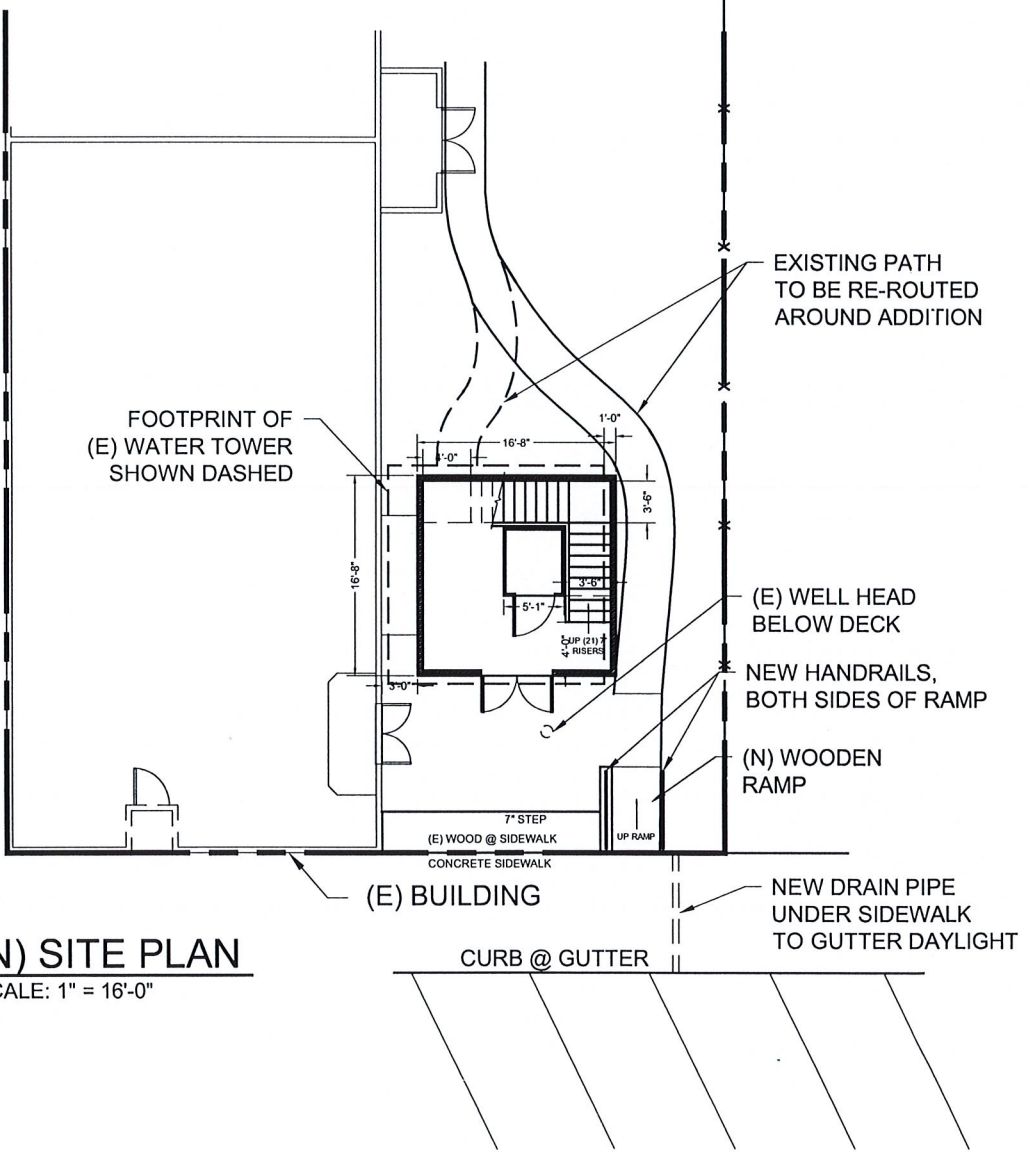
DATE: **SEPTEMBER 6, 2022**
 SCALE: **AS NOTED**
 DRAWN BY: **KBQ**
 JOB: **STEELE-WATERTOWER**
 SHEET NO: **A1** OF -

Kelly B. Grimes, Architect
 P.O. Box 598
 Little River, CA 95456
 707-937-2904



(N) SECOND FLOOR PLAN

SCALE: 1" = 16'-0"



(N) SITE PLAN

SCALE: 1" = 16'-0"



NEW ACCESSIBLE LIFT AND STAIRS FOR:
MAIN STREET MENDO, LLC
 45040 MAIN STREET
 MENDOCINO, CA 95460

A.P. # 119-238-10-00

NOTES

SHEET NAME:

(N) FLOOR PLANS

DATE: SEPTEMBER 8, 2022

SCALE: AS NOTED

DRAWN BY: KBG

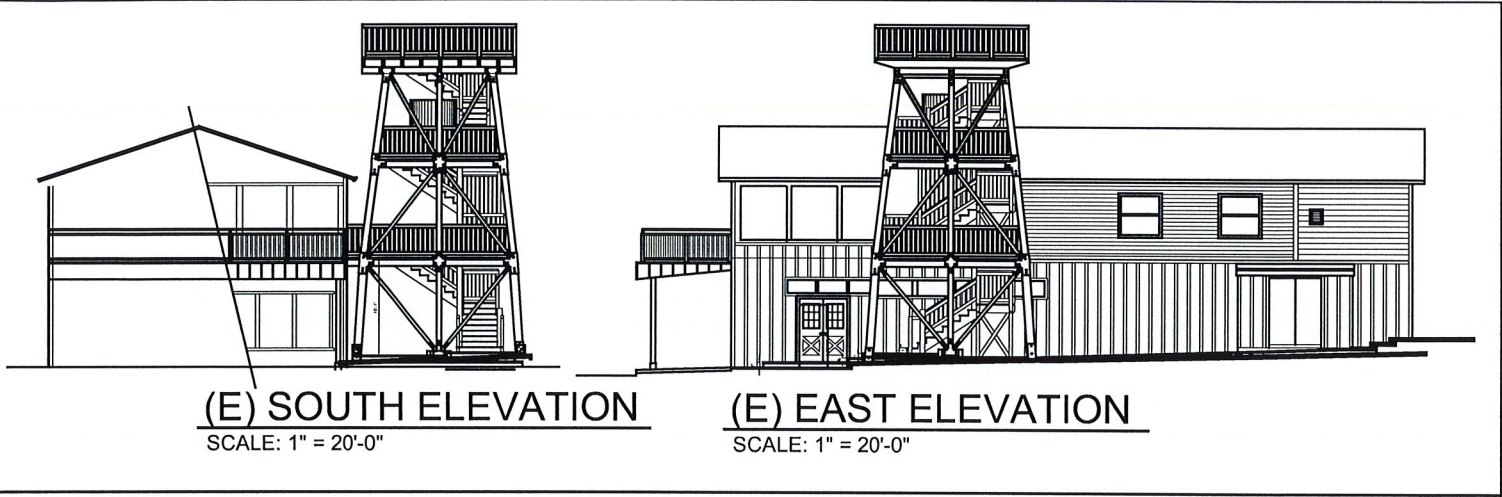
JOB: STEELE-WATERTOWER

SHEET NO:

A2 OF -

Kelly B. Grimes, Architect
 P.O. Box 598
 Little River, CA 95456
 707-937-2904

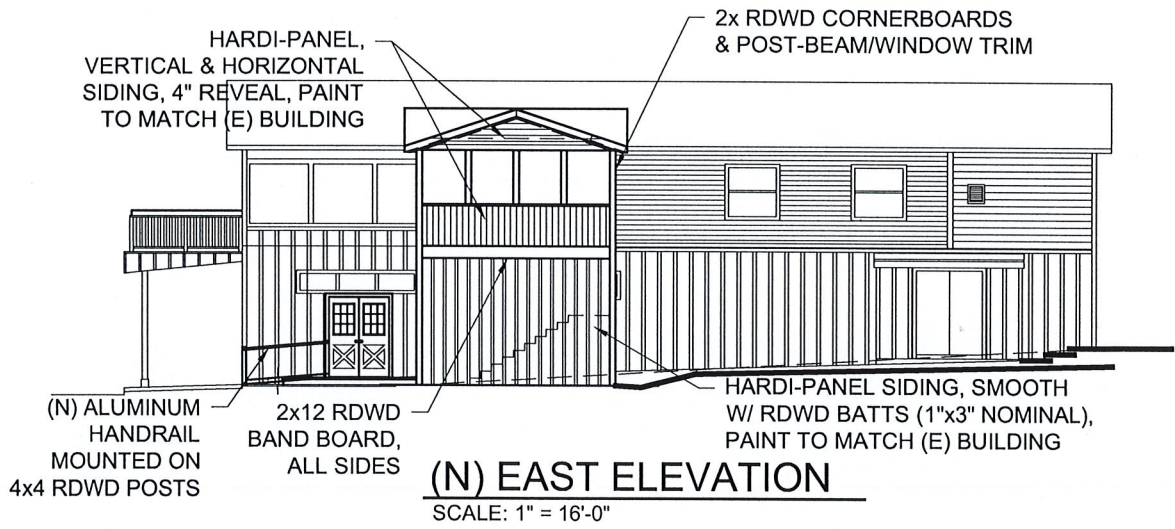




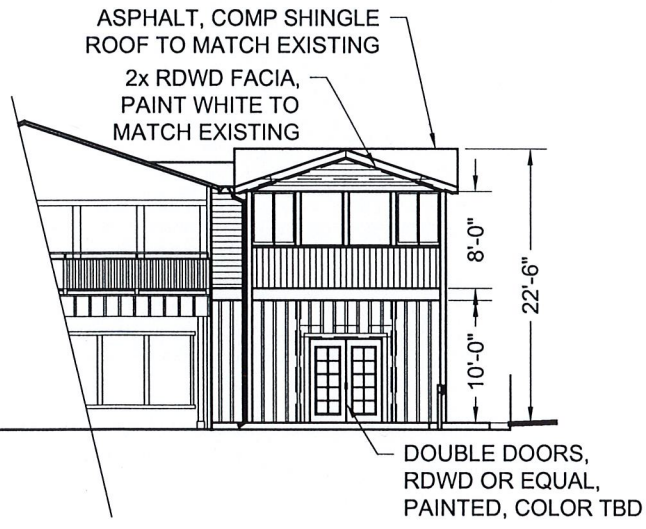
(E) SOUTH ELEVATION
SCALE: 1" = 20'-0"

(E) EAST ELEVATION
SCALE: 1" = 20'-0"

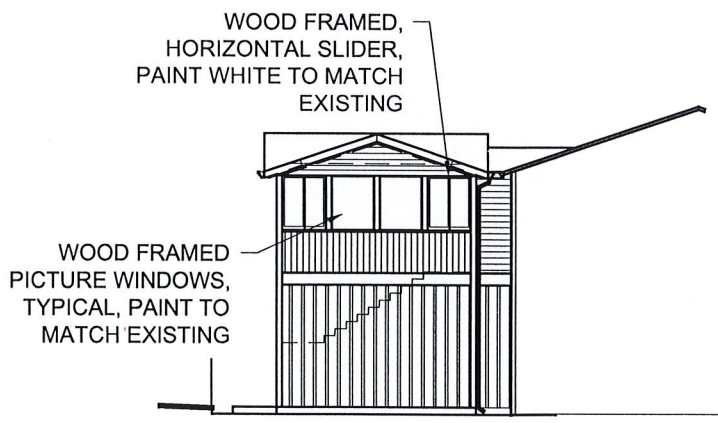
PROPOSED ELEVATIONS



(N) EAST ELEVATION
SCALE: 1" = 16'-0"



(N) SOUTH ELEVATION
SCALE: 1" = 16'-0"



(N) NORTH ELEVATION
SCALE: 1" = 16'-0"

NEW ACCESSIBLE LIFT AND STAIRS FOR:
MAIN STREET MENDO, LLC
45040 MAIN STREET
MENDOCINO, CA 95460

A.P. # 119-238-10-00

NOTES

**EXTERIOR ELEVATIONS
EXISTING AND NEW**

DATE: SEPTEMBER 6, 2022
SCALE: AS NOTED
DRAWN BY: KBG
JOB: STEELE-WATERTOWER
SHEET NO: A3 OF "

Kelly B. Grimes, Architect
P.O. Box 598
Little River, CA 95456
707-937-2904



119-238-10 page two

4/26/1913, A. Salles has opened a barbershop in John Burbeck's building next to the Alhambra Hotel.

3/22/1941 The Jansen house is being fitted up in elegant style by H. B. Seavey. He has rented the jansen house adjoining the Alhambra Hotel and will add it to his hotel for sleeping apartments.

3/23/1912, Beacon, Wm. Heisel has purchased the Murray property on Main Street from heirs of the estate and has carpenters at work putting a new foundation under it and shingling it.

4/20/1912, Beacon, Wm. Heisel is advertising clothing house and suits made to order in the former Murray building, north side of Main Street, east of the Alhambra Hotel.

2/22/1913, Joe Heisel has reopened the shoe store of the late Wm. Heisel and has employed a first class shoemaker to make repairs.

Beacon, April 15, 1933, Joe Heisel found dead in his shoestore. Joe was a brother of Wm. Heisel.

1/25/1941, Dr. G. T. Barcklow will open his new office just east of Dr. Whited's dental office on Main Street in Mendocino on Feb. 6, 1941.

10/8/1941, Don Fenn is making progress in the wrecking of the old Heisel store on Main Street which he plans to replace with a smaller, more modern building which he will use as a barbershop. (Fenn's barbershop for several years was located in the Kelly Store building on the corner of Lansing & Main Streets).

1947, Homer & Lillian Drinkwater purchased this property from Edith B. Dixon and will open a cash and carry grocery store. (Homer & Lil did not encourage charge accounts).

Nov. 29, 1947 **NEW STORE BUILDING**, Large plate glass windows are being installed in the new store building going up for Homer Drinkwater on Main Street. (Homer & Lil had their store downstairs and their living quarters upstairs).

The Drinkwater's retired about 1972-73.

I believe the property then passed into the hands of Barry Cusick and Jim Coupe.

In 1975, Sandra Nelson/Burton Parsons had a sign app'd "The Deli", which operated downstairs, the upstairs was "Edmeades Vineyard Tasting Room". Drinkwater's sold the property o Jim Coupe in 1975.

MHRB: 12/1/1975, Brenda and Jim Coupe to reconstruct the old Mendosa water tower appl'd for dismantling on 11/3/1975, on the Deli property to also serve as second

Con't

119-238-10, page three

story entrance on the east side of existing Deli building, app'd. 12/1/1975, Jim Coupe given permission to renovate the old Homer's market building.

5/3/1976, Eleanor Edwards for Jim Coupe, remodel roof. App'd, Beacon, 7/15/1976, the front portion of the upstairs had been used as a solarium by Homer Drinkwater and had a shed roof... the remodeling consisted of taking it off and extending the gable roof that covered the back part of the building to the front.

5/26/1976, the floor of the observation deck atop the water tower at the Deli was completed last Friday.

In July 1976, the old Mendosa water tower was in place at the Deli, with a new redwood tank recently installed. The second level will lead into a proposed wine tasting shop above the Deli.

12/6/1976, MHRB: sign on water tower: "Mendocino Wine Guild; Winery tasting Room", app'd.

12/24/1992, a new foundation was put under the water tank tower.. 12 years ago, Barry Cusick used 21 yards of concrete but the redwood underpinning had rotted .. This time Terry Casey and crew used 21 yards of concrete.

COTTAGE ON ALBION STREET. There's another building on the Albion Street side of this lot, that may have been the one John Burbeck moved to the back of the lot. 11/1/1976, Jim Coupe, add loft and new roof, plus 528 sq ft addition. Jim Coupe and family lived in this cottage for several years.

#25a Medina Bldg
1870's 4504 Albion St.
Maid



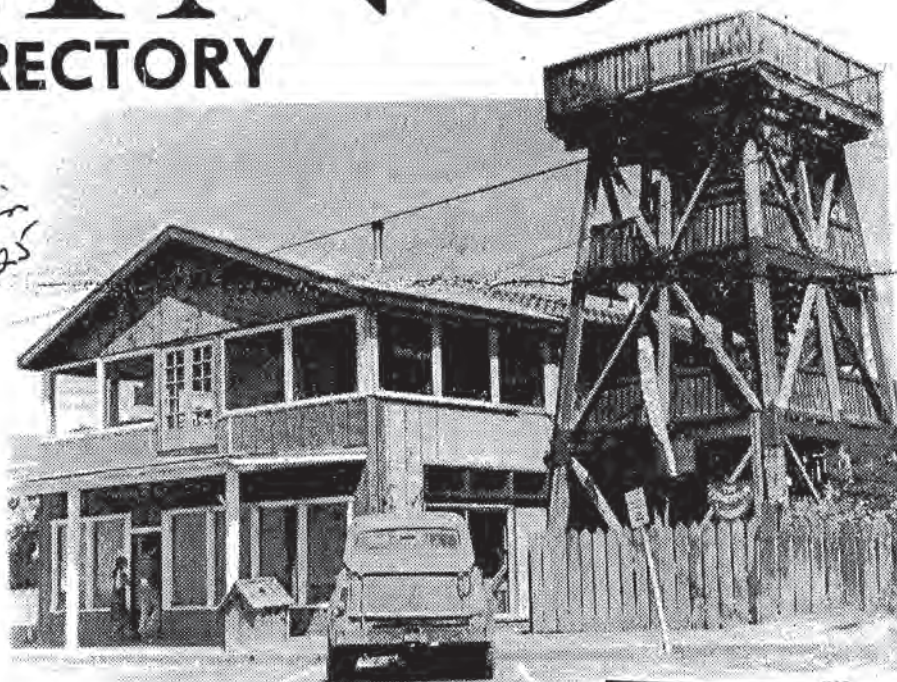


MENDOCINO

SERVICE DIRECTORY

119-438-10
45040 Main
21142 #25
The Deli
Main Street
Mendocino

7-21-1977



Episcopal Church

ARCHITECTURAL DATA FORM

STATE CALIFORNIA	COUNTY MENDOCINO	TOWN OR VICINITY MENDOCINO
HISTORIC NAME OF STRUCTURE (INCLUDE SOURCE FOR NAME) Kelly Pond Cottages (local knowledge)		HABS NO.
SECONDARY OR COMMON NAMES OF STRUCTURE Medina Building		
COMPLETE ADDRESS (DESCRIBE LOCATION FOR RURAL SITES) 45040 Main Street, Mendocino, Calif. 95460 119-238-10		
DATE OF CONSTRUCTION (INCLUDE SOURCE) 1881 (Mendocino Beacon, 8/13/1881)	ARCHITECT(S) (INCLUDE SOURCE) unknown, build er was Wm. Host, carp	
SIGNIFICANCE (ARCHITECTURAL AND HISTORICAL, INCLUDE ORIGINAL USE OF STRUCTURE) Two cottages were built by Wm. H. Kelly, early settler of Mendocino He came here in 1852, died 1895. Owned all land west of Lansing St. north of Main St. bounded by ocean (bought from Kasten).		
STYLE (IF APPROPRIATE) Shingle style cottage		
MATERIAL OF CONSTRUCTION (INCLUDE STRUCTURAL SYSTEMS) Redwood		
SHAPE AND DIMENSIONS OF STRUCTURE (SKETCHED FLOOR PLANS ON SEPARATE PAGES ARE ACCEPTABLE) originally 24 x 16, single story		
EXTERIOR FEATURES OF NOTE		
INTERIOR FEATURES OF NOTE (DESCRIBE FLOOR PLANS, IF NOT SKETCHED)		
MAJOR ALTERATIONS AND ADDITIONS WITH DATES Rebuilt in early 1980's, Siding and Roof materials replaced with same kind as original. new footings. Shed on north elevation was not built at same time as original cottage.		
PRESENT CONDITION AND USE Rental shops - T shirts and bicycle shop		
OTHER INFORMATION AS APPROPRIATE Surveyed for State Office of Historic Preservation - 1987 In Mendocino Historic Preservation District, on National Register		
SOURCES OF INFORMATION (INCLUDING LISTING ON NATIONAL REGISTER, STATE REGISTERS, ETC.) Mendocino Historical Research, Inc. Kelly grandchildren, Wm. R. Spencer, Mendocino Beacon issue 8/13/1881		
COMPILER, AFFILIATION Eleanor F. Sverko, for County of Mendocino	DATE 9/21/1987	

HISTORIC RESOURCES INVENTORY

HABS _____	HAER _____	NR _____	SHL _____	Loc _____
UTM: A _____	B _____		C _____	
C _____	D _____		Ser. No. _____	

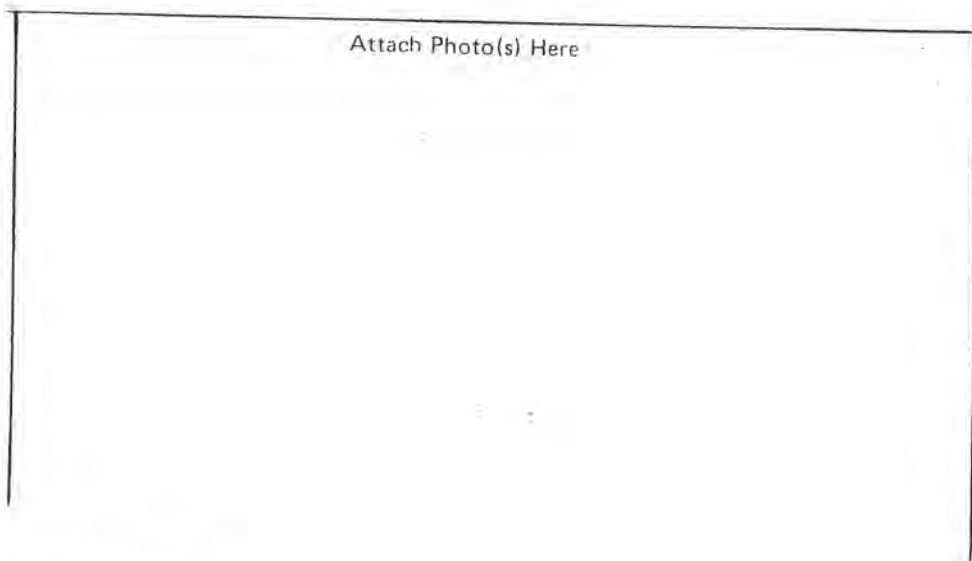
IDENTIFICATION

1. Common name: Medina Building
2. Historic name: Kelly Pond Cottages
3. Street or rural address: 45040 Main Street
City Mendocino Zip 95460 County Mendocino
4. Parcel number: 119-238-10 MHR # 25a
5. Present Owner: Robt L/ Lois Jean Raymond Address: P. O. Box 628
City Littleriver Zip 95456 Ownership is: Public _____ Private X
6. Present Use: T-Shirt/Bicycle Shop Original use: Rental housing

DESCRIPTION

- 7a. Architectural style: Shingle style cottage
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

Rebuilt in the early 1980's .. Siding and roof materials were replaced with new materials of the same kind as original... New footings. There is a shed on the north elevation that was not built at the same time as the cottages.



8. Construction date:
Estimated _____ Factual 1881
9. Architect _____
10. Builder W. H. Kelly
by Wm. Host, carpenter
11. Approx. property size (in feet)
Frontage 60 Depth 160
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
July, 1987



#25a Medina Bldg
1 0's 45040 Albion St.
Main

10

11

12

13



7/8/1876, Bk 14, Pg 40, SW 25x80' of 119-238-10, ~~Kelley-house-lot~~
W. H. Kelly & wife to Frederick Estel, \$450.00 gold coin, rec'd ??

POB: N line of Main Street, Lot #12, Blk 1, SE corner, (Lot #12, on Heeser Map, 1868,
is 119-238-10).

Then N on east boundary, 80'

Then East 25', Then South 80', Then West 25' to POB.

Note: 10/27/1881, Bk 26, pg 114, Fred Estel sold to Mrs. Elliott, \$450.00
And Mrs. Elliott moved her millinery to the property.

W H Kelly
and Wife
to
Fred Estel

This Indenture made this eighth day of July A.D. one thousand eight hundred and seven by and for William H Kelly and his wife Eliza L Kelly of Mendocino County and State of California of the first part and Frederick Estel of said County and State of the second part Witnesseth that the said parties of the first part for and in consideration of the sum of four hundred and fifty dollars in gold coin of the United States to them paid by said party of the second part the receipt whereof is hereby acknowledged have given granted bargain sold and conveyed and by these presents do give grant bargain sell convey and confirm unto the said party of the second part his heirs and assigns forever all that certain piece or parcel of land lying being and situated in the village or town of Mendocino, north of the Bay at the mouth of Big River in said County and State which is bounded and described as follows to wit: Beginning at a point on the northern line of Main Street said point of beginning being the south east corner of the lot or parcel of land now owned and occupied by Leonard Johnson which is designated on the official map of said town and the field notes of the survey thereof now on file in the office of the Recorder of Mendocino County as Lot number twelve (12) in Block number one (1). thence from aforesaid point of beginning northward on the eastern boundary line of Leonard Johnsons land eighty (80) feet thence easterly and parallel with the northern line of main street twenty five (25) feet thence southward and parallel with the eastern boundary line of Leonard Johnson land eighty (80) feet to the northern line of Main Street thence westerly on said northern line of main street twenty five (25) feet to the point of beginning. with the privileges and appurtenances therunto belonging and all the right title interest and estate claim of Homestead and possession, as well on law as in equity of said parties of the first part of in or to the same to have and to hold the same unto the said party of the second part his heirs and assigns forever. In witness whereof said parties of the first part part have hereunto set their respective hands and seals on this the day and year first above written:

W H Kelly, *[Signature]*
 E L Kelly, *[Signature]*

Spred and sealed in presence of W^m H. Keenan

7/8/1876 W. H. Kelly and wife to F. Estel, Bk 14, pg 40 ✓

POINT OF BEGINNING: a point on the northerly line of Main Street, said point of beginning being the southeast corner of the lot or parcel of land now owned and occupied by Leonard Johnson which is designated on the official map of said town and the field notes of the survey thereof now on file in the office of the Recorder of Mendocino County as Lot #12 in Block No. 1, thence from aforesaid point of beginning northerly on the eastern boundary line of Leonard Johnson's land, 80 ft; thence easterly and parallel with the northerly line of Main Street, 25', thence southerly and parallel with the eastern boundary line of Leonard Johnson land, 80' to the northerly line of Main Street; thence westerly on said northerly line of Main St., 25' to the point of beginning.

East Portion of 119-238-10 25x80'

Residence behind Deli & Medina
bldg

119-238-10
45041 Albion St.

11/1/76 James Coupe' add loft and new roof, sq ft added
528". app'd

10/27/1881, Bk 26, Pg 114, East 25' of 119-238-10, 45040 Main Street, rec'd
10/31/1881

FREDERICK ESTEL to Mrs. America Jane Elliott, \$1450.00.

POB: N. Line of Main Street, being the SE corner of land of Leonard Johnson, Lot
#12, Block 1.

Then NORTH on east boundary of Johnson, 80

Then on boundary of W. H. Kelly, easterly parallel with main St. 25'

Then south 80' to north line of Main St

Then West 25' to POB, with buildings and improvements thereon and personal
property, including store, fixtures, decanters, bottles and liquor containers.

The person described in, whose name is subscribed
to and who executed the within instrument and
he duly acknowledged to me that he executed
the same. In Witness Whereof I have hereunto
set my hand and affixed my official seal at
my office in the City and County of San
Francisco the day and year last above written

Seal

J. C. Meyers
Notary Public

State of California }
County of Mendocino }
By this 29th day of Oct
1871, thousands eight hundred and eighty one
A. J. H. Seawell a Notary Public in & for
the said Mendocino County personally appeared
Ben H. Day, known to me to be the same person
whose name is subscribed to the annexed instrument
and acknowledged to me that he executed the same -
In Witness Whereof I have hereunto set my hand
and affixed my official seal the day and year in the
Certificate first above written


Seal

J. H. Seawell
Notary Public


Recorded at the request of Joseph H. Woodward Oct 29. 1871 at
3 o'clock P.M.
J. J. Morrow County Recorder
By Ben H. Day Deputy Recorder

J. Estab J. Frederick Estab of Mendocino County & State
of California, have bargained & sold, and
W. J. Elliott acknowledging to have received the sum of
fourteen hundred and fifty dollars in full
payment of the purchase money therefor, do
hereby grant and convey to Mrs. Annie Jane Elliott

of said County and State, and to her heirs and
 assigns forever the parcel of land & real property
 lying being and situate in the town of Mendocino
 in Mendocino County and State of California and
 bounded and described as follows to wit:
 Beginning at a point on the northerly line
 of Main Street, said point of beginning being
 the South East corner of the lot or parcel of land
 owned and occupied by Leonard Johnson and
 designated on the official map of said town
 and in the field note of the survey thereof, now
 on file in the office of the Recorder of said
 Mendocino County as Lot number twelve (12) in
 Block number one (1), thence from said point of
 beginning running northerly on the Eastern
 boundary line of said Leonard Johnson parcel
 of land Eighty (80) feet, thence on boundary
 of lands of William H. Kelly easterly and
 parallel with the northerly line of Main Street
 twenty five (25) feet, and southerly parallel
 with the Eastern boundary of said Leonard
 Johnson's land Eighty (80) feet to the northerly
 line of Main Street, and thence on each street
 line Westerly twenty five (25) feet to the point
 of beginning with the buildings & improvements
 thereon and the fixtures and appurtenances
 thereunto belonging, and also the personal
 property, including stove & stove fixtures
 mirrors and pictures, counters and shelves &
 bar fixtures, counters, bottles, with the liquors
 contained therein and tumblers and only reserving
 to myself my bedding and clothing and fine
 furniture with their contents now on said
 premises - Notrees any land & real

The 27th day of October A.D. 1881.
Witness signature by part. Frederick ^W Estel 

Wm. Keiser
State of California }
County of Nevada }

On the twenty seventh day of October in the year 1881 before me William Keiser a Notary Public in and for said County personally appeared Frederick Estel, known to me to be the person, whose name is subscribed to the within instrument and acknowledged to me, that he executed the same - 

Wm. Keiser
Notary Public
Recorded at request of W. Keiser Oct 31 1881 at 5 min
J. J. Morrow Recorder

W. J. Cleveland Knows all Men by these presents that I
- Do - W. J. Cleveland of Nevada County California
W. H. Moore was and hold and firmly bound unto W. H. Moore
James Watson Sr and John Watson in the sum
of Forty five hundred dollars (\$4500) Gold Coin
of the U.S. to be paid to said Moore, James
Watson and John Watson for which payment
well & truly to be made, I bind myself and
my heirs and assigns firmly by these presents
The condition of the above obligation is such
that if the above bounden W. J. Cleveland
shall on or before June 1st 1883, make exeute
and deliver unto the aforesaid Moore and James
Watson Sr and John Watson (provided said
last named parties shall on or before said
June 1st 1883 have paid to W. J. Cleveland the
whole of the principal and interest due on these promises

1/9/1885, Bk 34, Pg 396, SE portion of 119-238-10, 45040 Main Street
America Jane Elliott to John D. Murry, \$1560.00, rec'd 1/14/1885

POB: North line of Main St, SE corner of Leonard Johnson (Lot 12, Blk 1)
then North on east line of Johnson 80'
Then East 25'
Then south 80' to street line, then West 25' to POB.

to me that they spent the same,
In Witness Whereof. I have hereunto set my hand and
affixed my official seal, the day and year in this certifi-
cate first above written.

Mark Baerke
Notary Public

Recorded at the request of Thomas Gibson Jan 13
1885 at 50 minutes past 10 o'clock A.M.
H.M. Pien County Recorder

A Jane Elliott
to
John D. Murray

I, America Jane Elliott of Mendocino of Mendocino
County and State of California for and in considera-
tion of fifteen hundred and fifty dollars to me paid
as the purchase money therefor, do hereby grant and
convey unto John D. Murray of said county and State
and to his heirs and assigns forever the parcel of
land and real property, situate, lying and being in
in the village of Mendocino in said county and
State, and bounded and described as follows, to wit,
Beginning at a point on the northern line of Main-
Street, said point of beginning being the South West
corner of the parcel of land owned and occupied
by Leonard Johnson, which last named parcel of
land is designated on the official map of said town
of Mendocino and is described in the field notes of
the survey of such town, being the map and field notes
now of record in the Office of the Recorder of said
County as Lot number twelve in Block number
one, thence from aforesaid point of beginning ru-
ning northerly on the Eastern boundary of said
lot number twelve owned by said Johnson eighty feet,
thence on boundary of land of William H. Kelly, East-
erly and parallel with said street line twenty five feet
and southerly parallel with the Eastern boundary of said
Johnson's lot eighty feet to said street line, thence on the
same westerly twenty five feet to the point of begin-
ning with the East line of said street.

... new record together with the improvements
The words "shendius" were intended to insert into the
line of first page after the words "upon the execution
of this instrument,"

Witness my hand and seal this 9th day of January
AD 1885

State of California
County of Mendocino
AD 1885
On this ninth day of January
before me William Nelson a Notary Public in
and for said County, personally appeared America
Jane Elliott known to me to be the person whose name
is subscribed to the within instrument and ac-
knowledged to me that she executed the same,

SEAL

Wm Nelson
Notary Public

Recorded at request of J. R. Russell Jan 10
1885 at 30 min past 3 P.M.

W. M. Peery Recorder

John Hopper
17th
Jas McCarnock

This Indenture made the 9th day of December with
year of our Lord one thousand eight hundred and
eighty four, Between John Hopper Sr of Potter Valley
County of Mendocino and State of California the
party of the first part and James M. Cornu or party
the second part. Witnessed that the said party of the
first party for and in consideration of the sum of one
thousand Dollars of the United States of America to
him in hand paid by the said party of the second
part, the receipt whereof is hereby acknowledged, does
by these presents grant, bargain sell and convey unto
the said party of the second part, and to his heirs
and assigns forever, all that certain lot piece or par-
cel of land situate in Potter Valley, bounded and de-
scribed as follows to wit, beginning at said East
Corner of West half of South West quarter of Section
Seventeen (17) Township Seventeen (17) North of Range
Eleven (11) North Mount Diablo Meridian running thence
North eighteen (18) Rods Thence West Forty (40) Rods
and two (2) feet Thence South eighteen (18) Rods
Thence East Twenty (20) Rods and two (2) feet to the

dictate reduced personal use of water, regulation of water use by public service facilities, and improved individual storage. This path is the wisest way, not unlimited growth.

John Sinclair, Chairman
Mendocino Environmental Research Lab.

Be Fair To Homeschoolers

EDITOR — *An open letter to Ken Matheson, Superintendent of MUSD:*

As homeschooling parents, we followed with interest the coverage of the MUSD board meeting in last week's copy of the Mendocino Beacon. We certainly agree that "parents are unhappy, they want a fair share and they want more choices".

As university graduates ourselves and with a wealth of educational resources at our disposal, we feel convinced we can offer more to our child than a regular school program can do. Parents homeschool their children for a multitude of reasons. From our contact with many other homeschoolers, it is evident that their parents are dedicated individuals who are willing and want to educate their children themselves.

We have been offered the opportunity to participate in the MUSD "new and innovative" homeschool program. We have declined at the present time because we feel that a \$100 supply budget is a woefully inadequate return for the ADA amount of \$3,200 by which the school would benefit if we signed up. We feel that you totally misunderstand our interest in homeschool programs, as practiced in Cupertino, whereby the homeschooling family receives \$1,000 for supplies. We do not want "a teacher available for a few hours each week," which you present as an advantage of the proposed MUSD homeschool program. You seem to think it is a disadvantage to have to administer our child's studies. On the contrary, we WANT to administer our own program and ARE willing to keep a log of activities if, by doing so, we are entitled to a \$1,000 budget rather than \$100 which is presently being offered. We want the same access to materials for our child as every school child is entitled to, but instead of adding to the overcrowded classrooms and the teacher work overload (so vividly described at the board meeting), we are willing to undertake the responsibility of educating our child

Russ Neuman

Free Beaches

EDITOR — *An Open Letter to State Parks Director Henry Agonia from Free Beaches For A Free People, Mendocino County:*

As the organizers of the Free Beaches movement in Mendocino County, we would like to reiterate our opposition to State Parks' plan to impose new days use fees at traditionally free California beaches, including the wild beaches of the north coast. We also urge the Department to reevaluate its policy of day use fees at all California parks and beaches. Day use fees represent an unconstitutional restriction of coastal access, and are an uncivilized and indecent method of raising revenue for the state. Parks and beaches ought to be accessible to all people, regardless of their ability to pay.

We would additionally like to state that we are not against the Parks Department. We support acquisition and administration of land for public recreational and commercial use and for preservation. We want to strengthen the Parks' Department, by achieving permanent protection for Parks traditional share of the State general fund. We think that public parks and beaches should be in the same category as public libraries and public schools. They are among the minimum of services that a decent society provides for its citizens, rich and poor, and should be subsidized.

We are convinced that most Californians agree with this view.

You are doing the Parks Department no favor, by attempting to implement a fee schedule that will restrict coastal access to those who can pay, and that has already alienated a large portion of the public. You should have strongly opposed the section of the State budget bill that drastically cut State Parks' subsidy from the general fund, and you should have resigned when it was passed. The budget bill provision on Parks funding was an agency-wrecking provision. We cannot understand how you put up with it — except that you, along with these other overpaid budgeteers, bureaucrats, and politicians, are part of the problem.

You and your brethren apparently cannot fathom what it is like to live on a budget which has no \$5 discretionary funds for going to the beach. You apparently don't realize how many people are in that position these days, or you don't care. You yourself will be well provided for, by our tax dollars.

Chapter, No. 111, Order of Eastern Star celebrated its 50th anniversary with a gala affair starting with dinner served in the hall at 6:30 to about 150 people. Mrs. Nettie Nichols was the honored guest, having belonged to the chapter since its inception, and was the recipient of a 50 year jewel from the Grand Chapter of California ...

JAMES HEAP of Willits has been on the coast for several days this week. Mr. Heap came to Mendocino in 1903 and assisted in wiring the town for electricity when the power plant was built just north of the mill on the flat.

WM. E. DOCKER ... On Monday, Sept. 19th, Wm. E. Docker, former Comptche man, celebrated his 90th birthday at his home in Eureka. His daughter, Mrs. Gurley, served cake and coffee to visitors ... Mr. Docker came by way of Panama to New Mexico in the late 1870s or early 80s but made California his home since 1884 ... he moved to Eureka in 1932.

THE DWELLING of Mr. and Mrs. Frank Valentine on Little Lake Street is now nearing completion on the outside and makes a very nice appearance.

DON FENN is making progress in the wrecking of the old Heisel store on Main Street which he plans to replace with a smaller, more modern building which he will use as a barber shop. (Heisel store was Homer's Market, 45040 Main St. but Fenn's barber shop was located for several years in the Kelley Building on the corner.)

DR. WHITED'S new garage has just been completed (Main Street) and is quite an addition to his already attractive place.

STRAUSS'S CAFE is undergoing repairs to the front of the building. The old false front has been removed and new shingles will be placed along the front as well as repairs made to the roof. (45052 Main St. was the "Music Box" now Highlight Gallery.) Jess Buckley is in charge of the work.

100 YEARS AGO October 10, 1891

ON MONDAY Rube Moore of Ukiah passed through town with 106 head of cattle brought from the northern part of the county for W.H. Kent at Little River.

N.E. HOAK of Comptche had a fine display of fruit at the fair last week.

THE PAWNEE MEDICINE COMPANY commenced a series of free entertainments in Murray's Hall Tuesday and have held forth to good houses every evening since.

MARRIED IN OAKLAND ... On Thursday, Oct. 1st in St. Francis de

10/8/94

119-238.10

must be to have color added to the sight and sound of words and music. I want that richness in mine.

It is not unusual for me to suffer from envy. When I was a kid, I felt very plain—an ordinary child in an ordinary family. We had no family tree, couldn't trace our ancestry back to kings or pirates, just peasant kind of people who made their livings in unexciting ways, lived rather drab lives, I thought.

My hopes that I might somehow be descended from an Indian chief or warrior back there on the plains of South Dakota were dashed when I discovered that the Hilgemann, Kusler, Mills families had not long ago come from Germany, Russia and Ireland. No one there wore feathered

I had never thought

But at the university, I got to know many Jewish students. Especially in the theater department. And I thought they were the most entertaining people I had ever met. Even a cut above my beloved Irish relatives who told wonderful stories. Their language was rich, their stories were hilarious, they were gifted with a sense of irony and they could poke fun at themselves, mimic themselves, while they maintained self respect and loved themselves. It seemed to me they were the first people I had ever known who knew who they were, and why; I thought they were wise.

For years I sought out Jewish literature and

tenant's mother could trace her lineage back to King John of England—at last a tie to royalty. But double alas, not mine, his.

If I still dream of being someone exotic, perhaps a sloe eyed island beauty with dusky skin, a snake wrestling born-again, a high wire walker, offspring of a long line of circus nobility, I know these are dreams. I am (as we all are) just who I am—a German, Russian, Irish, small town, prairie, big city, suburban, South Dakota-Oklahoma-California, Angeleno-Orange County, north coast, granddaughter, daughter, sibling, sister, wife, mother, grandmother, time wasting wannabe, old lady—me. And the rich world in which I wish to live, I must create—myself.

Old Time Notes

By Eleanor Suerko

25 YEARS AGO

Nov. 24, 1972

PROP 20 AFFECTS P.G. & E. COMPANY POWER PLANT AT POINT ARENA. Kit Newton, nuclear information specialist for PG&E made a direct prediction Nov. 16th after the County Board of Supervisors discussed the effects of Proposition 20 that Proposition 20 is their biggest problem, noting that environmental groups can cause opposition to go on forever.

DENNIS YOUNG, son of Mrs. Lorna Young of Mendocino and a graduate of MUHS, class of 1972, is now on active duty with the U.S. Navy aboard the USS Bergall, operating off the coast of Florida.

SCHOONER'S LANDING CAFE on the Albion River will remain open throughout the winter season. A special turkey dinner will be served on Thanksgiving day.

STEELHEAD DERBY will be sponsored this year by The Rod & Lure Class of MUHS. One of the purposes of the class is to improve the steelhead fishery on the coast.

POINT CABRILLO LIGHT STATION AUTOMATED After 64 years of manned operation, the Point Cabrillo Light Station was automated by the U.S. Coast Guard last month.

STEVEN W. IRISH, age 11, young very enterprising and versatile son of Harold and Pat Irish of Mendocino, has retired from his delivery boy job with Santa Rosa Press Democrat to take up other interests...Last year he played the part of Wally Gibbs in Our Town, he has played the piano for three years, and is also president of his 6th Grade class at the Mendocino Elementary School.

MENDOCINO CARDINAL VARSITY IS NUMBER 1, Saturday, when they defeated the Midtown Mustangs, 20-6, and won the Northwestern League Championship for the third consecutive year.

50 YEARS AGO

Nov. 22, 1947

OBITS INCLUDE: GEORGE SOETH, one of Mendocino's out-

standing and well beloved citizens, died at the Community Hospital in Fort Bragg on Thursday following a long illness. MRS. JOE KING, (Mrs. Mamie Stayton King), age 59, born at Cahto, passed away in Fort Bragg on Monday after an illness of considerable duration. She was survived by four daughters and five sons.

MISS JEAN SWITZER, daughter of Mr. and Mrs. George Switzer of Fort Bragg, died early Tuesday morning at California Hospital in San Francisco. For many years, she was the operator in the Mendocino P.T. & T. Co. Office, and later worked at Union Lumber Company main office in Fort Bragg.

WOLFE HOWLS column by Ray H. Wolfe of Little River, notes he has quit his job as McNess distributor, introduced his replacement, Richard N. Vann of Fort Bragg, notes he (Ray) will go to work for Bill Larkin in the Remedy Store the first of the year, replacing Homer Drinkwater who is quitting — and that Homer has purchased the prop-

erty next east of Dr. Whited's on Main Street to open a cash and carry grocery store — and that Bill Larkin's new home on the hill should be finished by the first of the year.

100 YEARS AGO

Nov. 20, 1897

B. F. HIGGINS, formerly of this place has been appointed city attorney at Fort Bragg. MRS. SARAH FALLS of this place and Wm. Sheppard of San Francisco were united in marriage at that place on September 20th. ANOTHER SUSPECT ARRESTED...H. J. Brown was arrested in San Francisco several days ago for several burglaries and for various reasons the authorities believe the man is one of those wanted for the Ukiah-Boonville stage robbery. They have also found a woman who says Brown, shortly before the robbery, proposed to her that they go to Mendocino County and rob the miners as they should come out with their gold, and later to steal the buried booty of the robbers.

119-738-10

quitting. None of them guaranteed success, I fear. If nicotine patches or chewing gum help you (and do give them a chance), use them. The gum gave me severe indigestion and there were no patches when I quit. But take advantage of anything you can find that helps. When the craving hit, sometimes sour things, dill pickles

anyone, to cause me pain. I attribute the existence of which I had forgotten. My skin was tender, my tongue felt swollen, each limb weighed a hundred pounds. I was doomed—doomed to suffer forever, I worried. But finally, little things began to be noticeable. Deep breathing was no longer just an exercise, it

learned to enjoy potatoes mashed with a wee bit chicken broth. A vegetarian meal with a wee bit of cheese is not spurned. A little "light" ice cream goes not amiss. And I wouldn't trade any of it for a cigarette. I know better—I'd be hooked again in minutes.

Old Time Notes

By Eleanor Suerko

25 YEARS AGO

Dec. 1, 1972

SUPERVISOR GALLETTI is named by the County Board of Supervisors to serve on the North Coast Regional Commission, made mandatory by the passage of Prop. 20 on Nov. 7.

THE ENVIRONMENTAL IMPACT STATEMENT for the KOA campground proposed for Mendocino will be considered at a public hearing on Dec. 20. Assistant District Attorney Timothy Stoen told the Board the recent decision of the Supreme Court on the Friends of Mammoth case made it necessary to allow the public to participate in the decision regarding the impact report.

SURFWOOD SPECIFIC PLAN heard in Mendocino on Monday, Nov. 20, proposes a recreational/oriented housing mix, ranging from garden apartments to lower cost cabin sites in the cluster type forest lots and mobile home park sites. The time schedule extends over several years and will involve such matters as soils engineering, water, sewage disposal, circulation,

recreational facilities, architectural controls and conservation measures.

50 YEARS AGO

Nov. 29, 1947

SENTENCED TO DIE AT SAN QUENTIN... Paul Charles Winton, on Oct. 22, shot and killed his blind wife, his daughter and son-in-law at Mendocino and then fled to Ukiah to another daughter's home with two grandchildren, first entered a plea of not guilty by reason of insanity. He subsequently changed his plea to guilty, and was sentenced by Judge Liburn Gibson, to San Quentin to await death in the lethal gas chamber.

BIG RIVER BRIDGE... The allocation of funds for the State Department of Public Works shows that \$90,000 has been set aside for the repair of Big River Bridge, indicating there will be no new bridge for the present.
WEDS STOCKTON GIRL... Jacques R. Helfer of Mendocino and Dian V. Graves of Stockton were united in marriage Saturday, Nov. 22... The young couple will make their home in Oakland.

BIG RUN OF SALMON... One of the finest runs of salmon for many years has been much in evidence on Big River for the past two months, and they are still coming in from the ocean.

NEW STORE BUILDING... Large plate glass windows are being installed in the new store building going up for Homer Drinkwater on Main Street.

MAKING IMPROVEMENTS... James Barton has had a crew at work on his home on the eastern part of Main street this week, installing false-brick siding on the exterior of his home. (Barry-Barton House, northwest corner Main & Evergreen, was an annex for Sears House Inn, later sold to Jim & Ania McElroy.)

ELK... Vincent Sanini, newly engaged to a young lady in San Francisco brought her home for the weekend to visit his parents. Vincent (we always called him "Bim") is working out of San Francisco on a fishing boat.
100 YEARS AGO
Nov. 27, 1897

THE TRIAL of the Supervisors

begins next Monday, Judge Burnett presiding. Great interest is being manifested in the proceedings. W. H. Kent of Little River and Samuel Bever of Mendocino are among panel of jurors drawn.

MENDOCINO BOYS WIN... The game between the Mendocino High School team and the Point Arena eleven which was played at the latter place on Thanksgiving Day, resulted in a victory for the high school boys by a score of 24 to 20. F. B. Severance of Navarro took the football team to Point Arena in a six-horse coach.

ESTIMABLE LADY GONE... On last Saturday morning, Nov. 20, Mrs. Frederick Halling departed this life at St. Luke's Hospital in San Francisco after a prolonged illness. Born in Stockholm, Sweden, July 28, 1844, she had been a resident of this place for many years and was a refined and amiable lady, respected and beloved by all who knew her. She was buried in Evergreen Cemetery on Monday afternoon.

Plea for tolerance in these changing times

By RUSTY NORVELL

Bragg. As we all know, members of Earth First!

necessary, although your address and phone number will not be printed.

Letters which are not signed, or letters which request your name be withheld will not be printed.

Letters may be sent to the Editor, Mendocino Beacon, P.O. Box 225, Mendocino CA 95460.

those in Willits, Covelo and Cloverdale, ignoring the hardships caused to its workers and their families and communities. LP even boasted about shipping the Covelo mill to Mexico, although they soon closed that mill, too, damaging yet another community.

LP threatened to leave our county if locally proposed stricter harvesting rules were passed, bragging that Gov. Wilson would stymie such reforms anyway, which he did do.

LP gave Gov. Wilson \$50,000 for his 1994 reelection campaign (while secretly asking for exemptions from environmental regulations) and also tried to buy our county's 1994 supervisorial election.

Where's the democracy in this? The American Revolution was fought to replace arrogant, autocratic power with popular control. But over the years corporations, by buying elections, legislation and the media, have gained way too much power, and we citizens have lost too much. It's time to take back our birthright — real democracy.

If you'd like to meet with folks working toward this goal, write Project Democracy, 31901 Middle Ridge Road, Albion 95410.

Tom Wodetzki
Albion

Shameful

EDITOR— North Coast sport fishermen appear to be engaging in some shameful, if not illegal activities. These activities are the taking of abalone with a sport fishing license, then selling their catch at fund raising events under the guise of "abalone chowder cookoffs." Even more shameful is the appearance that these questionable activities are sanctioned by the very protectors of this valuable state resource, the California Department of Fish and Game.

One such event recently took place at the Ukiah Senior Center where tickets were sold for \$30 each. Another event is scheduled for October at Van Damme State Park and according to a letter signed by State Park Ranger Douglas Seekatz, a limit of 450 people will be allowed to "judge" the affair. The letter doesn't include a

ers in the proposed Historic District are urged to attend this meeting.

ADVISORY BOARD MEETS ON UNDERWATER PARKS AND RESERVES. Members of the California Advisory Board on Underwater Parks and Reserves will inspect potential underwater park sites along the Mendocino Coast on Monday, Sept. 25 and will hold a meeting at Kellieowen Hall on Tuesday the 26th at 10 a.m. to discuss diving safety regulations and evaluation reports on various proposed underwater park areas.

COMMITTEE TO INVESTIGATE REAL ESTATE TRANSACTIONS IN THE COUNTY. A special committee has been appointed to investigate a number of cases of illegal real estate transactions in the county. The action was taken at the Board of Supervisors meeting on Tuesday after Charles "Woody" Hudson, a private citizen, presented a comprehensive study to the board showing how at least six sub-divisions had been apparently created illegally.

IRISH BEACH... A change in the General Plan of Mendocino County covering the Irish Beach property was approved by the County Planning Commission at a public meeting in Manchester Monday night. More than a hundred persons attended the emotion-packed gathering... The property will now be covered under PD-planned development, zoning.

50 YEARS AGO Sept. 20, 1947

NEW BUSINESS HOUSE FOR MAIN STREET. A new business house is shaping up on Main Street this week. It is being erected for Homer Drinkwater, who some time ago purchased the John Burbeck property running from Main to Albion Street, just east of Dr. Whited's office (Homer's Market, for many years).

E.C. WILLIAMS HELPED TO MAKE CALIFORNIA HISTORY. The Berkeley Daily Gazette recently carried an article concerning the pioneer lumberman who with the late J. B. Ford founded the original Mendocino Lumber Company and who erected the first steam sawmill

sore that sticks out like a sore thumb when you look at the village on Highway One. The festival attracts huge crowds who tromp all over the floor and...

blatant mess... the death of... 36, mother of

drunk drivers... mess in their... riding with... speed).

Police, we who... topographic... report at us from... 37... kets and air... everywhere... photographers... based Diana to... salaries to do

...ks! Wake up!

fatal accidents... under the influ... rather than alco... ds?

the Mendocino... General Society... everyone who... fight tickets and... al Labor Day... Fort Bragg. We... support of the... enerously donat... gave away as

winners, includ... t of town, have... winners will be... low of Al's Used... dwood Ave., and... me to call me at... 33.

ts forward to see... next year.

mbi... r Member

Confusion

would like to reply... and his Caspar... confusion. First, it's Caspar Lumber Co., not Caspar Logging Co., and it's Caspar Beach, not Caspar State Beach. And I'm sad to say Caspar

115-238-10

active steering committee, there is a proposed mission statement and a set of aims to be reviewed at the meeting to be held at 4:30 p.m., Thursday, Sept. 18.

The proposed mission statement reads: "To promote and advance the welfare and development of the Mendocino Coast Botanical Gardens."

Membership will be open to any individual who is in sympathy with interests and purpose of this group.

Fred and Bella Davidson
Fort Bragg

Happiest Kid In Town

EDITOR — On Monday, Sept. 8, this retiring building inspector had the honor and pleasure of being hosted at a retirement luncheon by a large crowd of his friends. The warm feelings and good wishes extended left me overwhelmed. The cards, the gifts, the congratulatory plaque from the building community the commendation resolution from the board of supervisors, the handshakes and hugs, everything added up to make it one of the greatest days of my life.

And there was the special gift. We've all heard of the kid who wanted a bicycle for Christmas but was told to forget it, it wasn't going to happen. However, on Christmas morning there it was, a shiny new bicycle and he instantly became the happiest kid in town. I want to thank all the Santa Clauses who contributed to my retirement gift and made me the happiest kid in town.

To all those who attended the luncheon and to those who couldn't make it I say it has been my pleasure and an honor to know each and every one of you.

Romelli Deli

600 Main St.

45040 Main St.

8/14/73 adv sign - app'd

1/2/75 signs appl, Sandra Nelson/Burton Parsons
on sign 2' x 5' reading "The Deli" app'd

6/6/77 (upstairs) over Deli - sign, "Edmeades Vineyard
Tasting Room - enter through water tank" app'd
Sign: "The Fisherman" in courtyard in front of
water tower next to Deli. app'd

MHR #IVb no history
Deli & Restaurant,
Dwelling on Albion St.

AP #119-238-10
45040 Main St.

12/1/75 appl by Brenda & Jim Coupe to reconstruct the
old Mendosa watertower app'd for dismantling on 11/3/75
on the Deli property to also serve as second-story
entrance on the east side to the existing Deli building.
app'd

12/1/75 Coupe's granted permission to renovate the old
"Homer's Market" Deli building.

5/3/76 Eleanor Hill Edwards for Jim Coupe, remodel roof,
app'd.

AP #119-238-10
45040 Main St.

Jim Coupe to reconstruct the
p'd for dismantling on 11/3/75
also serve as second story
to the existing Deli building.
app'd

permission to renovate the old
building.

s for Jim Coupe, remodel roof,

119-238-10

600 Main St.
45040 Main St.

ra Nelson/Burton Parsons
g "The Deli" app'd

- sign, "Edmeades Vineyard
through water tank" app'd
in courtyard in front of
li. app'd

The Wolf, Wreden and Co. slug
plate bottle shown was dug by Sonny
Handley at Kibesilla, a ghost town
located between Ten-mile River and
Westport. It dates from the 1890s.
Here a monogram relieves the plain-
ness common to most slug plater
patterns.

John Wolf first started the company
in 1887, at 410 Clay Street, San
Francisco, and a slug plate with "John
Wolf & Co." dates from that period.
In 1890 Louis L. Janes became a
partner and a slug plate reading
"Wolf, Janes & Co." was used.
According to whiskey historian John
Thomas that partnership lasted less
than two years. Wolf then took
William G. Wreden as his new
partner, resulting in the bottle shown.
In the middle and late '90s the firm
relocated at 412 Front Street. John

Jack's Corner
3.22.79

Parcel File
119-238-10

Just to set the record straight,
Homer's market opened in January of
1948 and for the first 20 years it was

open 365 days and evenings of the
year. It was a very successful business
and IT DID NOT GO BROKE.

From about 1968 to '72 a plague
of anonymous young strangers did
their dropping out, tuning in and
turning on at Mendocino. They said
they believed in the Age of Aquarius
and they rejected middle class values.
Many of them behaved as if stealing
was their inalienable right. It got to
the point where the Drinkwaters had
to play policeman in their store,
catching several shoplifters per day.
Some of those caught were defiant and
abusive. The joy had gone out of
operating a friendly small town store
and customers began finding it closed
for periods of time. When it became
apparent that things weren't going to
get any better very soon, the
Drinkwaters sold out and retired to
their ranch.

The nearly going broke part came
with the first delicatessen operation
that followed—not with Homer's
market.

Incidentally, Bill and Gilda Gore
and their children (Homer and Lil's
grandchildren) have left Alaska and
are now living at Anacortes,
Washington.

McNeill 49-731-27 File 119-238-10 Deli

THE MENDOCINO COAST BEACON, Friday, July 16, 1976, Page 4



Work has been at a
standstill lately on **Tim
Aguilar's** new little building
on Main Street and on the
addition to **Leone McNeill's**
home across from the Art
Center on Little Lake. Good
progress has been made, on
the other hand, on **Bill
Zacha's** new doctors' office
space, on **Lee Weltey's** new
building on Little Lake, **Art
Williams'** apartment project
on Ukiah Street, and **Jim
Coupe's** work at the Deli.

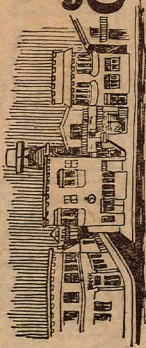
You may recall that **Homer
Drinkwater** had a sort of
solarium upstairs over the

that covered the main back
portion of the building was
extended clear to the front.
As seen now when looking in
a westerly direction down
Main Street the long roofline
is broken by the water tower
which is nearing completion,
and the new over-all appear-
ance is a great improvement
over what was.

Ames Lodge is now in full
operation and it is proving to
be a popular hideaway for
those who want to get away
from it all in a quiet and
beautiful location. There are

money during their summer
vacations by mowing grass
and doing odd jobs? After
asking around for some
weeks with no results at least
one Mendocino resident
gave up and rented a ma-
chine from Fort Bragg Rent
All (or "Renall" if you prefer
the version that is given in
their radio spot). A regular
power mower rents for \$3 per
hour and a larger self-pro-
pelled rotary mower is \$5 per
hour. A lawn tractor that you
ride on is \$7 per hour and a
larger riding tractor with
heavy mowing unit is \$11 per
hour. These machines are
rented for a minimum of two
hours.

Let me draw your attention
to yet another history book
dealing in part with our
Redwood Coast. This is titled
"The Loggers" and it is
published by Time-Life. It is
fully illustrated, mostly from
old photographs of excellent
quality. Some pictures of our
area are included and I
noticed a writeup on **Harry
Melrose**. This is a general



DORR BOTHWELL

Dorr Bothwell has arrived safely in Indonesia and she sends her love to all. The flight required 24 hours and she lost Friday because of the time zones. Dorr reports that from an altitude of 35,000 feet, the Alice Springs area of Australia resembled a strange abstract painting with cloudy topaz mud holes studding the crumpled fawn-colored landscape." Bali from the air resembles "a green jewel, rough-set in ivory, bordered by green and turquoise seas." She hasn't noticed any very unusual insects yet but reports that she has a gekko living in her room. A gekko is a bug-hunting lizard so it is probably largely responsible for the scarcity of interesting insects in her room.

TOM WAS RIGHT

Two week ago, Tom Loop wrote a fairly strongly-worded Letter To The Editor concerning some youthful Labor Day pranksters who were caught in the midst of their malicious mischief. Tom said

that juveniles currently receive too much protection and he concluded that "today's pranksters become tomorrow's gangsters."

Just a few days after that, wrote, Nina Hicks, a hard-working and highly-respected resident of our little community, was suddenly confronted in her home by a 14 year old Mendocino boy. This boy threatened Nina with two hunting knives and demanded her car keys. She was badly frightened but managed to get outside to summon help. Fortunately, Nina was not injured and the boy was apprehended later. Unfortunately, the name of the boy was not officially made public. I think that the community would be better off if the names of youngsters involved in serious juvenile misdeeds were released. Then we would have an idea of who is out of control at any given time and we'd all be able to watch them a little more closely.

Most of our local youngsters are wonderful but it seems that there are always a few loud-mouthed "smart-alecs" and quiet "rotten-eggs" coming along who need extra guidance and surveillance. I think we should get the names of the hoodlums out in the open. If this is em-

when their little darlings did outrageous things.

The way the present incident worked out, for instance, innocent victim, had HER name and age printed in the paper, while the culprit and his family enjoy anonymity. I think this is unfair.

Where youngsters damage property I think every reasonable person will agree that the damage should be repaired or paid for in full by the culprit or his family.

THE NEW DELI

Last week the Deli moved into much larger quarters on Main Street, into the building that for many years housed Homer's Market. What a splendid addition to our town this new enterprise will be in the months and years ahead. Sandy and Buzz state that the store hours will be from 9 a.m. to 9 p.m. every day. If they can stick to that schedule, they should do very well indeed.

Do stop in and see what a fine remodeling job these ambitious and hard-working people have done. Sit at one of the tables and enjoy the cheerful atmosphere. Margo King sewed the attractive curtains and they certainly make the place seem homier and nice.

Some of Homer's fresh pro-

485
480

1402
1348
1335

AGUE

L

23

40

46

59

1009

971

351

943

570

943

202

186

Avg.

166

132

125

123

ATCH

L

24

33 1/2

33 1/2

1 35

8 38

3 43

2 47 1/2

1/2 49 1/2

2128

2102

2073

762

742

714

623

613

588

246

234

224

A Message from HOMER'S

March 7, 1969

Dear Friends:

Many times good things come in small packages, and if you are not familiar with the little brown-skinned shallot, looking somewhat like an onion set and closely related to the onion, we suggest you try this little item. Toss a handful into a stew or pot of soup. They will enhance the flavor, and shallots can be used in various other ways. You will find them in the produce section, and as they are grown in our own garden, they are marked "Home Grown."

Sincerely,

Homer's

P.S. We barbecue chickens and spare-ribs on Saturday and Sunday.

Open 365 Days A Year

119.138.10
MHR #25

12-25-1970

A Message from Homer's

730 Main Street

119-238-10

Because of being closed this Christmas our family here at Homer's will not be able to greet you personally as we have through the past 20 years. We want to use this means of extending our sincere wishes for a very Merry Christmas to you all.

Homer and Lil

Bill - Gilda - Debbie and Joel

Allan - Beth and Kevin

Nana and Grandma

4/7/1977

119-238-10

Good progress is being made on Jim Coupe's new house behind the Deli

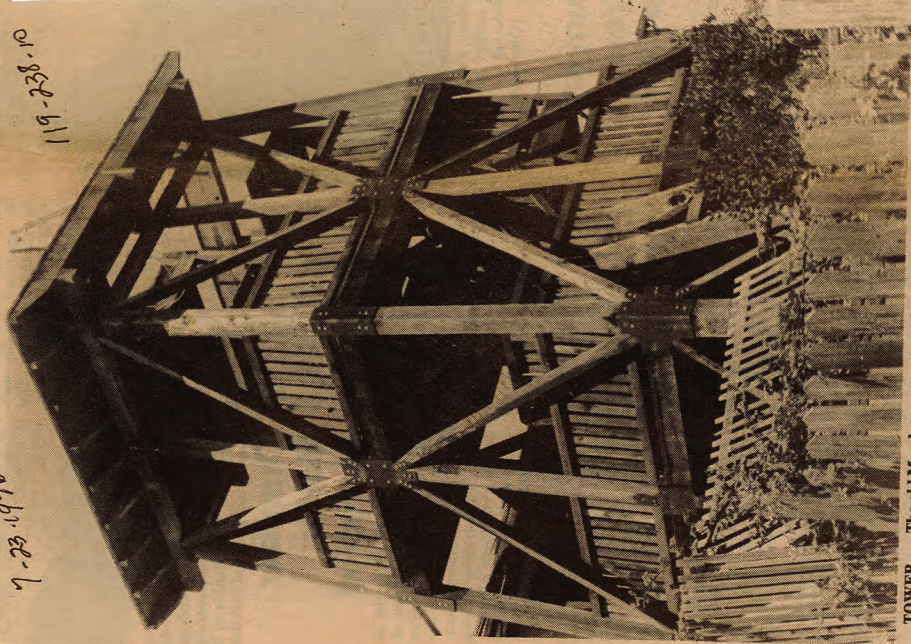
Michael Begauss' new restaurant "The Back Room" is now open in the former Gray Whale Room at the rear of the Deli.

VOL IC No. 58

PUBLISHED WED

7-23-1976

119-238-10



TOWER — The old Mendocosa water tower has been carefully rebuilt next to The Deli on Main Street, Mendocino. Completion is expected in a week or two. A new restaurant

6. NEW APPEAL. See AGENDA HEADINGS description on page 21.
- a. Appeal No. A-3-SMC-89-13 (Gabbert, San Mateo Co.) Appeal by Merrill Harwood Bickford from decision of San Mateo County granting permit to Scott & Cathy Gabbert to legalize 4.61-acre lot, on Pescadero Creek Road near Dearborn Park Road, Pescadero, San Mateo County. (JS-SC)
7. COASTAL PERMIT APPLICATION. See AGENDA HEADINGS description on page 21.
- a. Application No. A-3-SMC-89-74 (Farallon Vista, San Mateo Co.) Application of Farallon Vista Associates for two community water wells, two monitoring wells, 240 sq.ft. pumphouse, 2,600 linear feet of 4" or 6" water line and 540,000-gallon water tank, in Princeton/Moss Beach areas, San Mateo County. (DSL-SC)

NORTH COAST AREA

8. ADMINISTRATIVE PERMIT APPLICATIONS. See AGENDA HEADINGS description on page 21.
- a. Application No. 1-89-34 (Rubino, Mendocino Co.) Application of Joseph Rubino for mobile home for farmworker housing on 43-acre lot, at 26600 Highway 1, south of Point Arena, Mendocino County. (BJS-E)
- 119-238-10- (b.) Application No. 1-89-98 (Raymond, Mendocino Co.) Application of Robert & Loisjean Raymond to remodel & convert single-family home into commercial use, at 45040 Main Street, Town of Mendocino, Mendocino County. (JSG-E)
9. CONSENT CALENDAR. See AGENDA HEADINGS description on page 21.
- a. Application No. 1-88-241 (Mendoza, Mendocino Co.) Application of Mendoza Brothers to expand parking lot, and reconstruct part of warehouse, at Mendoza Market at 10501 Lansing Street, Town of Mendocino, Mendocino County. (LL-E)
- b. Application No. 1-88-254 (Silva, Mendocino Co.) Application of Bill & Margaret Silva for trailer, trail to beach, power pole for drip irrigation, brickwork, pumphouse, pond, deck & fence, at 1100 Navarro Bluff Road, Navarro, Mendocino County. (JSG-E)
- c. Application No. 1-89-13 (Marin Co. Parks excavation) Application of Marin County Parks, Open Space, and Cultural Services Department to excavate 2400 cu.yds. from Pine Gulch Creek and excavate 2,000 cu.ft. from artificial berm at Pine Gulch Creek, Bolinas area of Marin County. (LL-E)
- d. Application No. 1-89-77 (Merrill & Pollard, Mendocino Co.) Application of Peggy Merrill & Donald Pollard for single-family home, garage, driveway, pumphouse, well & septic system, at 7455 North Highway 1, Little River, Mendocino County. (JSG-E)
- ~~119-250-11~~ (e.) Application No. 1-89-81 (Sears, Mendocino Co.) Application of C.E. & B.N. Sears for 8-unit inn, at 44840 Main Street, Mendocino, Mendocino County. (JSG-E)
- f. Application No. 1-89-97 (Eureka riprap) Application of City of Eureka Department of Public Works to install riprap and remove fence at shoreline northeast of Dock B, near Waterfront Drive, Eureka, Humboldt County. (LL-E)
- g. Application No. 1-89-99 (Gibeon, Mendocino Co.) Application of Westby Gibson for guest cottage & connection to well & septic system, at 32679 Atkins Way, Fort Bragg, Mendocino County. (PVF-E)
- h. Application No. 1-89-106 (Crescent City waterfront path) Application of City of Crescent City for pedestrian & bike path, access ramp & overlook with sidewalk, parking & street improvements, at Battery Point Lighthouse, B Street Pier waterfront area of Crescent City, Del Norte County. (JJM-E)

Barry Cusick

82-36 replace kitchen vent system at
45040 Main St.
Sept. 13, 1982 Approved

119-238-10

BEACON

5-26-1976

119-238-10

The floor of the observation deck atop the new water tower at the Deli was completed last Friday. Thanks to **Jim Coupe** and **Barry Kusick** for letting me have the honor of being the first non-workman to see Mendocino from this new vantage point. The view is just superb and there will be fine opportunities for some of our local photographers to demonstrate their skills and imagination.

B. Cusick and J. Coupe

82-40 convert portion of deli to bakery &
add exterior door in rear of building
Sept. 13, 1982 Withdrawn

119-238-10

Jacquelyn Hendrix

82-50 change sign for Brannon's Whale
Watch Restaurant at 45040 Main St.
Nov. 1, 1982 Approved

119-238-10



MENDOCINO

AREA BUSINESS AND SERVICE DIRECTORY

The Deli is open from 8 a.m. to 8 p.m. daily, offering customers a variety of good hand-made sandwiches, fresh salads, soups, stews and pastries. Get there early for a wonderful continental breakfast of fresh coffee cake, or bagels and toast. Then sit down with a cup of delicious Thanksgiving coffee and pick up a copy of the Chronicle, also on sale.

Or select from the dairy case. You can buy Thanksgiving coffee in bulk, along with imported teas and a wide variety of locally produced wines and imported beers. The Deli also is an ideal place to shop for a picnic.

Jim and Brenda Coupe, Deli owners, recently reconstructed the historic Mendocino water tower next to the outdoor beer garden. Climb the tower to Edmeades Vineyards (Philo) winetasting room, where a number of white and red wines and two very dry apple wines may be sampled. Next to the tasting room is the new Fisherman Restaurant, which serves fresh salmon steak, filet mignon, and wonderful crab and shrimp lounge salads, reasonably priced.

The upper establishments are open from 11:30 a.m. to 9 p.m., closed Monday. The top of the tower is a special delight. It's a popular spot for photographers, artists and white-watchers.



*119-238-10 main
45040 # 25
on NK*

The Deli

Main Street

Mendocino

7-21-1977

1988 per Eleanor Sverko

119-238-10

45040 Main St. &
45041 Albion St.

This parcel has large two story building fronting on Main Street with water tower and steps to upstairs restaurant with outdoor balcony dining. Downstairs is delicataessen.

Rear of lot has "Medina Building" - converted to commercial shops and separate residence fronting on Albion Street.

Per Lillian Drinkwater, 1988:

Homer & Lillian (Canclini) Drinkwater bought this property from Edith B. Dixon in 1947. They operated Homer's Grocery Store there for many years - downstairs, Main Street.

The Drinkwaters sold this property to Jim Coupe in 1975. The Coupe's occupy Albion Street house in 1988.

Mendocino Historical Review Board

Post Office Box 744
Mendocino, CA 95460

File



May 31, 1984

Coastal Planning Office
153 Spruce Street
Fort Bragg, Calif. 95437

Re: Deli Building, 45040 Main St.
AP 119-238-10

Please be advised that MHRB approval was given to restoration of the above building Dec. 1, 1975, Eleanor Edwards, rep'g Owner Jim Coupe .. as it now appears .. upper balcony for restaurant, roof overhang to protect restaurant windows from sun, etc. This application was revised to provide for the roof overhang April 15, 1976.

The above in response to request from Barry Cusick who is applying for building permit to replace deteriorating support structures.

Eleanor F. Sverko, chmn

cc: Barry Cusick

two beautiful picture of a Mountain
turdy Lion which you should see to
green a
ecting T
ence. d
used f
tarate
ccess
ce is
ssers
front

119-238-10
12-24-92

went and spoil the effect.
mical
a nail
ng up
were
ags let
stmas
0 ml.
milio
i Hill.
ears a

Contractor Terry Lee Casey and his crew did a big foundation job last week under the water tower that acts as the entrance to the Bay View Cafe. That is a damp area and the redwood underpinning, only 12 years old, was rotted. When Barry Cusick built that tower he used 21 yards of concrete in the foundation. Terry Casey used 17 yards more of concrete for a total of 38 yards,

making it one of the solidest foundations in town.

Two weeks ago Mitch Ortiz and Jeanie were struck by an uninsured driver in Santa Rosa, during a rain storm, and their trusty old chariot was totaled. Fortunately, nobody was injured.

The insurance company provided a rental Nissan that Mitch used for a week. Then he went back to Santa Rosa and drove home in a beautiful '91 Chevrolet Lumina Euro (3.1 liter) pale blue with red and black stripe. It is a V-6 and the odometer read 14,000 miles.

One way of achieving a degree of immortality is by creating memorable works of art. The current religious Christmas stamp is a case in point. Giovanni Bellini (1430?-1516) was an important early Venetian painter under whom

fifth woman sat nearby, chiming into the conversation from time to time. It was obvious that they were enjoying one another's company and the art activity.

Veronica says this technique of cutting paper to form pictures is helpful at levels K-through-12 in bringing out creativity in school children who have writing difficulties. I sat and observed for perhaps 15 minutes and it seemed to me that Veronica and the other people active in the "California Poets in the Schools" program may be onto something of considerable value to education. Bringing special poet-consultants into schools to introduce the technique might be prohibitively expensive, but perhaps some of the most useful seeming ideas could be used by regular teachers at little or no extra cost.

Season's Greetings. Have a good New Year.

Bookmark

ny Miksak is the owner of
illery Bookshop and
okwinkle's, both in Mendocino

Tony Miksak

to ask, but now that her guard was down I couldn't help myself. When we pulled out of Grand Junction I owned a beaded Indian belt, beaded moccasins, and a bronze horse with a removable, tooled-leather saddle.

That is the opening of "This Boy's Life, A Memoir" by Tobias Wolff. The accuracy of memory, consistency of tone and edge of dread remain constant throughout.

Can you solve a mystery for me? The cover of "This Boy's Life" claims it's "Now a major motion picture starring Robert De Niro and Ellen Barkin." Has anybody seen this movie? Was it ever made? (I can't see De Niro playing Tobias at 14, somehow).

Here's another delightful writer, Daniel Pinkwater, from his new collection of stories originally aired as short commentaries on National Public Radio's "All Things Considered." The book is titled, "Chicago Days, Hoboken Nights."

"My earliest memories of going to school in Chicago are something like the film about Scott of the Antarctic that was on TV the other night. I had to cover about five

place of which there was a leather aviator's helmet that buckled under the chin and was reinforced by three or four turns of a woolen muffler.

"There was no way to put the arms down against the sides, knee movement was limited, and should a kid fall down, he'd remain there immobile until someone set him on his feet again.

"Kids who wore glasses, as I did, were further impaired as wisps of breath coming up from under the muffler would cause the lens to fog. The danger was overshooting the school, and waddling off into terra incognita. One had to depend a lot on smells and sounds to get safely to the classroom.

"I still wake up screaming when I dream of unsuiting in the dim and crowded classroom. It must have looked like twenty-five or thirty tiny Houdinis doing the straitjacket trick among the lumps of melting snow. And six or so hours later, we'd have to get back into the life-support outfits for the voyage home.

"I won't dwell on the evils of the diabolical five-buckle galoshes except to say that no one in history has ever succeeded in fastening

played on the gravel in the spring. "The Yo-yo season was the apex of the social year." Manuel from the Duncan Yo-Yo Company appeared one day and... but you'll have to read the story yourself.

Here are two paragraphs written on boats, about boats. First is from "Coasting, A Private Voyage" published in 1987 by Jonathan Raban:

"It is laughable, this business of moving around a small quarter of the world in one's own boat. It is maddeningly slow, frightening, strange, dull, uncomfortable, lovely, inconvenient, revelatory and undignified -- all in the right proportions. It teaches you about a world you'd never guessed at when you were on land, and makes you obsessively alert to distinctions invisible to the people you've left behind there. It turns you into a creature of luck and weather. It shortens your horizon and makes you live by the minute and the hour. It grants you a floating detachment (sometimes serene and sometimes appalled) from the land on the beam. But it is the silliest possible way of getting to Brighton, if getting to Brighton was ever the point of the thing."

TUESDAY, JUNE 13, 1989

JUNE 12-16, 1989
(This page may not be final;
see colored Addendum sheet.)
PAGE 7

6. NEW APPEAL. See AGENDA HEADINGS description on page 21.
- a. Appeal No. A-3-SMC-89-13 (Gabbert, San Mateo Co.) Appeal by Merrill Harwood Bickford from decision of San Mateo County granting permit to Scott & Cathy Gabbert to legalize 4.61-acre lot, on Pescadero Creek Road near Dearborn Park Road, Pescadero, San Mateo County. (JS-SC)
7. COASTAL PERMIT APPLICATION. See AGENDA HEADINGS description on page 21.
- a. Application No. A-3-SMC-89-74 (Parallon Vista, San Mateo Co.) Application of Parallon Vista Associates for two community water wells, two monitoring wells, 240 sq.ft. pumphouse, 2,600 linear feet of 4" or 6" water line and 540,000-gallon water tank, in Princeton/Moss Beach areas, San Mateo County. (DSL-SC)

NORTH COAST AREA

8. ADMINISTRATIVE PERMIT APPLICATIONS. See AGENDA HEADINGS description on page 21.
- 119-238-10
a. Application No. 1-89-34 (Rubino, Mendocino Co.) Application of Joseph Rubino for mobile home for farmworker housing on 43-acre lot, at 26600 Highway 1, south of Point Arena, Mendocino County. (BJS-E)
- b. Application No. 1-89-98 (Raymond, Mendocino Co.) Application of Robert & Loisjean Raymond to remodel & convert single-family home into commercial use, at 45040 Main Street, Town of Mendocino, Mendocino County. (JSG-E)
9. CONSENT CALENDAR. See AGENDA HEADINGS description on page 21.
- a. Application No. 1-88-241 (Mendoza, Mendocino Co.) Application of Mendoza Brothers to expand parking lot, and reconstruct part of warehouse, at Mendoza Market at 10501 Lansing Street, Town of Mendocino, Mendocino County. (LL-E)
- b. Application No. 1-88-254 (Silva, Mendocino Co.) Application of Bill & Margaret Silva for trailer, trail to beach, power pole for drip irrigation, brickwork, pumphouse, pond, deck & fence, at 1100 Navarro Bluff Road, Navarro, Mendocino County. (JSG-E)
- c. Application No. 1-89-13 (Marin Co. Parks excavation) Application of Marin County Parks, Open Space, and Cultural Services Department to excavate 2400 cu.yds. from Pine Gulch Creek and excavate 2,000 cu.ft. from artificial berm at Pine Gulch Creek, Bolinas area of Marin County. (LL-E)
- d. Application No. 1-89-77 (Merrill & Pollard, Mendocino Co.) Application of Peggy Merrill & Donald Pollard for single-family home, garage, driveway, pumphouse, well & septic system, at 7455 North Highway 1, Little River, Mendocino County. (JSG-E)
- e. Application No. 1-89-81 (Sears, Mendocino Co.) Application of C.E. & B.N. Sears for 8-unit inn, at 44840 Main Street, Mendocino, Mendocino County. (JSG-E)
- f. Application No. 1-89-97 (Eureka riprap) Application of City of Eureka Department of Public Works to install riprap and remove fence at shoreline northeast of Dock B, near Waterfront Drive, Eureka, Humboldt County. (LL-E)
- g. Application No. 1-89-99 (Gibson, Mendocino Co.) Application of Westby Gibson for guest cottage & connection to well & septic system, at 32679 Atkins Way, Fort Bragg, Mendocino County. (FVF-E)
- h. Application No. 1-89-106 (Crescent City waterfront path) Application of City of Crescent City for pedestrian & bike path, access ramp & overlook with sidewalk, parking & street improvements, at Battery Point Lighthouse, B Street Pier waterfront area of Crescent City, Del Norte County. (JJM-E)



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482
 120 WEST FIR STREET • FT. BRAGG • CALIFORNIA • 95437

BRENT SCHULTZ, DIRECTOR
 PHONE: 707-234-6650
 FAX: 707-463-5709
 FB PHONE: 707-964-5379
 FB FAX: 707-961-2427
 pbs@mendocinocounty.org
 www.mendocinocounty.org/pbs

EXTERIOR PAINT COLORS IN TOWN OF MENDOCINO POLICY

PURPOSE: Provide guidelines for over-the-counter approval of exterior paint colors for use within the Town of Mendocino based on a select palette of colors approved by the Mendocino Historical Review Board.

GOALS AND OBJECTIVES: Coastal Element Chapter 4.13, *Mendocino Town Plan*, Subsection 4.3, *Mendocino Town Design Guideline Policies* includes Policy DG-1 which states, "All new development shall be designed to be compatible with the historical design character of the Town."

AUTHORITY: The authority for this procedure is contained in Title 20, Division III of the Mendocino County Code (MCC) Chapter 20.760 *Historical Preservation District for Town of Mendocino*. MCC Sections 20.760.030(H) and 20.760.035 identify work in Historical Zones A and B requiring Mendocino Historic Review Board approval. Pursuant to MCC Section 20.760.030(H), changing the exterior color of a structure in Historical Zone A, requires Review Board approval, except as provided by Section 20.760.040(I) which exempts "routine maintenance repainting of any building or structure in the same basic shade of color." Per MCC Section 20.760.035, any non-exempt work in Historical Zone B that would be visible from Historical Zone A requires Review Board approval.

POLICY: Pursuant to MCC Section 20.760.030(H), the Review Board has considered exterior paint colors and found certain Benjamin Moore color collections to be compatible with the circa 1900 colors and historical community character in the Town of Mendocino. Based on this review, the Review Board approves the following combination of exterior building colors, trim colors, and door colors:

- ✓ *Off-White Collection* paint colors applied to exterior building, trim, and doors; or
- ✓ *Off-White Collection* paint colors applied to exterior body with *Historical Collection* paint colors applied to exterior trim and doors (color applied to trim and doors must be the same color).

The Benjamin Moore color palettes are as published in 2019 and are available for review at the Coastal Office of the Mendocino County Department of Planning and Building Services in Fort Bragg or via:

<https://www.BenjaminMoore.com/en-us/color-overview/color-palettes/historical-collection>

<https://www.BenjaminMoore.com/en-us/color-overview/color-palettes/off-white-collection>

Note: Alternative paint brands may be used if the colors are identical to those in the above-referenced Benjamin Moore collections.

PROCEDURE: Exterior paint colors are selected by the property owner. Prior to changing exterior paint colors, property owners shall contact Planning and Building Services and provide proposed color chips and identify, in writing, the proposed color scheme as applied to various building components (body, windows, trim, architectural features, doors, fences, etc.). Planning and Building Services Staff will review the proposal to determine whether proposed colors match previously authorized exterior colors, including the 2019 Benjamin Moore *Off-White Collection* or *Historical Collection*. If the property owner proposes to replicate previously approved colors consistent with MCC Section 20.760.040(I) or will use no more than two exterior colors consistent with the above Policy; then an MHRB Permit shall not be required and a notation will be placed in PBS Address File regarding the authorized exterior paint colors and where the paint would be. All other exterior painting shall require approval by the MHRB.

Policy Initiated By: Mendocino Historical Review Board Paint Subcommittee.

Policy Approved:  Date: 1/31/20
 Chair Dan Potash, Mendocino Historical Review Board

Policy Approved:  Date: 2/3/20
 Director Brent Schultz, Planning and Building Services