



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
 120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

IGNACIO GONZALEZ, INTERIM DIRECTOR
 JULIA KROG, ASSISTANT DIRECTOR
 TELEPHONE: 707-234-6650
 FAX: 707-463-5709
 FB PHONE: 707-964-5379
 FB FAX: 707-961-2427
 pbs@mendocinocounty.org
 www.mendocinocounty.org/pbs

December 20, 2021

Planning – FB
 Department of Transportation
 Environmental Health - Ukiah
 Building Inspection - Ukiah
 Assessor
 Agriculture Commissioner

Air Quality Management
 Archaeological Commission
 Sonoma State University
 Caltrans
 Department of Forestry/ CalFire
 -Land Use
 Department of Fish and Wildlife

California Highway Patrol
 Cloverdale Rancheria
 Redwood Valley Rancheria
 Sherwood Valley Band of Pomo Indians
 Redwood Valley Water District
 Redwood Valley/Calpella Fire District
 Redwood Valley MAC

CASE#: U_2021-0016

DATE FILED: 10/28/2021

OWNER/APPLICANT: FAIZAN CORPORATION

AGENT: RICHARD RUFF & ASSOCIATES INC.

REQUEST: Use Permit to establish and operate a gas station with ten (10) gas pumps, two (2) separate illuminated canopies, twelve (12) new parking spaces, landscaping, and convert part of an existing structure to a convenience store. A variance request is accompanying the Use Permit for a sixty-five (65) foot tall business identification sign.

LOCATION: Inland, 1.6± miles southwest of Redwood valley town center, lying on the north side of North State Street (CR 104), 600± feet east of its intersection with state route 101 (SR 101); located at 9621 N State St, Redwood valley; APN: 162-100-58.

SUPERVISORIAL DISTRICT: 1

STAFF PLANNER: MATT GOINES

RESPONSE DUE DATE: January 3, 2022

PROJECT INFORMATION CAN BE FOUND AT:

www.mendocinocounty.org

Select "Government" from the drop-down; then locate Planning and Building Services/Public Agency Referrals.

Mendocino County Planning & Building Services is soliciting your input, which will be used in staff analysis and forwarded to the appropriate public hearing. You are invited to comment on any aspect of the proposed project(s). Please convey any requirements or conditions your agency requires for project compliance to the project coordinator at the above address, or submit your comments by email to pbs@mendocinocounty.org. Please note the case number and name of the project coordinator with all correspondence to this department.

We have reviewed the above application and recommend the following (please check one):

- No comment at this time.
- Recommend conditional approval (attached).
- Applicant to submit additional information (attach items needed, or contact the applicant directly, copying Planning and Building Services in any correspondence you may have with the applicant)
- Recommend denial (Attach reasons for recommending denial).
- Recommend preparation of an Environmental Impact Report (attach reasons why an EIR should be required).
- Other comments (attach as necessary).

REVIEWED BY:

Signature _____ Department _____ Date _____

CASE: U_2021-0016 & V_2021-0005

OWNER: Faisan Corporation

APPLICANT: Same as owner

AGENT: Richard Ruff (Ruff and Associates Inc.)

REQUEST: Use Permit to establish and operate a gas station with 10 gas pumps, 2 separate illuminated canopies, 12 new parking spaces, landscaping, and convert part of an existing structure to a convenience store. A variance request is accompanying the Use Permit for a 65-foot tall business identification sign.

LOCATION: Inland, 1.6± miles southwest of Redwood valley town center, lying on the north side of North State Street (CR 104), 600± feet east of its intersection with state route 101 (SR 101); located at 9621 N state St, Redwood valley; APN: 162-100-58.

APN/S: 162-100-58

PARCEL SIZE: 1.05±

GENERAL PLAN: Commercial

ZONING: Limited Commercial (C1)

EXISTING USES: Commercial

DISTRICT: 1st McGourty

RELATED CASES:

	ADJACENT GENERAL PLAN	ADJACENT ZONING	ADJACENT LOT SIZES	ADJACENT USES
NORTH:	Commercial (C)	Commercial (C2)	1.63± Acres	Commercial
EAST:	Commercial (C)	Commercial (C1)	4.37±, 1.47± Acres	Commercial
SOUTH:	Agricultural (AG40)	Agricultural (AG40)	State Route 101	State Route 101
WEST:	Commercial (C)	Commercial (C2)	1.63± Acres	Commercial

REFERRAL AGENCIES

LOCAL

- Agricultural Commissioner
- Air Quality Management District
- Airport Land Use Commission
- Archaeological Commission
- Assessor's Office
- Building Division Ukiah
- County Addresser
- Department of Transportation (DOT)
- Environmental Health (EH)
- Farm Advisor
- Forestry Advisor
- LAFCO
- City Planning Department
- Community Services District
- Redwood Valley/Calpella Fire District
- Redwood Valley MAC

- Sanitation District
- School District
- Redwood Valley Water District
- Mendocino Transit Authority (MTA)
- Planning Division Fort Bragg
- Resource Lands Protection Com.
- Sonoma State University
- Trails Advisory Council

STATE

- CALFIRE (Land Use)
- CALFIRE (Resource Management)
- California Coastal Commission
- California Div. of Land Use Protection
- California Div. of Mine Reclamation
- California Dept. of Fish & Wildlife
- California Highway Patrol

- California Native Plant Society
- California State Clearinghouse
- CALTRANS
- Regional Water Quality Control Board
- Sierra Club

FEDERAL

- Sierra Club
- US Department of Fish & Wildlife
- US Department of Health Services
- US Department of Parks & Recreation
- US Natural Resources Conservation

TRIBAL

- Cloverdale Rancheria
- Potter Valley Tribe
- Redwood Valley Rancheria
- Sherwood Valley Band of Pomo Indians

ADDITIONAL INFORMATION:

STAFF PLANNER: Matt Goines

DATE: 12/20/2021

ENVIRONMENTAL DATA

1. MAC:

GIS

Redwood valley

2. FIRE HAZARD SEVERITY ZONE:

CALFIRE FRAP maps/GIS

moderate

3. FIRE RESPONSIBILITY AREA:

CALFIRE FRAP maps/GIS

*Redwood valley\ calpella Fire Protection district
State responsibility area*

4. FARMLAND CLASSIFICATION:

GIS

semi AG in rural commercial (R)

5. FLOOD ZONE CLASSIFICATION:

FEMA Flood Insurance Rate Maps (FIRM)

None

6. COASTAL GROUNDWATER RESOURCE AREA:

Coastal Groundwater Study/GIS

No

7. SOIL CLASSIFICATION:

Mendocino County Soils Study Eastern/Western Part

124—Caspar-Quinliven-Ferncreek complex

180—Mackerricher sandy loam

8. PYGMY VEGETATION OR PYGMY CAPABLE SOIL:

LCP maps, Pygmy Soils Maps; GIS

No

9. WILLIAMSON ACT CONTRACT:

GIS/Mendocino County Assessor's Office

No

10. TIMBER PRODUCTION ZONE:

GIS

No

11. WETLANDS CLASSIFICATION:

GIS

None

12. EARTHQUAKE FAULT ZONE:

Earthquake Fault Zone Maps; GIS

No

13. AIRPORT LAND USE PLANNING AREA:

Airport Land Use Plan; GIS

No

14. SUPERFUND/BROWNFIELD/HAZMAT SITE:

GIS; General Plan 3-11

No

15. NATURAL DIVERSITY DATABASE:

CA Dept. of Fish & Wildlife Rarefind Database/GIS

None

16. STATE FOREST/PARK/RECREATION AREA ADJACENT:

GIS; General Plan 3-10

No

17. LANDSLIDE HAZARD:

Hazards and Landslides Map; GIS; Policy RM-61; General Plan 4-44

No

18. WATER EFFICIENT LANDSCAPE REQUIRED:

Policy RM-7; General Plan 4-34

Yes

19. WILD AND SCENIC RIVER:

www.rivers.gov (Eel Only); GIS

No

20. SPECIFIC PLAN/SPECIAL PLAN AREA:

Various Adopted Specific Plan Areas; GIS

No

21. STATE CLEARINGHOUSE REQUIRED:

Policy

No

22. OAK WOODLAND AREA:

USDA

No

23. HARBOR DISTRICT:

Sec. 20.512

No



PLANNING & BUILDING SERVICES

Office Use Only form with fields for Case No, Date Filed, Fee, Receipt No, and Received By.

APPLICATION FORM

APPLICANT:

Name: FAISAN CORPORATION Phone: 510 862-3333
Mailing Address: 390 EAST GOBBI ST
City: UKIAH State/Zip: CA 95482 Email:

PROPERTY OWNER:

Name: FAISAN CORPORATION Phone: 510 862-3333
Mailing Address: 390 EAST GOBBI ST
City: UKIAH State/Zip: CA 95482 Email:

AGENT:

Name: RICHARD RUFF RUFF & ASSOCIATES INC. Phone: 707-391-7548
Mailing Address: 100 WEST STANDLEY STREET
City: UKIAH State/Zip: CA. 95482 Email: richard@ruffarchitect.com

ASSESSOR'S PARCEL NUMBER/S: 162-100-58

TYPE OF APPLICATION:

- Administrative Permit, Agricultural Preserve: New Contract, General Plan Amendment, Land Division - Minor, Use Permit - Cottage, etc.

I certify that the information submitted with this application is true and accurate.

Signature of Applicant/Agent: [Signature] Date: 10/25/21 Signature of Owner Date

SITE AND PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Department of Planning and Building Services and other agencies who will be reviewing your project proposal. Please remember that the clearer picture that you give us of your project and the site, the easier it will be to promptly process your application. Please answer all questions. Those questions which do not pertain to your project please indicate "Not applicable" or "N/A".

THE PROJECT

1. Describe your project. Include secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc.

ADD 10 BAY AUTOMOBILE FUELING ISLANDS IN FRONT OF EXISTING 12,000 SQUARE FOOT

MULTI-TENANT COMMERCIAL BUILDING. DOMESTIC WATER AND PRIVATE SEWAGE SYSTEMS

EXIST ON THE PARCEL.. THE TOPOGRAPHY OF THE SITE IS NEAR FLAT.. THE SITE OF THE

PROPOSED IMPROVEMENTS OPEN AND MOSTLY PAVED. CURRENTLY USED FOR OUTSIDE

STORAGE OR PARKING. MINIMAL GRADING WILL BE REQUIRED. VEGETATION WILL BE ADDED

IN THE FORM OF LANDSCAPE PLANTING. NEW COMMERCIAL DRIVEWAY OPENINGS WILL BE

CREATED FOR DIRECT ACCESS FROM NORTH STATE STREET. THE NEW DRIVEWAY OPENINGS

WILL BE SHARED WITH THE RESTAURANT TO THE EAST, DIRECTLY, BUT WILL BE AVAILABLE

TO EITHER ADJACENT PROPERTIES USE. A NEW BUSINESS IDENTIFICATION SIGN WILL BE

ADDED WITH UPDATED GRAPHICS. * AND A 65" HIGH SIGN VARIANCE

2. Structures/Lot Coverage	NO. OF UNITS		SQUARE FOOTAGE		
	EXISTING	PROPOSED	EXISTING	PROPOSED	TOTAL
<input type="checkbox"/> Single Family <input type="checkbox"/> Mobile Home <input type="checkbox"/> Duplex <input type="checkbox"/> Multifamily <input checked="" type="checkbox"/> Other: <input type="checkbox"/> Other:					
GRAND TOTAL (Equal to gross area of Parcel):					

3. If the project is commercial, industrial or institutional, complete the following:

Estimated No. of Employees per shift: 3

Estimated No. of shifts per day: 3

Type of loading facilities proposed: TANKER DIRECT

4. Will the project be phased?

YES NO If yes, explain your plans for phasing:

PHASING IF IT OCCURS WILL BE BETWEEN COMPLETION OF FUELING ISLAND AND FACADE RENOVATION OF THE EXISTING COMMERCIAL BUILDING.

THE EXTENT HAS NOT BEEN FULLY ADDRESSED. BUT ACCESSIBILITY UPGRADES WILL NEED TO BE DONE TO THE EXISTING COMMERCIAL BUILDING.

I.E. PATH OF TRAVEL, DOORS, DOOR HARDWARE, AND LANDINGS.. INTERIOR PATH OF TRAVEL AND DOOR AND TOILET ROOM WORK MAY ALSO

BE NECESSARY TO ELIMINATE BARRIERS TO ACCESS..THIS COMMON PRACTICE IN PRIVATELY OWNED PUBLIC ACCOMMODATIONS.

5. Will vegetation be removed on areas other than the building sites and roads?

YES NO If no, explain:

6. Will the project involve the use or disposal of potentially hazardous materials such as toxic substances, flammables, or explosives?

YES NO If yes, explain:

AUTOMOBILE FUEL IS FLAMMABLE AND UNDER THE RIGHT CONDITIONS IT CAN BE EXPLOSIVE.. ALL RELATED SYSTEMS WILL BE FULLY CODE COMPLIANT.

7. How much off-street parking will be provided?

	Number	Size
No. of covered spaces:	12	9'W X 20'D
No. of uncovered spaces:	14	9'W X 20'D
No. of standard spaces:	28	9'W X 20'D
No. of accessible spaces:	1 VAN	17'W X 20'D
Existing no. of spaces:	15 DEFINED	
Proposed additional spaces:	12	
Total:	27	

8. Is any road construction or grading planned? If yes, grading and drainage plans may be required.

YES NO Also, please describe the terrain to be traversed. (e.g., steep, moderate slope, flat, etc.)

AS MENTIONED ABOVE A NEW COMMERCIAL DRIVEWAY OPENING IS PROPOSED. ADDITIONALLY, THE REALIGNMENT OF THE DITCH RUNNING ACROSS

THE FRONTAGE OF THE PROPERTY TO ALLOW FOR LANDSCAPING IN THE RIGHT OF WAY BETWEEN PROPERTY LINE AND THE EDGE OF PAVING IS PLANNED.

9. For grading or road construction, complete the following:

Amount of cut: 50 cubic yards

Amount of fill: 50 cubic yards

Max. height of fill slope: 1 feet

Max. height of cut slope: 1 feet

Amount of import/export: IMPORT 50 cubic yards

Location of borrow or disposal site: ON SITE

10. Does the project involve sand removal, mining or gravel extraction? If yes, detailed extraction, reclamation and monitoring plans may be required.

YES NO

11. Will the proposed development convert land currently or previously used for agriculture to another use?

YES NO

12. Will the development provide public or private recreation opportunities?

YES NO If yes, explain how:

NOT DIRECTLY

13. Is the proposed development visible from State Highway 1 or other scenic route?

YES NO

14. Is the proposed development visible from a park, beach or other recreational area?

YES NO

15. Does the development involve diking, filling, dredging or placing structures in open coastal water, wetlands, estuaries or lakes?

Diking: YES NO

Filling: YES NO

Dredging: YES NO

Structures: Open Coastal Waters Wetlands Estuaries Lakes

If so, what is the amount of material to be dredged/filled?: _____ cubic yards

Location of dredged material disposal site?: _____

Has a U.S. Army Corps of Engineers permit been applied for? YES NO

16. Will there be any exterior lighting?

YES NO If yes, describe below and identify the location of all exterior lighting on the plot and building plans.

GENERAL ILLUMINATION FOR SAFETY WILL BE PROVIDED WITH HIGH EFFICENCY

"BUG" RATED FIXTURES. SOURCES WILL BE POSITIONED SO AS TO NOT BLEED ON TO ADJSCENT PROPERTY PER CAL GREEN.

17. Utilities will be supplied to the site as follows:

Electricity: Utility Company (service exists to parcel)

Utility Company (requires extension of service to site): _____ feet _____ miles

On Site Generation – Specify:

Gas: Utility Company/Tank

On Site Generation – Specify:

None

Telephone: YES NO

18. What will be the method of sewage disposal?

- Community Sewage System (specify supplier): _____
- Septic Tank
- Other (specify): _____

19. What will be the domestic water source:

- Community Water System (specify supplier): REDWOOD VALLEY COUNTY W.D.
- Well
- Spring
- Other (specify): _____

20. Are there any associated projects and/or adjacent properties under your ownership?

- YES NO If yes, explain: (e.g., Assessor's Parcel Number, address, etc.)

NEWLY AQUIRED RESTAURANT PARCEL NUMBER 162-100-59 1.47 ACRES

21. List and describe any other related permits and other public approval required for this project, including those required by other County departments, city, regional, State and Federal agencies:

ENCROACHMENT PERMIT FOR NEW DRIVEWAY OPENINGS AND OTHER WORK IN THE RIGHT OF WAY.

22. Describe the location of the site in terms of readily identifiable landmarks: (e.g., mailboxes, mile posts, street intersections, etc.)

INTERSECTION OF NORTH STATE STREET AND UVA DRIVE AND HIGHWAY 101.

23. Are there existing structures on the property? If yes, describe below and identify the use of each structure on the plot plan or tentative map if the proposal is for a subdivision.

- YES NO

THE 12,000 SQ FT MULTI-TENANT COMMERCIAL BUILDING HAS HAD VARIOUS TENANTS,
INCLUDING FOOD SERVICE, RETAIL SALES, AND SIMILAR COMMERCIAL BUSINESSES.
TO THE SOUTH AN EXISTING RESTAURANT

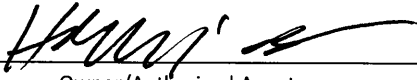
24. Will any existing structure be demolished or removed? If yes, describe the type of development to be demolished or removed, including the relocation site, if applicable.

- YES NO

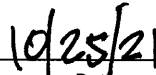
THE EXISTING CARGO CONTAINERS WILL BE MOVED OFF SITE.

CERTIFICATION AND SITE VIEW AUTHORIZATION

1. I hereby certify that I have read this completed application and that, to the best of my knowledge, the information in this application, and all attached appendices and exhibits, is complete and correct. I understand that the failure to provide any requested information or any misstatements submitted in support of the application shall be grounds for either refusing to accept this application, for denying the permit, for suspending or revoking a permit issued on the basis of such misrepresentations, or for seeking of such further relief as may seem proper to the County.
2. I hereby grant permission for County Planning and Building Services staff and hearing bodies to enter upon and site view the premises for which this application is made in order to obtain information necessary for the preparation of required reports and render its decision.



 Owner/Authorized Agent




 Date

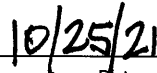
NOTE: IF SIGNED BY AGENT, OWNER MUST SIGN BELOW.

AUTHORIZATION OF AGENT

I hereby authorize _____ to act as my representative and to bind me in all matters concerning this application.



 Owner



 Date

MAIL DIRECTION

To facilitate proper handling of this application, please indicate the names and mailing addresses of individuals to whom you wish correspondence and/or staff reports mailed if different from those identified on Page 1 of the application form.

Name HAJI M. ALAM	Name RICHARD RUFF ARCHITECT	Name
Mailing Address FAIZAN CORPORATION 390 E. GOBBI ST. UKIAH, CA 95482	Mailing Address RICHARD RUFF AND ASSO 100 WEST STANDLEY UKIAH, CA 95482	Mailing Address

Indemnification And Hold Harmless

ORDINANCE NO. 3780, adopted by the Board of Supervisors on June 4, 1991, requires applicants for discretionary land use approvals, to sign the following Indemnification Agreement. Failure to sign this agreement will result in the application being considered incomplete and withheld from further processing.

Indemnification Agreement

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County of Mendocino, its agents, officers, attorneys, employees, boards and commissions, as more particularly set forth in Mendocino County Code Section 1.04.120, from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or adoption of the environmental document which accompanies it. The indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the County, its agents, officers, attorneys, employees, boards and commissions.

10/25/21
Date


Applicant



COUNTY OF MENDOCINO

DEPARTMENT OF PLANNING & BUILDING SVCS.

860 NORTH BUSH STREET • UKIAH, CALIFORNIA 95482
120 WEST FIR STREET • FORT BRAGG, CALIFORNIA 95437

IGNACIO GONZALEZ, INTERIM DIRECTOR
JULIA ACKER-KROG, ASSISTANT DIRECTOR
PHONE: 707-234-6650
FAX: 707-463-5709
FB PHONE: 707-964-5379
FB FAX: 707-961-2427
pbs@mendocinocounty.org
www.mendocinocounty.org/pbs

ACKNOWLEDGEMENT OF DEPOSIT/HOURLY FEE

By signing below, the applicant acknowledges that the staff at Planning and Building Services has discussed the potential for collection of a deposit fee for the projects listed below (as adopted by the Board of Supervisors Resolution No.'s 11-072, 16-150, 18-122 and 19-170)

1. Division of Land Project
2. General Plan Project
3. Coastal Project
4. Zoning Project
5. Administrative Project
6. Cannabis Project
7. Private Road Naming

Once an application has been submitted and the processing costs approach 80% of the application fee, additional staff processing time will be billed at \$90.00/hour. Staff will notify the applicant/owner that a deposit equal to 50% of the initial filing fee is required for further processing, and more than one deposit may be required depending on the complexity of the project and the staff time necessary to complete application processing.

I acknowledge that I was advised of the deposit fee for continued processing after the initial application fee has been expended.

A handwritten signature in black ink, appearing to read "Richard K. Telford".

Applicant Signature

10/25/21
Date

OFFICE USE ONLY:

Project or Permit Number

**FINDINGS FOR VARIANCES OUTSIDE THE COASTAL ZONE
MENDOCINO COUNTY CODE SECTION 20.200.020(A) THROUGH
(E)**

Please provide information to substantiate the required findings. All of the five findings must be substantiated by adequate and accurate information. Attach additional information if necessary.

(A) That there are special circumstances applicable to the property involved, including size, shape, topography, location, or surrounding;

The property in question is zoned C.1 (Limited Commercial) and fronts on a section of North State Street that is a frontage road running parallel with State Highway #101. This section of the State Highway is posted for maximum speed of 65 miles per hour. The profile of the highway through this area is on an up gradient in both directions from this site. The alignment is on a gentle curve to the left coming from the south and continuing to the north the highway climbs and trends to the right.

The property was zoned C.1 (Limited Commercial) by the Board of Supervisors back in 1987. It was the hope of the County fathers that this land use designation would facilitate a balance between jobs and housing. This area was to be the area where a limited number of retail commercial goods and services could be provided to meet the day to day needs of local residents. It was their hope that that both housing and commerce could develop in balanced proportions and that undesirable traits like excessive noise and/or traffic could be minimized.

Historically businesses have had trouble succeeding in this location. At least part of the problem is communication with the traveling public and getting them to slow and turn off the highway. The hope is to attract and establish other businesses that could benefit and market to the same public community and travelers as well.

(B) That such special circumstances or conditions are not due to any action of the applicant subsequent to the application of the zoning regulations contained in the Division;

Time has proven that unless a special approach is deployed to communicate with passing motorists and a special effort is made to attract neighboring residents that this cycle will continue to repeat itself.

It will take a special selection and balance of businesses to overcome the obstacles to doing business.

(C) That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zone and denied to the property in question;

If this little enclave of businesses are going to attract other businesses and prosper this variance is necessary to preserve and allow these enterprises to enjoy of a substantial property right possessed by other property in other in similarly zoned property in the area.



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING & BUILDING SVCS.

860 NORTH BUSH STREET • UKIAH, CALIFORNIA 95482
 120 WEST FIR STREET • FORT BRAGG, CALIFORNIA 95437

IGNACIO GONZALEZ, INTERIM DIRECTOR
 JULIA ACKER-KROG, ASSISTANT DIRECTOR
 PHONE: 707-234-6650
 FAX: 707-463-5709
 FB PHONE: 707-964-5379
 FB FAX: 707-961-2427
pbs@mendocinocounty.org
www.mendocinocounty.org/pbs

ACKNOWLEDGEMENT OF DEPOSIT/HOURLY FEE

By signing below, the applicant acknowledges that the staff at Planning and Building Services has discussed the potential for collection of a deposit fee for the projects listed below (as adopted by the Board of Supervisors Resolution No.'s 11-072, 16-150, 18-122 and 19-170)

1. Division of Land Project
2. General Plan Project
3. Coastal Project
4. Zoning Project
5. Administrative Project
6. Cannabis Project
7. Private Road Naming

Once an application has been submitted and the processing costs approach 80% of the application fee, additional staff processing time will be billed at \$90.00/hour. Staff will notify the applicant/owner that a deposit equal to 50% of the initial filing fee is required for further processing, and more than one deposit may be required depending on the complexity of the project and the staff time necessary to complete application processing.

I acknowledge that I was advised of the deposit fee for continued processing after the initial application fee has been expended.

Applicant Signature


Date

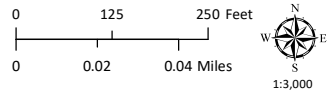
OFFICE USE ONLY:

Project or Permit Number



CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah

 Public Roads



AERIAL IMAGERY

PROVIDING COUNTY PLANNING DEPARTMENT, UKIAH



COUNTY OF MENDOCINO

PLOT PLAN BUILDING INSPECTION DIVISION

JOB ADDRESS 9621 NORTH STATE STREET

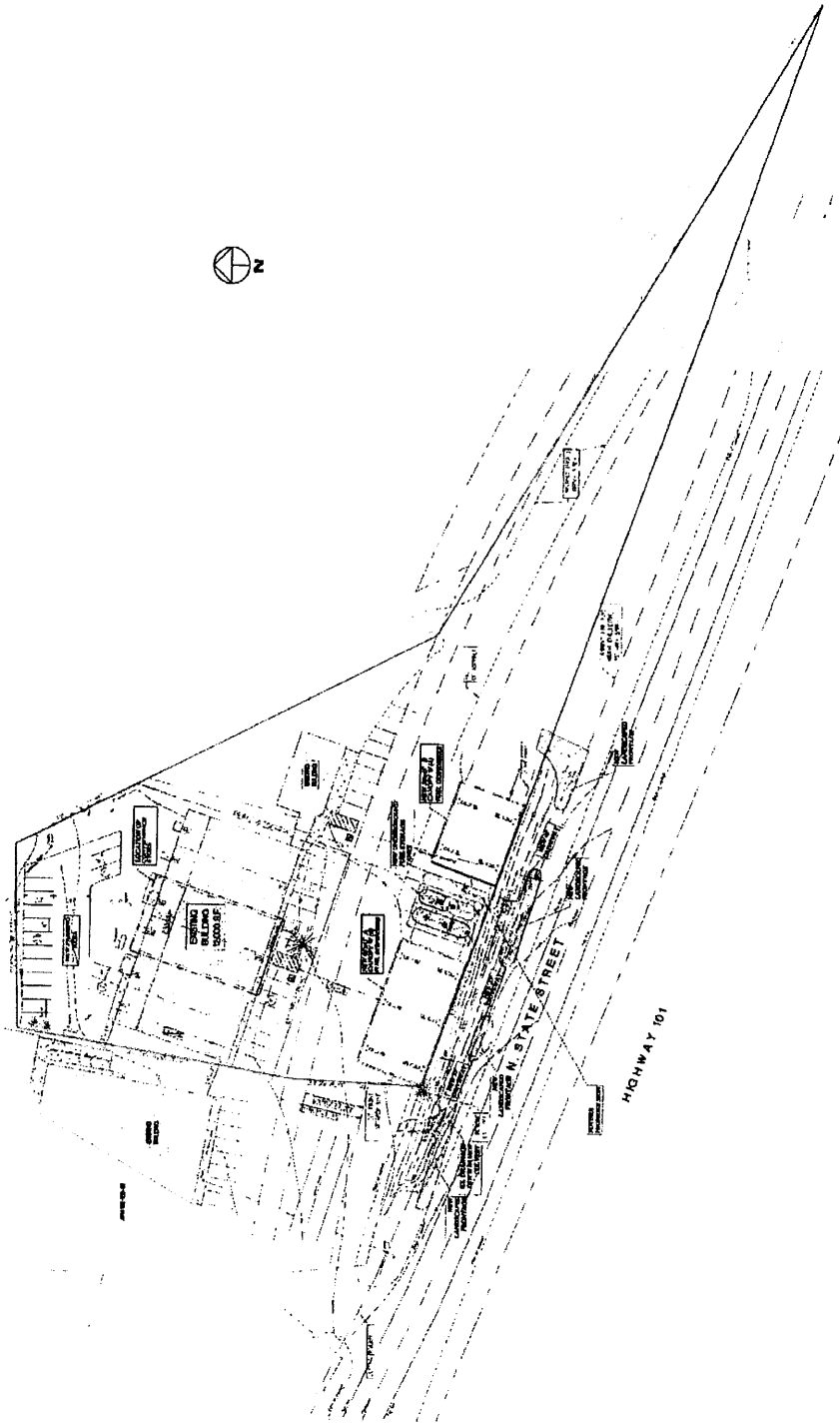
ASSESSOR'S PARCEL NO. 162-100-58 & 59

APPLICATION NO.

TOWN OR COMMUNITY UKIAH, CA 95482

OWNER'S (LEGAL) NAME FAIZAN CORPORATIONHAJI ALAM

Show all buildings, structures, mobile homes, septic tanks and leach fields, wells, streams, lakes, roads, streets, alleys, retaining walls, fences, easements, electrical power poles, and any other improvements and indicate all distances between. Specify whether existing or proposed. Draw and show scale. Indicate orientation with a North Arrow.





COUNTY OF MENDOCINO

**PLOT PLAN
BUILDING INSPECTION DIVISION**

JOB ADDRESS 9621 NORTH STSTE STREET

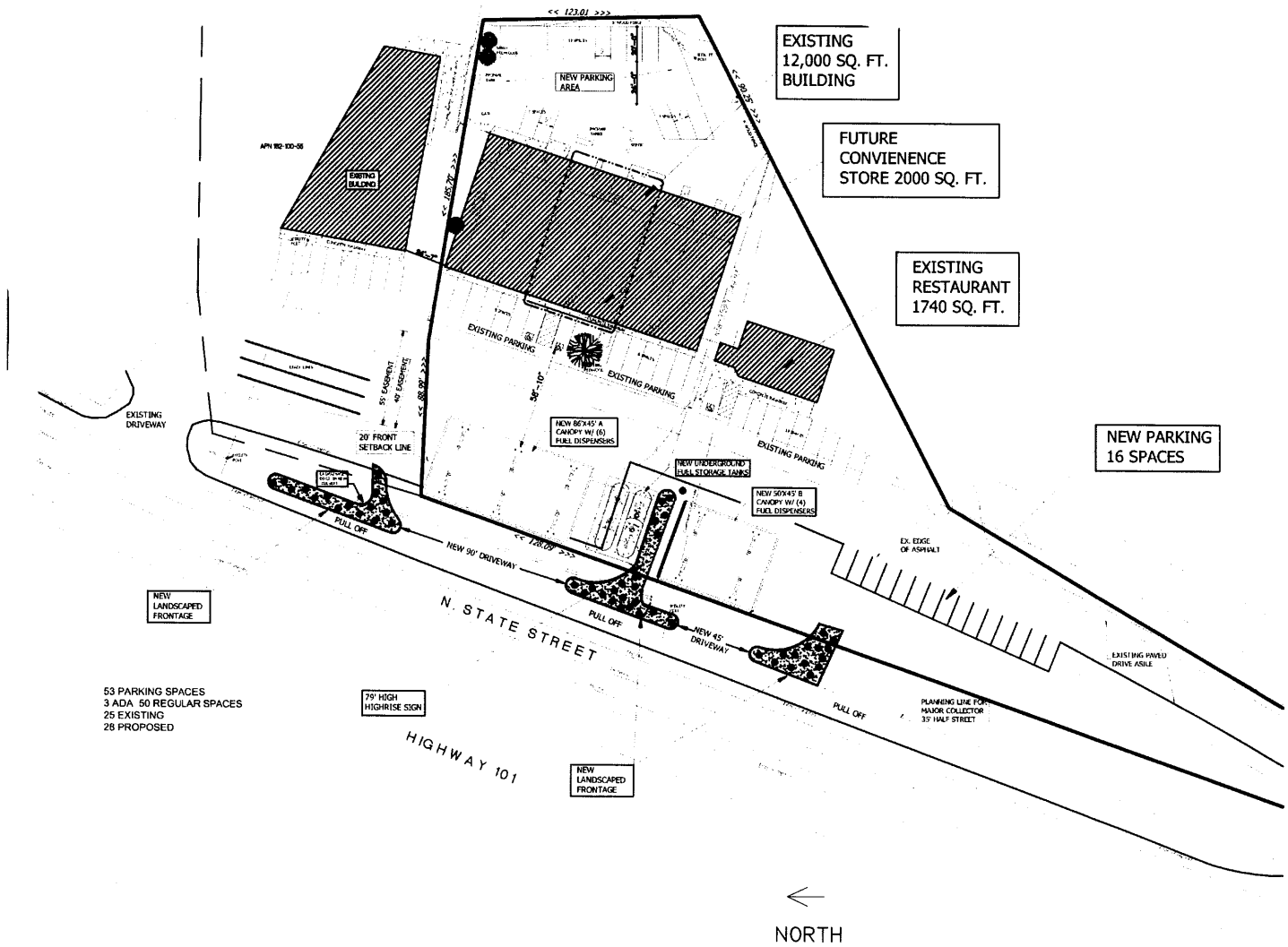
ASSESSOR'S 162-100-58 & 59
PARCEL NO.

APPLICATION NO.

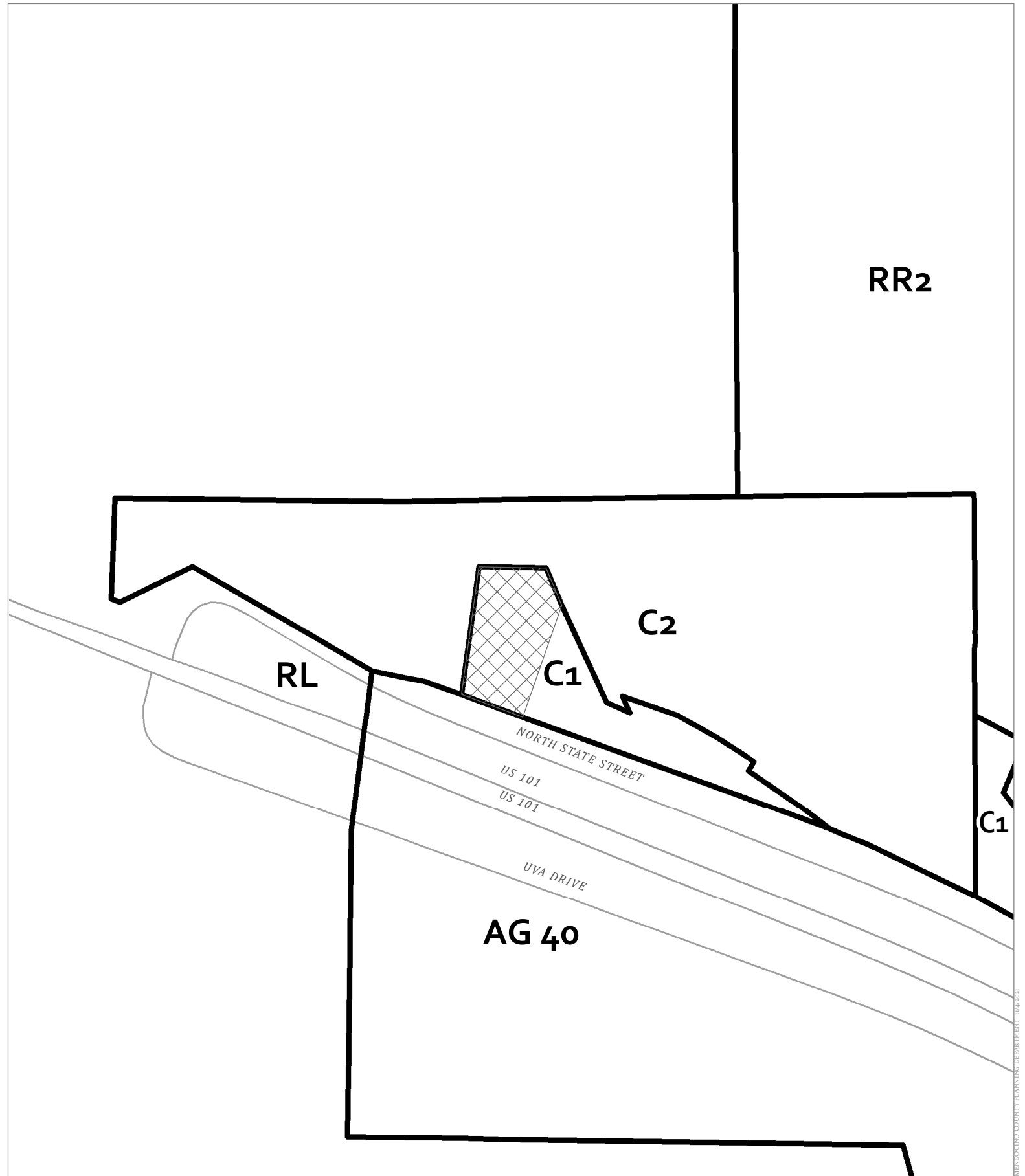
TOWN OR COMMUNITY REDWOOD VALLEY, CA 95470

OWNER'S (LEGAL) NAME FAIZAN CORPORATION HAGI ALAM

Show all buildings, structures, mobile homes, septic tanks and leach fields, wells, streams, lakes, roads, streets, alleys, retaining walls, fences, easements, electrical power poles, and any other improvements and indicate all distances between. Specify whether existing or proposed. Draw and show scale. Indicate orientation with a North Arrow.





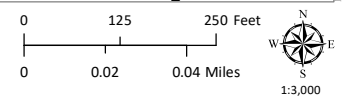
53 PARKING SPACES
3 ADA 50 REGULAR SPACES
25 EXISTING
28 PROPOSED



MENDOCINO COUNTY PLANNING DEPARTMENT - 11/11/2021

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah

 Zoning Districts
 Public Roads



ZONING DISPLAY MAP

RL 160

RR 2

C

AG 40

US 101

US 101

NORTH STATE STREET

UVA DRIVE

General Plan Classes

Public Roads

0 125 250 Feet
0 0.02 0.04 Miles



1:3,000

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah

GENERAL PLAN CLASSIFICATIONS

MENDOCINO COUNTY PLANNING DEPARTMENT - 11/17/2021

162-070-01
THOMAS RAWLES
RL160 39.06 A± (1703585.58 A±)

162-070-17
MICHAEL NISKI
RR2 4.27 A± (185927.34 A±)

162-100-68
JAY WOIDA
C212K 2.59 A± (111299.32 A±)

162-100-55
FRANK ROSE
C112K 1.63 A± (68300.18 A±)

162-100-67
JAY WOIDA
C212K 0.51 A± (22024.34 A±)

162-100-58
CORPORATIO FAIZAN
C112K 1.05 A± (43366.75 A±)

162-100-41
GALLEGOS ALFONSO
C212K 4.37 A± (195433.04 A±)

162-100-60
PATRICK GALLEGOS
C212K 2.5 A± (109212.79 A±)

162-100-59
VINCENT SCATURRO
C112K 1.47 A± (60103.71 A±)

162-100-61
PATRICK GALLEGOS
C212K 4 A± (176997.62 A±)

165-070-RW
0 A± (10501971.39 A±)

162-100-54
SOCIETY HUMANE
RL160 5.65 A± (276378.69 A±)

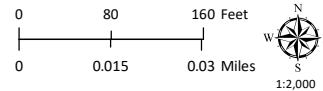
162-100-52
JORGE BAROZA
RL160 3.34 A± (149808 A±)

162-100-39
TIM TODD
RL160 0.76 A± (31006 A±)

162-100-64
JOSE MEZA
AG40 2.9 A± (131150.64 A±)

162-100-65
JOSE MEZA
AG40 2.9 A± (130218.68 A±)

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah






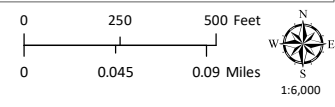
ADJACENT PARCELS



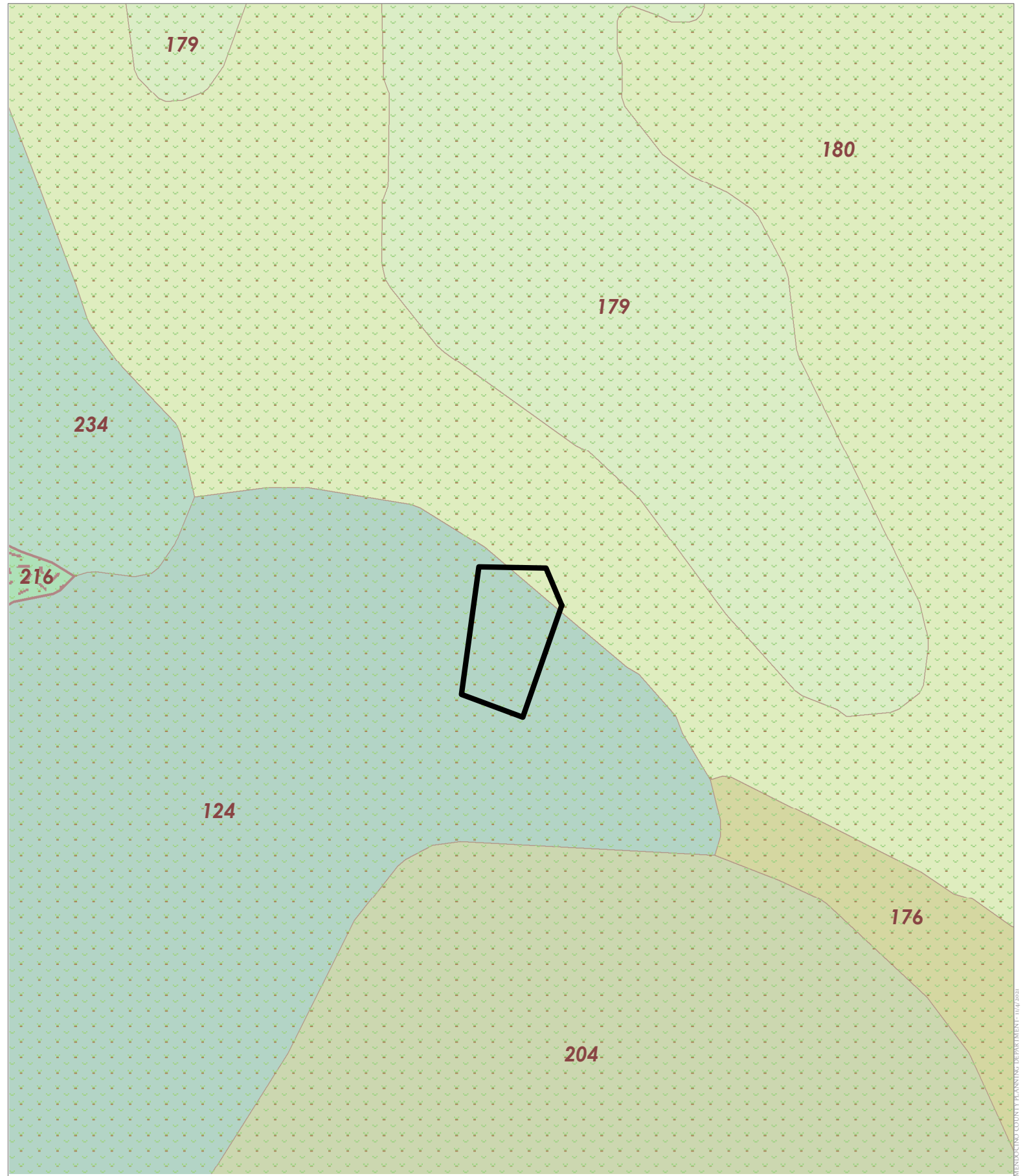
**REDWOOD VALLEY/CALPELLA
FIRE PROTECTION DISTRICT**

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah

-  High Fire Hazard
-  Moderate Fire Hazard
-  County Fire Districts






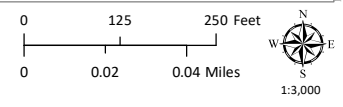
FIRE HAZARD ZONES & RESPONSIBILITY AREAS
 STATE RESPONSIBILITY AREA



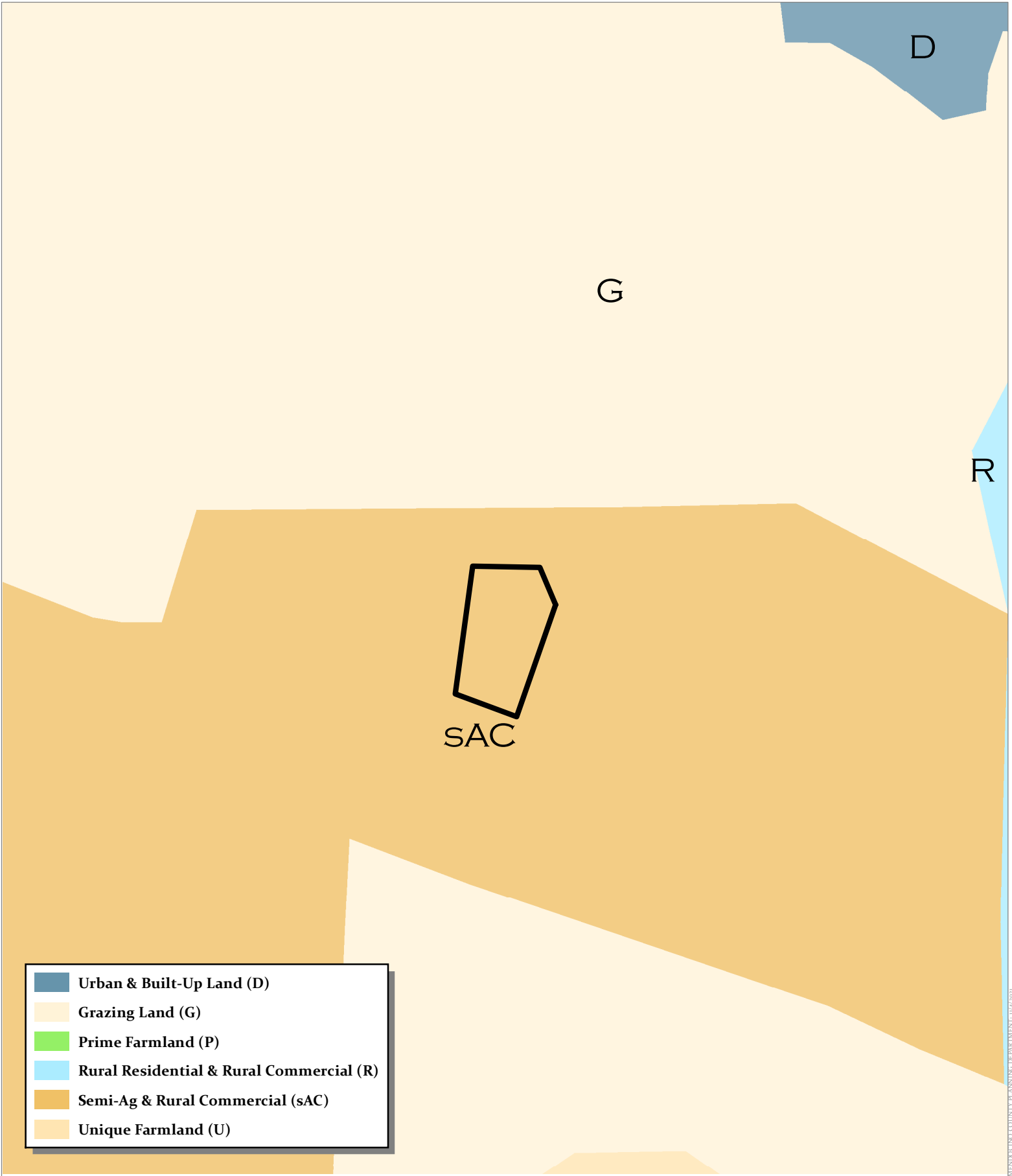
MENDOCINO COUNTY PLANNING DEPARTMENT - 11/17/2021

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah

-  Eastern Serpentine Inclusions
-  Naturally Occurring Asbestos
-  Eastern Study Soil Types

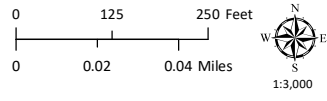


EASTERN SOIL CLASSES



MENDOCINO COUNTY PLANNING DEPARTMENT - 11/17/2021

CASE: U_2021-0016
OWNER: Faisan Corporation
APN: 162-100-58
APLCT: Faisan Corporation
AGENT: Richard Ruff Ruff & Associates
ADDRESS: 390 East Gobbi St, Ukiah



FARMLAND CLASSIFICATIONS

GENERAL NOTES

- REGULATORY AGENCIES
- ALL WORK SHALL CONFORM TO THE MOST CURRENT APPLICABLE CALIFORNIA CODE OF REGULATIONS (TITLE 24) PART 51-12, INCLUDING BUT NOT LIMITED TO: CALIFORNIA ADMINISTRATIVE CODE, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA HISTORICAL BUILDING CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, & 2019 CALIFORNIA REFERENCED STANDARDS CODE.
 - SEPARATE DRAWINGS, CALCULATIONS AND SUBMITTAL MATERIALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL OF SIGNAGE.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. INSPECTION REQUESTS SHALL BE IN ACCORDANCE WITH REGULATORY AGENCIES' REQUIREMENTS. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK.
 - A RECORD OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REGULATORY AGENCY REQUIREMENTS.
 - APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES WHICH ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT. A REPRODUCIBLE AS-BUILT SET SHALL BE PROVIDED TO THE OWNER WHEN COMPLETE.
- PREPARATION FOR CONSTRUCTION
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF/HERSELF WITH THESE DRAWINGS AND THE SITE CONDITIONS, AND TO VERIFY ALL DETAILS WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.
 - DIMENSIONS ARE TO FACE LINE OF STUD (F.O.S.) UNLESS OTHERWISE NOTED. WHERE REQUIRED, MINIMUM CLEAR DIMENSIONS HAVE BEEN NOTED. SEE COVER SHEET FOR GRAPHIC EXPLANATION.
 - ANY DISCREPANCY OR ERROR IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE COMMENCEMENT OF WORK.
 - THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. WORK NOT EXPRESSLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
 - THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE/SHE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND HIS CONSULTANTS DO NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PROVIDED BY THE ARCHITECT AND HIS CONSULTANTS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES, WHICH ARE FURNISHED BY THE ARCHITECT AND HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL, AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
 - THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR AMBIGUITIES AND OMISSIONS NOT BROUGHT TO THEIR ATTENTION.
 - BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE/SHE HAS EXAMINED THE DRAWINGS AND FOUND THAT THEY ARE ADEQUATE FOR COMPLETION OF THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE IN ACCORDANCE WITH THE DECISION OF THE ARCHITECT AND/OR OWNER.
 - CONTRACTOR'S SCOPE OF WORK: ALL LABOR, MATERIALS, FABRICATION, EQUIPMENT, APPLIANCES, APPURTENANCES, TRANSPORTATION AND SERVICES REQUIRED FOR CONSTRUCTION, ERECTION, AND INSTALLATION OF ALL OF THE VARIOUS WORK INDICATED ON THE DRAWINGS AND/OR SPECIFIED UNDER EACH OF THE SPECIFICATION SECTIONS. ANY SITE DEMOLITION AND REMOVAL OF ANY MATERIAL, RUBBISH, OR DEBRIS ABOVE OR BELOW GRADE; ALL EARTHWORK AND FOUNDATION WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE WORK IN ACCORDANCE WITH THE PROPERTY LINES AND ELEVATIONS PER THE SURVEY DRAWING AND GRADING/DRAINAGE PLAN.
 - CONTRACTOR TO COORDINATE ALL PLUMBING, GAS, ELECTRICAL, SPRINKLER, AND HVAC SYSTEMS FOR COMPATIBILITY WITH THE PROPOSED DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL ELECTRICAL, PLUMBING, AND HVAC REQUIREMENTS FOR EXISTING OR SPECIFIED EQUIPMENT PRIOR TO CONSTRUCTION. ADDITIONALLY, CONTRACTOR SHALL CONFIRM EQUIPMENT LIST WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
 - RUFF + ASSOCIATES, INC. SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, HANDLING, PRESENCE, DISPOSAL, REMOVAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), OR OTHER TOXIC SUBSTANCES. SUCH WORK, IF REQUIRED, SHALL BE COMPLETED UNDER SEPARATE CONTRACT.

DRAWING INDEX

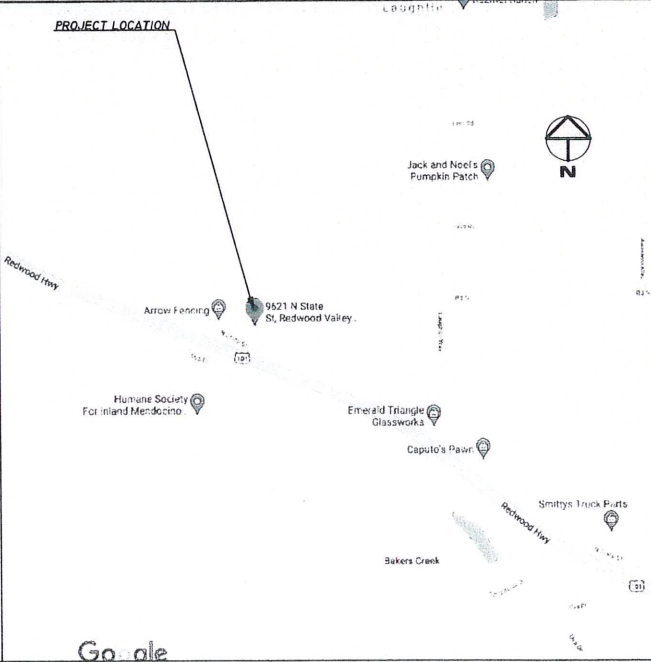
ARCHITECTURAL

- TI.1 PROJECT TITLE SHEET
- TI.2 CONSTRUCTION WASTE MANGEMENT PLAN
- AI SITE PLAN
- A2.0 EXISTING FLOOR PLAN
- A2.1 PROPOSED LANDSCAPING PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 FUELING ISLANDS PROPOSED ELEVATIONS A
- A3.2 FUELING ISLANDS PROPOSED ELEVATIONS B

GENERAL NOTES

- QUALITY AND JOB MANAGEMENT
- THE CONTRACTOR SHALL CONSULT THE INTERIOR FINISH SCHEDULE FOR ALL INTERIOR MATERIALS COORDINATION, CABINETS, ETC.
 - ALL ITEMS OF MILLWORK SHALL BE CAREFULLY ERECTED WITH TIGHT-FITTING JOINTS, CAREFULLY CUT AND SECURED. EXPOSED NAILS OR SCREWS SHALL BE SET IN PUTTY. BACK PRIME ALL MILLWORK BEFORE INSTALLATION AND PROTECT AGAINST DAMPNESS. MOLDS AND FACES SHALL BE CLEAN CUT AND TRUE PATTERN. ALL WORK SHALL BE THOROUGHLY CLEANED AND SANDED TO RECEIVE THE FINISH. SHARP CORNERS OF SMALL MEMBERS OF FINISH WOODWORK SHALL BE SLIGHTLY ROUNDED.
 - ALL FRAMING SHALL BE INSTALLED CLOSELY FITTED, ACCURATELY SET IN PLACE TO THE REQUIRED LINES AND LEVELS, AND SHALL BE OF THE DIMENSIONS SHOWN ON DRAWINGS. DO NOT IMPAIR STRUCTURAL MEMBERS BY CUTTING OR DRILLING - CONSULT ARCHITECT.
 - ALL PROPRIETARY PRODUCTS NOTED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND HAVE PRIOR APPROVAL FROM THE LOCAL GOVERNING AGENCIES.
 - THE ARCHITECT AND THE ENGINEER WILL MAKE PERIODIC VISITS TO THE JOB SITE TO OBSERVE THE PROGRESS OF THE WORK. THE ARCHITECT AND ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY PERSONS PERFORMING ANY OF THE WORK OR FOR FAILURE OF ANY OF THOSE PARTIES TO CARRY OUT THE WORK IN CONFORMANCE WITH CONTRACT DOCUMENTS.
 - CUTTING & PATCHING: AVOID DAMAGING ADJACENT EXISTING WORK. REPAIR OR REPLACE AT NO COST TO OWNER ANY DAMAGE CAUSED BY CONSTRUCTION.
 - TEMPORARY SHORING: STRUCTURALLY BRACE AND SUPPORT ALL MATERIALS REQUIRING THE SAME FOR THE WORK TO OCCUR SAFELY AND IN COMPLIANCE WITH JURISDICTIONAL REGULATIONS.
- CHANGES TO WORK & SUBMITTALS
- CHANGES OR MODIFICATIONS TO THE WORK DURING CONSTRUCTION SHALL BE RECORDED WITH THE APPROPRIATE REGULATORY AGENCIES, AND APPROVALS FROM SUCH AGENCIES SHALL BE OBTAINED PRIOR TO MAKING SUCH CHANGES. REGULATORY AGENCIES SHALL BE NOTIFIED BY THE CONTRACTOR OF ALL SUCH CONSTRUCTION CONTRACT CHANGES AFTER PERMITS ARE ISSUED.
 - THE ARCHITECT SHALL BE INFORMED, IN WRITING, OF ALL CHANGES OR SUBSTITUTIONS MADE TO THESE PLANS AND SPECIFICATIONS. THE ARCHITECT SHALL HAVE NO IMPLIED OR ASSUMED RESPONSIBILITY FOR CHANGES IMPLEMENTED WITHOUT THE ARCHITECT'S PRIOR APPROVAL.
 - SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH A MINIMUM OF TWO (2) COPIES OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE. A MINIMUM OF THREE (3) WEEKS PRIOR TO FABRICATION, THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERSEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
 - SUBSTITUTIONS: PROPRIETARY ARTICLES MAY BE SUBSTITUTED IF, IN THE OPINION OF THE ARCHITECT AND OWNER, THE MATERIAL OR ARTICLE IS EQUAL TO THAT SPECIFIED. REQUEST FOR SUBSTITUTIONS SHALL NOT DELAY WORK. CONTRACTOR SHALL COORDINATE ACCEPTED SUBSTITUTIONS WITHOUT ADDITIONAL COST TO OWNER. ALL SUBSTITUTIONS MUST HAVE WRITTEN PERMISSION. COLOR OR SAMPLES OF ALL MATERIALS THAT AFFECT THE AESTHETICS OF THE DESIGN MUST BE SUBMITTED, WHEN A MANUFACTURED PRODUCT IS NOT SPECIFIED, CONTRACTOR WILL UTILIZE THE HIGHEST QUALITY PRODUCT AVAILABLE ON THE MARKET IN THE MIDDLE PRICE RANGE. CONTRACTOR SHALL ON NO ACCOUNT USE LOWER-END PRODUCTS AT THE BOTTOM PRICE RANGE WHEN BETTER QUALITY PRODUCT IN THE MIDDLE PRICE RANGE EXISTS.
 - ONLY DRAWINGS, SPECIFICATIONS, ADDENDA AND CHANGE ORDERS BEARING APPROVAL OF OWNER SHALL BE USED IN THE EXECUTION OF WORK PERMITTED ON JOB SITE.
 - ADDENDA WILL BE ISSUED DURING BIDDING TO CLARIFY DRAWINGS (AND SPECIFICATIONS) AS REQUIRED. THESE WILL BECOME A PART OF THE CONTRACT - CONSULT ARCHITECT.
 - THERE SHALL BE NO DEVIATIONS WHATSOEVER FROM THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL THEREOF. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.
- COMPLETION
- ALL WORK SHALL BE CLEAN AND READY FOR USE UPON COMPLETION. EXPOSED AND SEMI-EXPOSED SURFACES BE DUSTED, MOPPED, WASHED, WIPED AND BUFFED AS NECESSARY TO LEAVE WORK IN A NEW, CLEAN, IMMACULATE CONDITION.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING OWNER(S) WITH RECORD CONSTRUCTION/AS-BUILT SET OF DRAWINGS AND ALL WARRANTIES FOR PRODUCTS USED AFTER COMPLETION OF PROJECT.

VICINITY MAP



SYMBOLS AND ABBREVIATIONS

ABBREVIATION TERM:					
F.F.L.	FINISH FLOOR	P.T.	PRESSURE TREATED		
F.F.	FINISH FLOOR	PTD.	PAINTED		
FL.	FLOOR	PTN.	PARTITION		
FLOOR.	FLOOR	R.	RISER		
F.O.F.	FACE OF FINISH	R.D.	ROOF DRAIN		
F.O.S.	FACE OF STUD	REF.	REFRIGERATOR		
F.R.P.	FIBERGLASS REINFORCED PANEL	REG.	REGISTER		
F.S.E.C.	FOOD SERVICE EQUIPMENT	REQ.	REQUIRED		
FTG.	FOOTING	RM.	ROOM		
FT.	FOOT OR FEET	R.O.	ROUGH OPENING		
GA.	GAUGE	R.S.	ROUGH SAWN		
GALV.	GALVANIZED	RWD.	REDWOOD		
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE	R.W.L.	RAIN WATER LEADER		
G.B.	GRAB BAR	SCH.	SCHEDULE		
G.C.	GENERAL	SEC.	SECTION		
GL.	GLASS	S.F.	SQUARE FEET		
GND.	GROUND	SH.	SHELF		
G.S.M.	GALVANIZED SHEET METAL	SHR.	SHOWER		
G.W.B.	GYPSUM WALL BOARD	SHTG.	SHEATHING		
H.B.	HOSE BIBB	SHT.	SHEET		
H.D.W.	HARDWOOD	SHR.	SIMILAR		
HDRW.	HARDWARE	SHT.	SPECIFICATION		
HGT.	HEIGHT	SO.	SQUARE		
HR.	HORIZONTAL	STD.	STANDARD		
H.R.	HOURS	STL.	STEEL		
INSUL.	INSULATION	S.S.	STAINLESS STEEL		
INT.	INTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS		
JANIT.	JANITOR	STR.	STRUCTURE		
JOINT	JOINT	SUSP.	SUSPENDED		
K.E.C.	KITCHEN EQUIPMENT CONTRACTOR	S.W.	SHEAR WALL		
KITCHEN	KITCHEN	T	TREAD		
LAV.	LAVATORY	T.B.	TOWEL BAR		
LAV.	LAVATORY	T.B.D.	TO BE DETERMINED		
MECH.	MECHANICAL	TEMP.	TEMPERED		
MIN.	MINIMUM	T.D.C.	TOP OF CURB		
MISC.	MISCELLANEOUS	T&G	TONGUE AND GROOVE		
MTD.	MOUNTED	THK.	THICK		
MTL.	METAL	T.N.	TOE NAIL		
MTRL.	MATERIAL	T.O.B.	TOP OF BEAM		
N.	NEW	T.O.C.	TOP OF CONCRETE		
N.I.C.	NOT IN CONTRACT	T.O.P.	TOP OF PAVEMENT		
N.O.	NUMBER	T.O.P.L.	TOP OF PLATE		
NOM.	NOMINAL	T.O.W.	TOP OF WALL		
N.T.S.	NOT TO SCALE	TY.	TYPICAL		
N.T.S.	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE		
O.	OVER CENTER	VERT.	VERTICAL		
O.C.	ON CENTER	V.I.F.	VERIFY IN FIELD		
O.D.R.	OVERFLOW DRAIN	WT.	WEIGHT		
O.H.	OVERHEAD	W/	WITH		
O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED	W.C.	WATER CLOSET		
		WD.	WOOD		
		WDW.	WINDOW		
		W.H.	WATER HEATER		
		W/I	WITHIN		
		W/O	WITHOUT		
		W.P.	WATER PROOF		
		W.R.	WATER RESISTANT		
		WSCT.	WAINSCOT		

PROJECT TEAM

ARCHITECT
RUFF + ASSOCIATES INC.
ARCHITECTURE & PLANNING
RICHARD P. RUFF ARCHITECT C-11736
100 WEST STANDLEY ST.,
UKIAH, CA 95482
707-472-0525 FAX 707-472-0527

PROPOSED PARCEL DATA

LOCATION: 9621 NORTH STATE STREET
REDWOOD VALLEY, CA, 95470
APN: 162-100-58 AND 59
ZONING : CI-12K
LOT SIZE : LOT 2.54 ACRES
EXISTING RESIDENCE : 12,000 S.F.

CODE ANALYSIS
OCCUPANCY TYPE: GROUP R-1
CONSTRUCTION TYPE: V-B

PROPERTY LINE CONSTRUCTION: PROPOSED (ALLOWED)
NORTH SETBACK: 0'-0"±
SOUTH SETBACK: 0'-0"±
WEST SIDE SETBACK: 0'-0"±
EAST SIDE SETBACK: 0'-0"±

SITE SUPPORT DATA
FIRE DISTRICT: REDWOOD VALLEY FIRE DISTRICT
SEWER: SEPTIC
WATER: WELL
GAS: PROPANE
ELECTRIC: PG&E

SCOPE OF WORK

NEW FUELING STATION (CHEVRON)
AND CONVIENENCE STORE

PARKING ANALYSIS

9621 North State Street Redwood Valley Parking Requirements
12,000 sq ft retail space 12,000 / 300 = 40 spaces
2 ADA Parking Spaces and 38 Regular Spaces

9601 North State Street Redwood Valley Parking Requirements
40 Occupant Seating Capacity 40 / 3 = 13 spaces
1 ADA Parking Space and 12 Regular Spaces

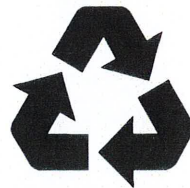
TOTAL PARKING SPACES = 53
3 ADA AND 50 Regular Spaces

Sec. 20.180.020 - Retail, Commercial and Service Uses.
(A) Retail stores, offices, commercial banks, savings and loans, food stores, drug stores and other similar uses not specifically mentioned in this section: one (1) parking space for each three hundred (300) square feet of gross floor area. Any of the above uses having drive-thru or drive-up facilities shall have a stacking area for five (5) vehicles. When developing commercial and residential mixed use projects, shared parking arrangements are allowed.
(K) Restaurants, bars, including those with dancing: one (1) parking space for every three (3) persons based on capacity of fixed or movable seating area as determined by the Uniform Building Code.

BY	
DATE	
REVISIONS	
RUFF + ASSOCIATES	
RUFF + ASSOCIATES Architecture Planning Development 100 West Standley Street, Ukiah, CA 95482 Phone: 707-472-0525 Fax: 707-472-0527 e-mail: richard@ruffarchitect.com	
CA License # 11736 - 8597217	
FAISAN CORPORATION CHEVRON GAS STATION USE PERMIT 9621 NORTH STATE STREET REDWOOD VALLEY, CA 95470	
SHEET TITLE	
TITLE SHEET	
DRAWN BY	PSM
CHECKED BY	RPR
DATE SUBMITTED	10-20-2021
DATE CREATED	10-20-2021
SCALE	AS NOTED
PAGE	T1.1
SHEET	1 OF 8



**Water Pollution
Prevention Program**
Clean Water. Healthy Community



Materials & Waste Management

Non-Hazardous Materials

Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.

Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil and antifreeze) in accordance with city, county, state and federal regulations.

Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.

Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.

Arrange for appropriate disposal of all hazardous wastes.

Waste Management

Cover waste disposal containers securely with tarps at the end of every work day during wet weather.

Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.

Clean or replace portable toilets, and inspect them frequently for leaks and spills.

Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc).

Dispose of liquid residues from paints, thinners, solvents, glues and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

Sweep or vacuum and street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Recycling

Non-Residential Mandatory Measure section 5.408 for construction waste management of recycling or reuse of a minimum of 65% of non-hazardous demolition waste.
Meet a local construction & demolition waste management ordinance, whichever is more stringent.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.



Equipment Management & Spill Control

Maintenance and Parking

Designate an area, fitted with appropriate BMPs for vehicle and equipment parking and storage.

Perform major maintenance, repair jobs and vehicle and equipment washing off site.

If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains or surface waters.

Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.

Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.

Clean up spills or leaks immediately and dispose of cleanup materials properly.

Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).

Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.

Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



Earthwork & Contaminated Soils

Erosion Control

Schedule grading and excavation work for dry weather only.

Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.

Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

Protect storm drain inlets, gutters, ditches and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.

Prevent sediment from migrating off-site by installing and maintaining sediment controls, such as fiber rolls, silt fences or sediment basins.

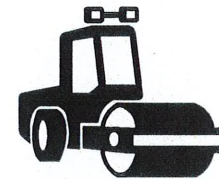
Keep excavated soil on the site where it will not collect into the street.

Transfer excavated materials to dump trucks on the site, not in the street.

Contaminated Soils

If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:

- Unusual soil conditions, discoloration or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris or trash



Paving / Asphalt Work

Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.

Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.

Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

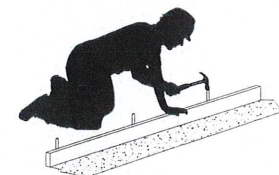
Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters or gravel bags to keep slurry out of the storm drain system.

Shovel, absorb or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).

If saw-cut slurry enters a catch basin, clean it up immediately.



Concrete, Grout & Mortar Application

Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.

Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.

Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering

Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.

When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank or sediment trap may be required.

In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Painting & Paint Removal

Painting Cleanup

Never clean brushes or rinse paint containers into a street, gutter, storm drain or surface waters.

For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.

For oil-based paints, paint out brushed to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvent as hazardous waste.

Paint Removal

Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.

Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



Landscape Materials

Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.

Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.

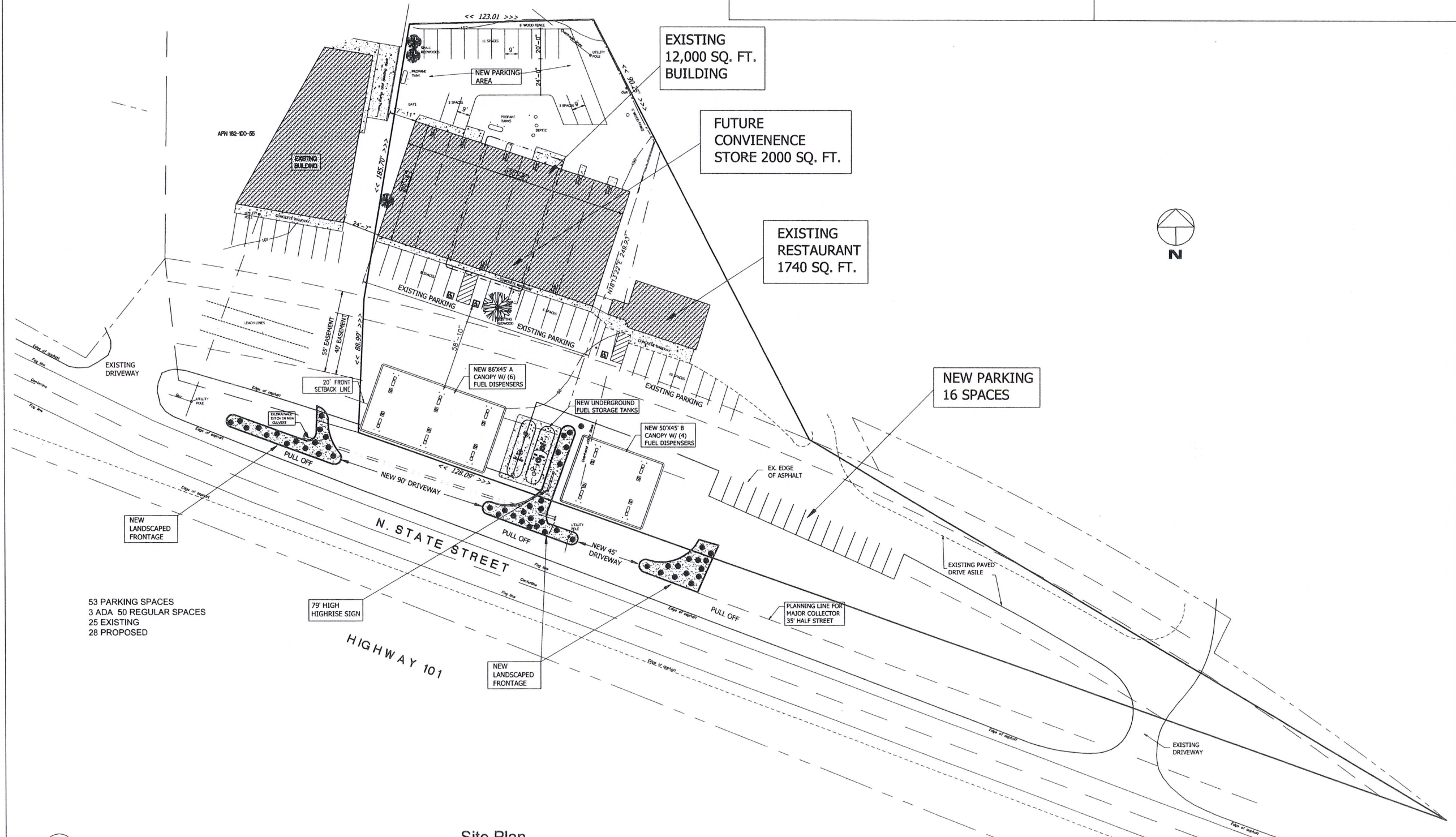
Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm Drain polluters may be liable for fines up to \$10,000 per day!

REVISIONS	DATE	BY
RUFF + ASSOCIATES		
RUFF + ASSOCIATES Architecture Planning Development 100 West Standley Street, Ukiah, CA 95482 Phone: 707-472-0525 Fax: 707-472-0527 e-mail: ruff@ruffassociates.com COPYRIGHT © BY RUFF + ASSOCIATES. ALL RIGHTS RESERVED.		
CA License # C11736 - 8597217 		
FAISAN CORPORATION CHEVRON GAS STATION USE PERMIT 9621 NORTH STATE STREET REDWOOD VALLEY, CA 95470		
SHEET TITLE		
Construction Waste Management		
DRAWN BY	PSM	
CHECKED BY	RPR	
DATE SUBMITTED	10-20-2021	
DATE CREATED	10-20-2021	
SCALE	AS NOTED	
PAGE	T1.2	
SHEET	2 OF 8	

NOTATION:
 THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.....

Legend:
 PROPERTY LINE
 BUILDING ENVELOPE
 EDGE OF PAVEMENT
 BUILDING FOOTPRINT LINE
 CONTOUR LINES



53 PARKING SPACES
 3 ADA 50 REGULAR SPACES
 25 EXISTING
 28 PROPOSED

79' HIGH
 HIGHRISE SIGN

EXISTING
 12,000 SQ. FT.
 BUILDING

FUTURE
 CONVIENCE
 STORE 2000 SQ. FT.

EXISTING
 RESTAURANT
 1740 SQ. FT.

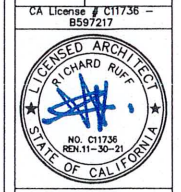
NEW PARKING
 16 SPACES

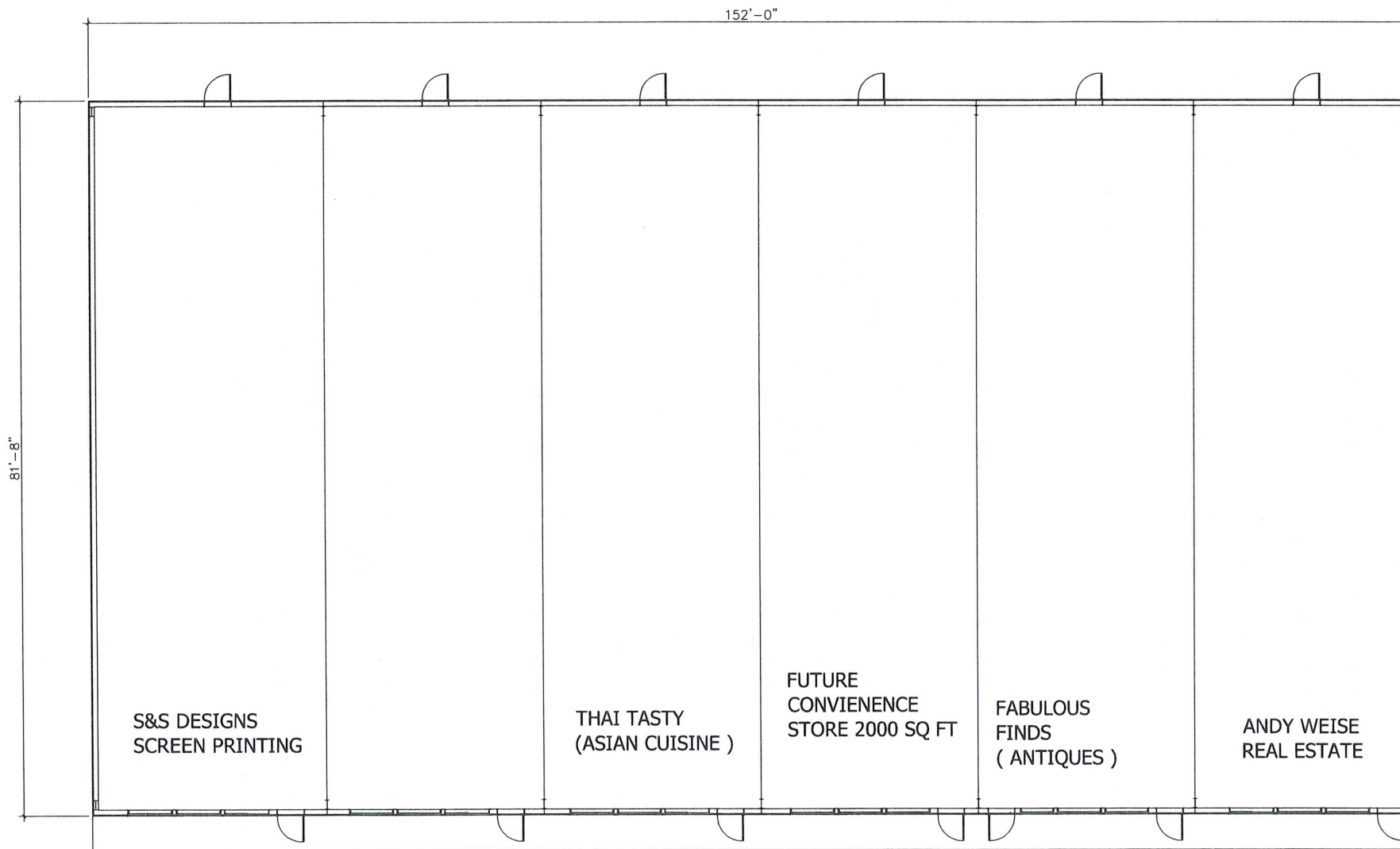
1 APN: 162-100-58 1.07 ACRES
 APN: 162-100-59 1.47 ACRES

Site Plan
 Scale 1/32" = 1'

REVISIONS	#	DATE	BY
FAISAN CORPORATION CHEVRON GAS STATION USE PERMIT 9621 NORTH STATE STREET REDWOOD VALLEY, CA 95470			
SHEET TITLE SITE PLAN			
DRAWN BY PSM CHECKED BY RPR DATE SUBMITTED 10-20-2021 DATE CREATED 10-20-2021 SCALE AS NOTED			
PAGE A1			
SHEET 3 OF 8			

RUFF + ASSOCIATES
 Architecture Planning Development
 100 West Standley Street, Ukiah, CA 95482
 Phone: 707-472-0525 Fax: 707-472-0527
 e-mail: ruffarchitect.com
 COPYRIGHT © BY RUFF + ASSOCIATES. ALL RIGHTS RESERVED.





1 ————— EXISTING FLOOR PLAN
SCALE 1/8" = 1'



REVISIONS	DATE	BY

RUFF + ASSOCIATES

RUFF + ASSOCIATES
Architecture Planning Development
100 West Standley Street, Ukiah, CA 95482
Phone: 707-472-0525 Fax: 707-472-0527
e-mail: richard@ruffarchitect.com
COPYRIGHT © BY RUFF + ASSOCIATES. ALL RIGHTS RESERVED.

CA License # C11736 - 8597217

FAISAN CORPORATION
CHEVRON GAS STATION
9621 NORTH STATE STREET
REDWOOD VALLEY, CA 95470

SHEET TITLE
EXISTING FLOOR PLAN

DRAWN BY PSM
CHECKED BY RPR
DATE SUBMITTED 10-20-2021
DATE CREATED 10-20-2021
SCALE AS NOTED

PAGE
A2.0
SHEET 4 OF 8

NEW LANDSCAPE WITHIN CURB ISLAND AREAS TO BE VARIGATED LOW GROUND COVER WITH RANDOM SHRUB, RIVER ROCK AND DRIP IRRIGATION

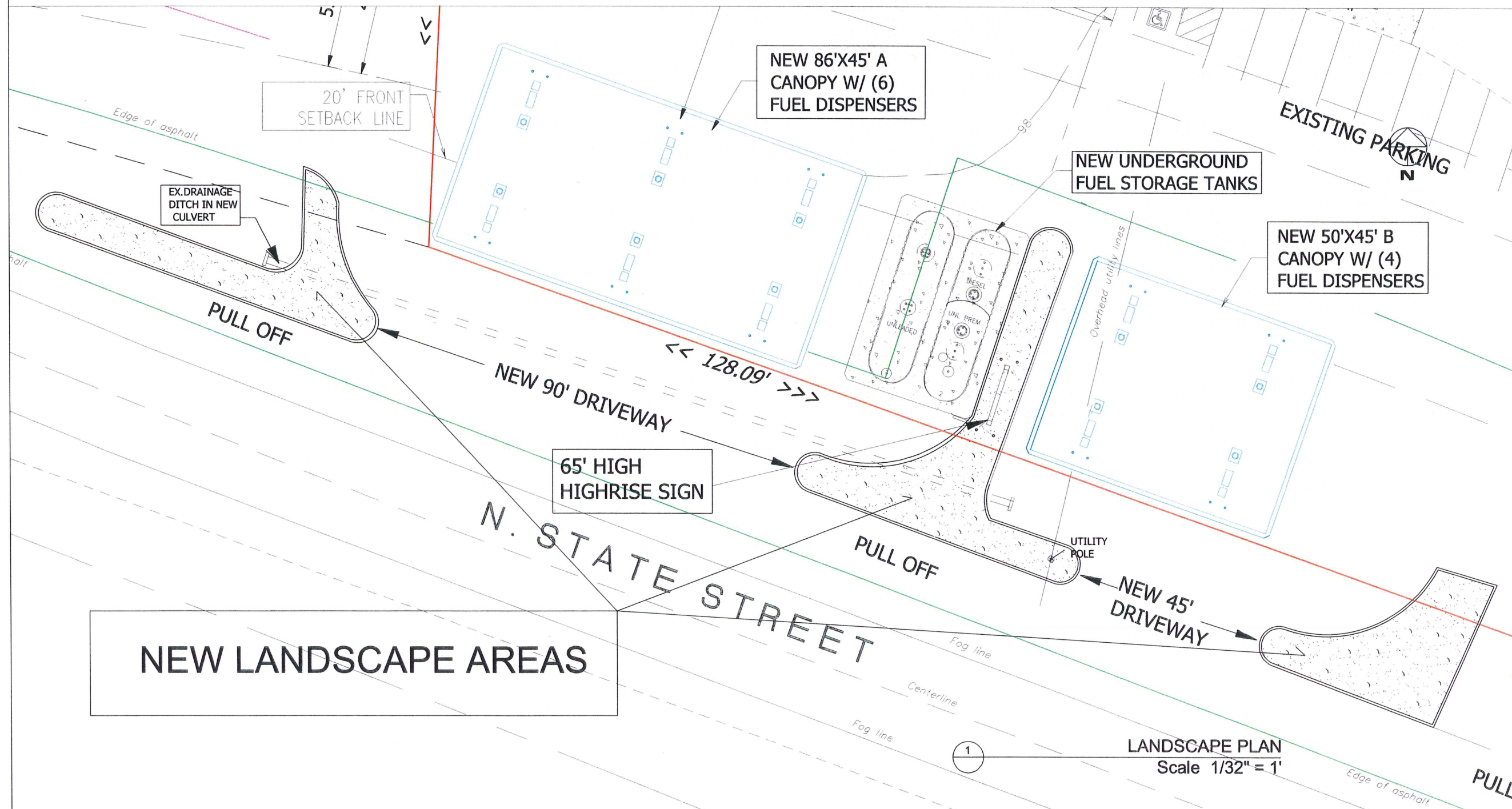
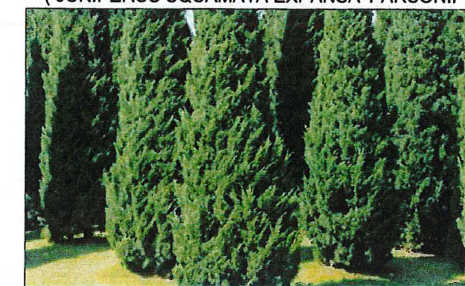
ROCK CRESS PURPLE
(AUBRIETA DELTOIDEA)



GREEN MOUND JUNIPER
(JUNIPERUS PROCUMBENS 'NANA')



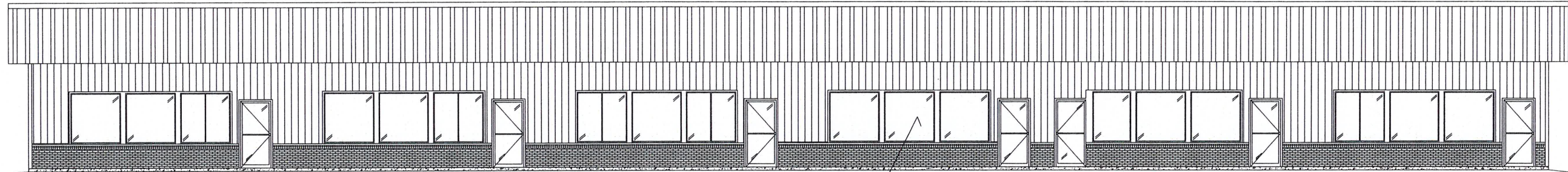
PARSON'S JUNIPER
(JUNIPERUS SQUAMATA EXPANSA 'PARSONII')



NEW LANDSCAPE AREAS

LANDSCAPE PLAN
Scale 1/32" = 1'

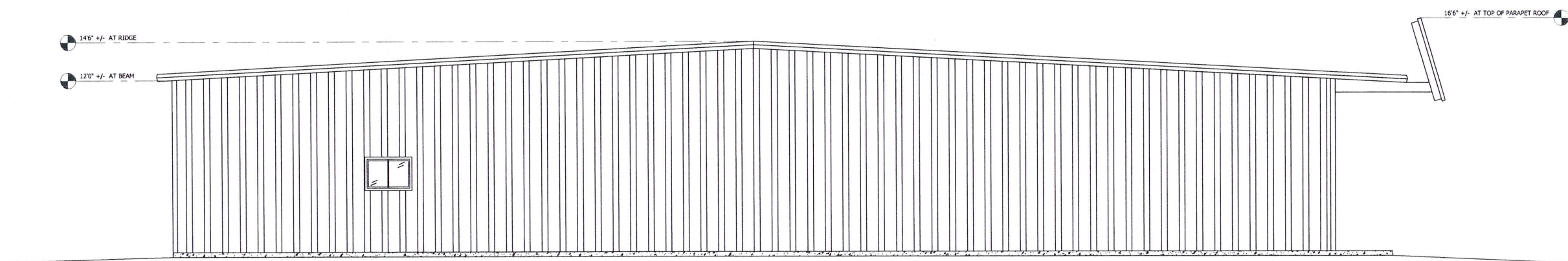
REVISIONS	BY	DATE
RUFF + ASSOCIATES Architecture Planning Development 100 West Standley Street, Ukiah, CA 95482 Phone: 707-472-0525 Fax: 707-472-0527 e-mail: richard@ruffarchitect.com COPYRIGHT © BY RUFF + ASSOCIATES. ALL RIGHTS RESERVED.		
FAISAN CORPORATION CHEVRON GAS STATION USE PERMIT 9621 NORTH STATE STREET REDWOOD VALLEY, CA 95470		
SHEET TITLE LANDSCAPE PLAN		
DRAWN BY PSM CHECKED BY RPR DATE SUBMITTED 10-20-2021 DATE CREATED 10-20-2021 SCALE AS NOTED		
PAGE A2.1		
SHEET 5 OF 8		



FUTURE CONVIENENCE
STORE 2000 SQ FT

1

EXISTING SOUTH ELEVATION
SCALE 3/16" = 1'



14'6" +/- AT RIDGE

12'0" +/- AT BEAM

16'6" +/- AT TOP OF PARAPET ROOF

2

EXISTING WEST ELEVATION
SCALE 1/4" = 1'

REVISIONS	DATE	BY



RUFF + ASSOCIATES

RUFF + ASSOCIATES
Architecture Planning Development
100 West Standley Street, Ukiah, CA 95482
Phone: 707-472-0525 Fax: 707-472-0527
e-mail: richard@ruffarchitect.com
COPYRIGHT © BY RUFF + ASSOCIATES, ALL RIGHTS RESERVED.

CA License # C11736 - 9597217



FAISAN CORPORATION
CHEVRON GAS STATION USE PERMIT
9621 NORTH STATE STREET
REDWOOD VALLEY, CA 95470

SHEET TITLE

EXISTING
ELEVATIONS 1

DRAWN BY PSM

CHECKED BY RPR

DATE SUBMITTED 10-20-2021

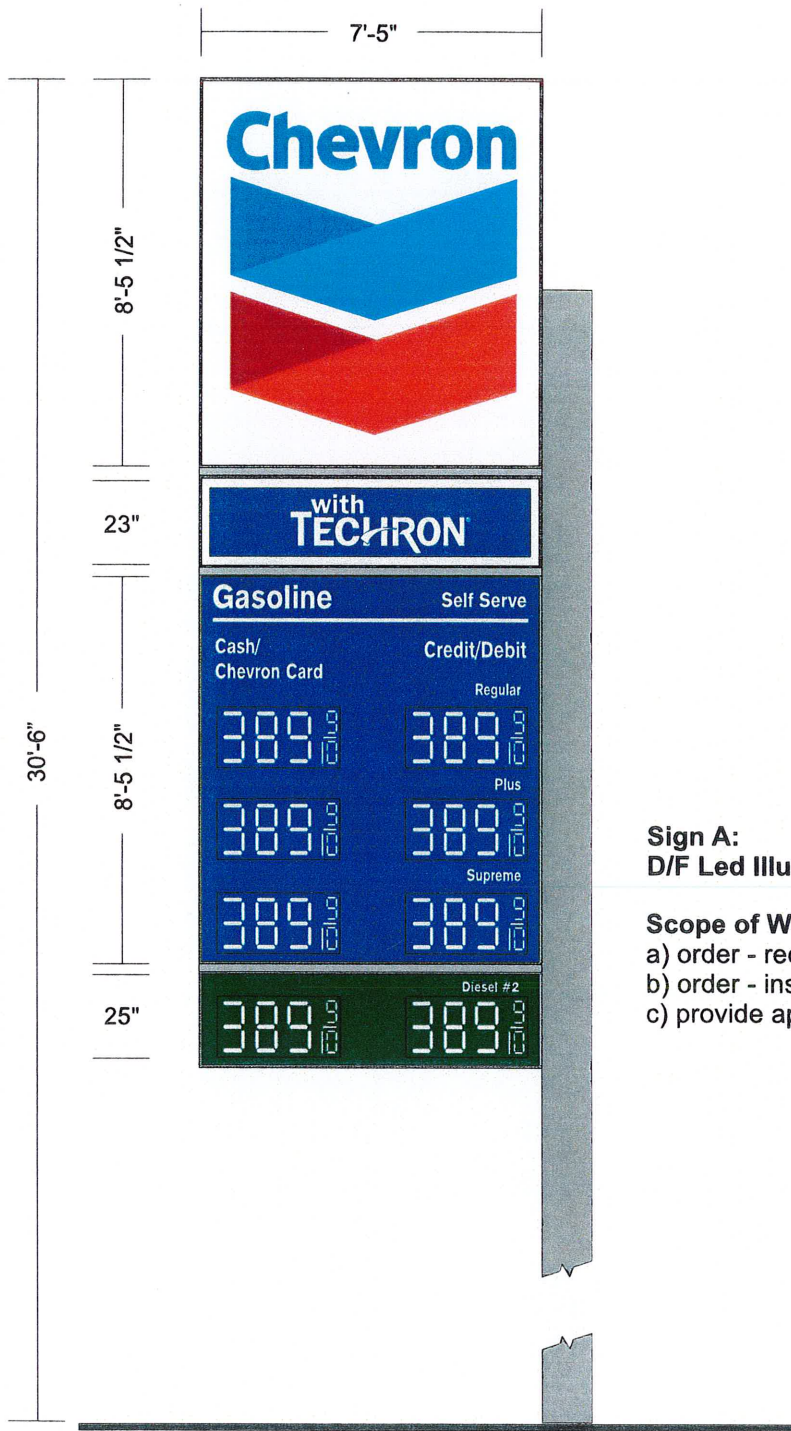
DATE CREATED 10-20-2021

SCALE AS NOTED

PAGE

A3.0

SHEET 6 OF 8



**Sign A:
D/F Led Illum. C-78 Fuel Price Pole Sign**

Scope of Work:

- a) order - receive - install sign cabinets/faces
- b) order - install mount column
- c) provide approved footing

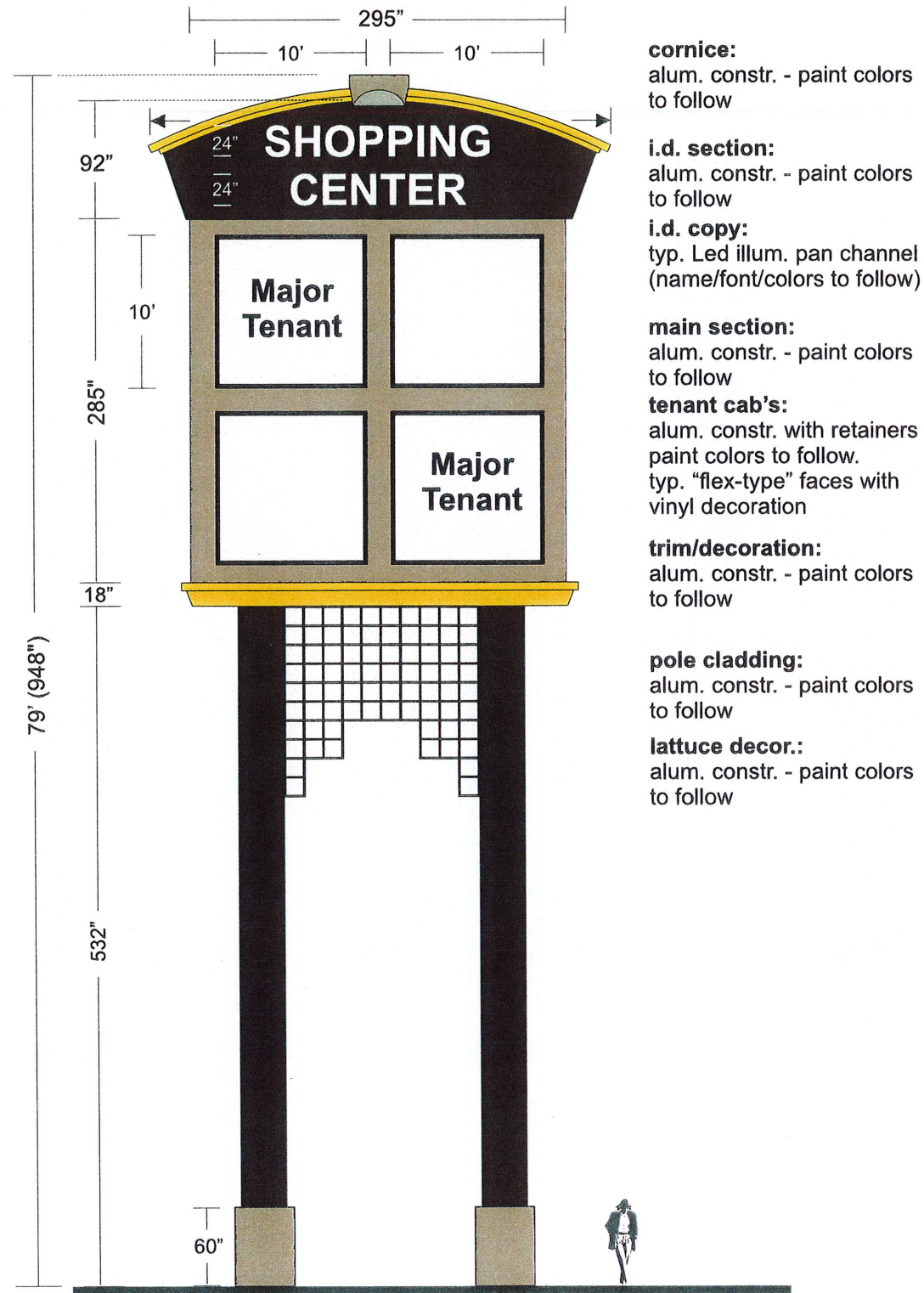
Proposed Illum. C-78 Fuel Price Pole Sign

1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.

This includes proper grounding and bonding of the sign.

2) The location of the disconnect switch after installation shall comply with the Srtical 600.6 (A)(1) of the National Electrical Code

 C.S.C.L. # 718965 DESIGN MANUFACTURING INSTALLATION MAINTENANCE	5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326	JOB #: 000 CLIENT: CHEVRON CONTACT: DATE: 10-18-21 PROJECT LOCATION: REDWOOD VALLEY, CA	SALESPERSON: BRIAN CAMPBELL DRAWN BY: BAM PAGE 1 OF 4 <hr/> CLIENT APPROVAL _____ DATE _____ <hr/> LANDLORD APPROVAL _____ DATE _____	REVISIONS: 00-00-00 <hr/> <hr/> <hr/>	SCALE: NOTED <hr/> FILE NAME: CHEVRON redwood valley pylon C78	ELECT. 120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="text"/> one box above MUST be checked prior to any mfg.	SPECIFICATIONS See Drawing for Specifications
	This Design Layout is specific to 120 volt electrical power for approved illuminated signage. Any other voltage at job site that requires additional install trips will be an extra charge. Copyright 2000 USS United Sign Systems This artwork/design is sole property of USS United Sign Systems and cannot be reproduced without written permission of Johnson Sign Systems						



Sign B: D/F Illum. I.D./Multi-Tenant Pole Sign

cornice:
alum. constr. - paint colors to follow

i.d. section:
alum. constr. - paint colors to follow

i.d. copy:
typ. Led illum. pan channel (name/font/colors to follow)

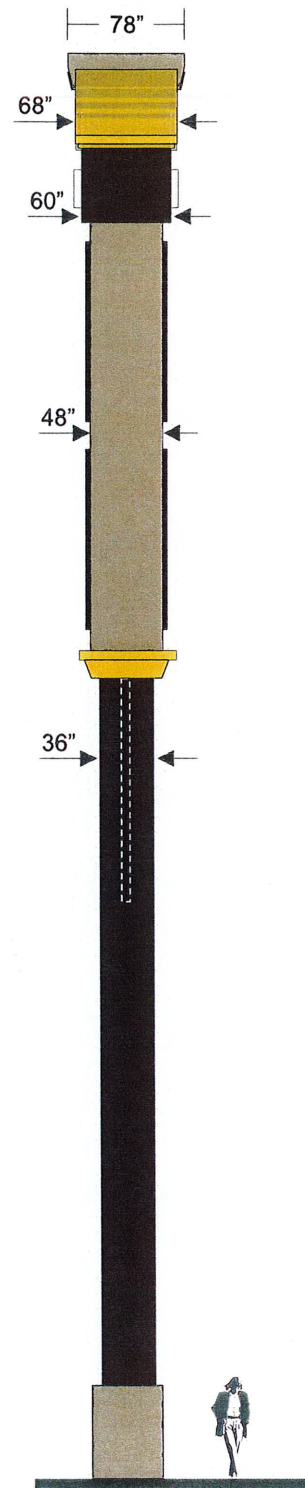
main section:
alum. constr. - paint colors to follow

tenant cab's:
alum. constr. with retainers - paint colors to follow.
typ. "flex-type" faces with vinyl decoration

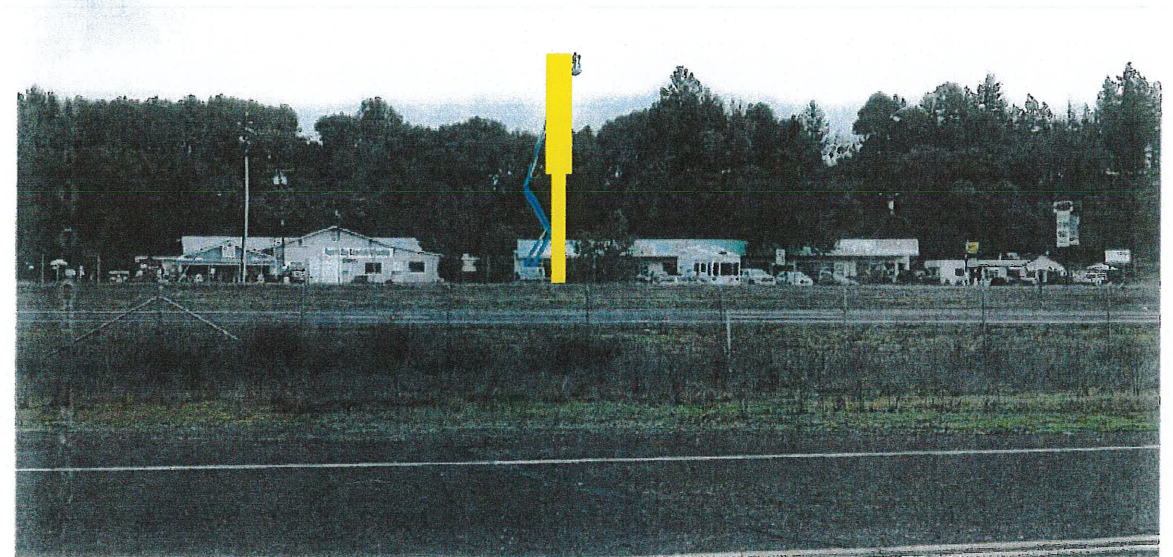
trim/decoration:
alum. constr. - paint colors to follow

pole cladding:
alum. constr. - paint colors to follow

lattice decor.:
alum. constr. - paint colors to follow



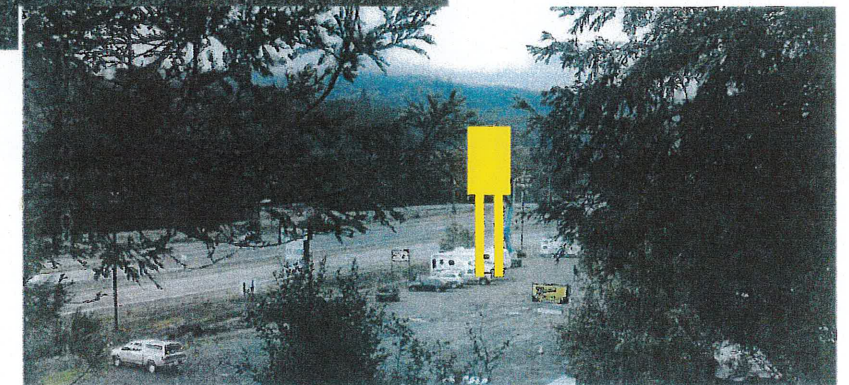
End View



sign from hwy (view #1)



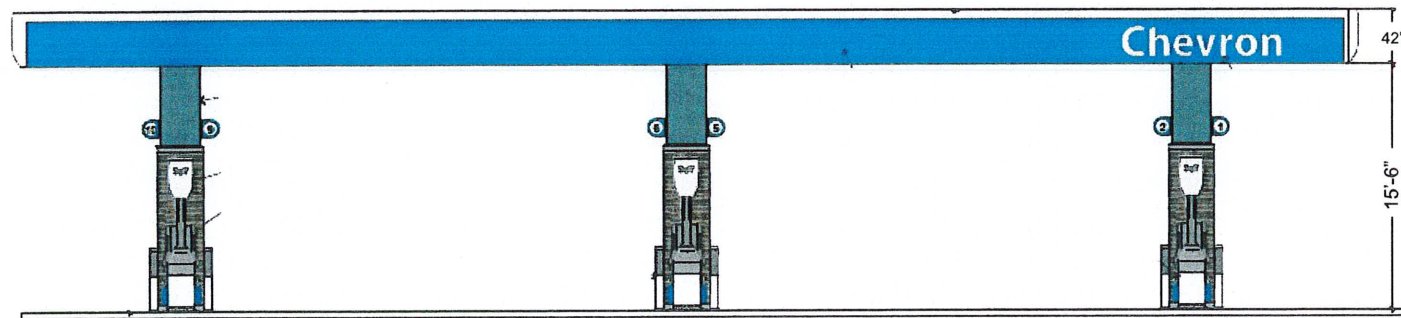
sign from hwy (view #2)



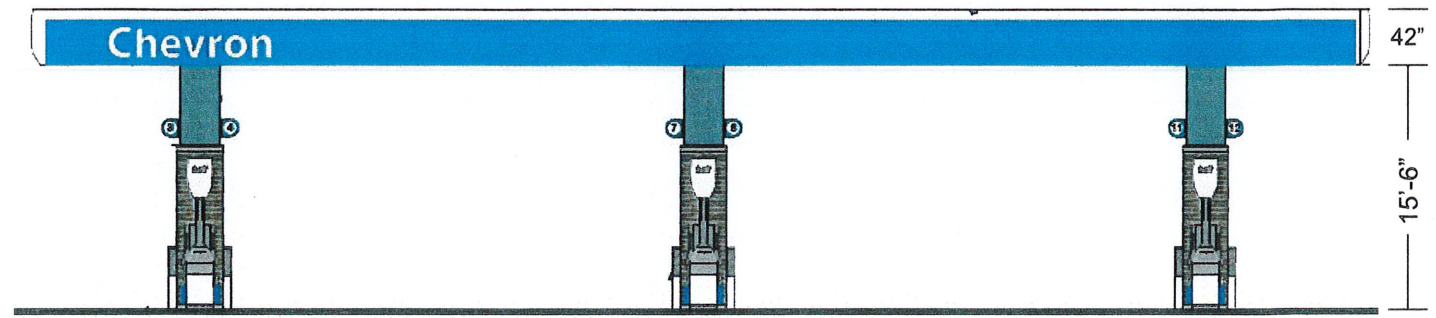
sign from hwy (view #3)

1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
2) The location of the disconnect switch after installation shall comply with the Srtical 600.6 (A)(1) of the National Electrical Code

 5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326 C.S.C.L. # 718965 DESIGN MANUFACTURING INSTALLATION MAINTENANCE	JOB #: 000 CLIENT: CHEVRON CONTACT: DATE: 10-18-21 PROJECT LOCATION: REDWOOD VALLEY, CA	SALESPERSON: BRIAN CAMPBELL DRAWN BY: BAM PAGE 2 OF 4 CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	REVISIONS: 00-00-00 SCALE: NOTED FILE NAME: CHEVRON redwood valley pylon C78	ELECT. 120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/> <i>one box above MUST be checked prior to any mfg.</i>	SPECIFICATIONS See Drawing for Specifications



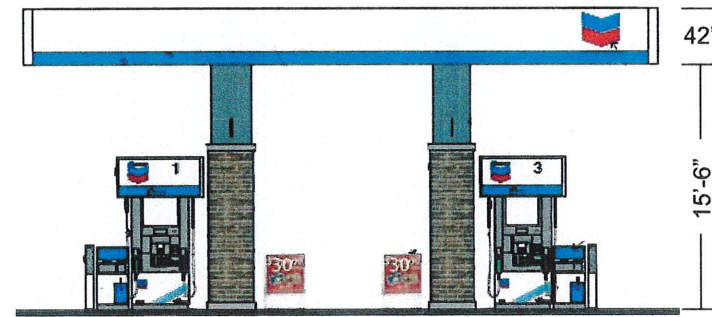
CANOPY ELEVATION (side 1)



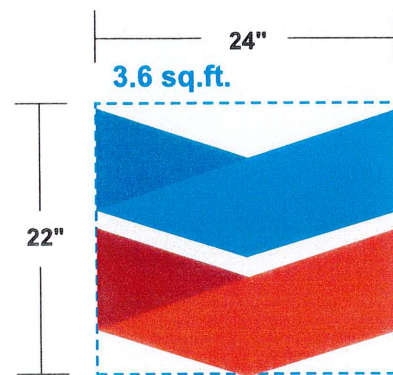
CANOPY ELEVATION (side 2)



CANOPY ELEVATION (front)

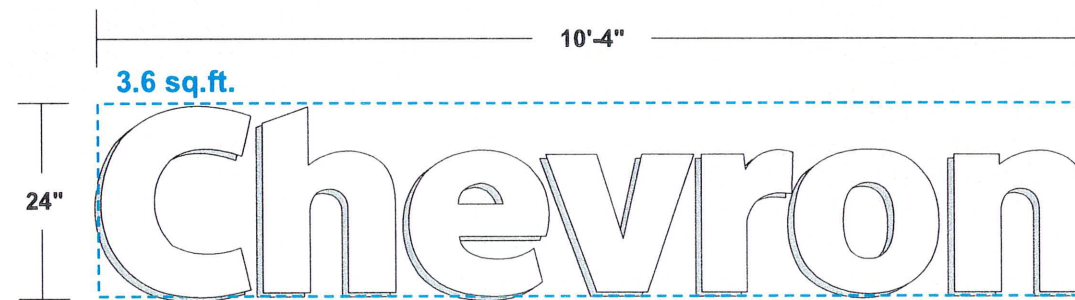


CANOPY ELEVATION (back)



Signs C, D:
Illum.21" Hallmark Logos

Scope of Work:
order - receive - install (x2 signs)



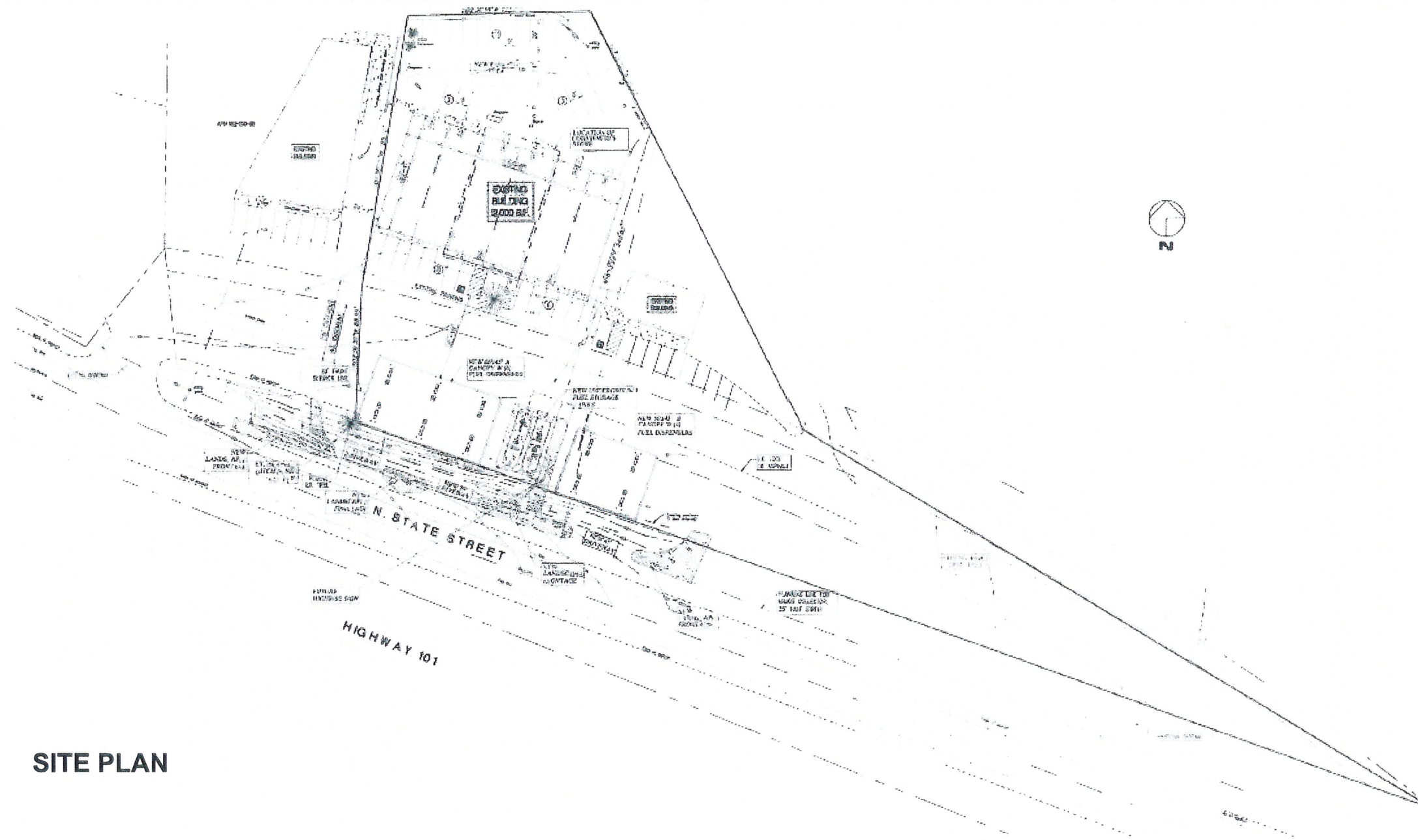
Signs E,F:
Illuminated 24" Wordmark Signs

Scope of Work:
order - receive - install (x2 signs)

- 1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
- 2) The location of the disconnect switch after installation shall comply with the Srtical 600.6 (A)(1) of the National Electrical Code

<p>5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326 C.S.C.L. # 718965</p>	<p>JOB #: 000 CLIENT: CHEVRON CONTACT: DATE: 10-18-21 PROJECT LOCATION: REDWOOD VALLEY, CA</p>	<p>SALESPERSON: BRIAN CAMPBELL DRAWN BY: BAM PAGE 3 OF 4</p> <p>CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____</p>	<p>REVISIONS: 00-00-00</p> <p>SCALE: NOTED</p> <p>FILE NAME: CHEVRON redwood valley pylon C78</p>	<p>ELECT.</p> <p>120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/></p> <p>one box above MUST be checked prior to any mfg.</p>	<p>SPECIFICATIONS</p> <p>See Drawing for Specifications</p>

This Design Layout is specific to 120 volt electrical power for approved illuminated signage. Any other voltage at job site that requires additional install trips will be an extra charge. Copyright 2000 USS United Sign Systems This artwork/design is sole property of USS United Sign Systems and cannot be reproduced without written permission of Johnson Sign Systems



SITE PLAN

- 1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
- 2) The location of the disconnect switch after installation shall comply with the Srtical 600.6 (A)(1) of the National Electrical Code

 C.S.C.L. # 718965 DESIGN MANUFACTURING INSTALLATION MAINTENANCE	5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326	JOB #: 000 CLIENT: CHEVRON CONTACT: DATE: 10-18-21 PROJECT LOCATION: REDWOOD VALLEY, CA	JOB INFO SALESPERSON: BRIAN CAMPBELL DRAWN BY: BAM PAGE 4 OF 4 CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	FILE REVISIONS: 00-00-00 SCALE: NOTED FILE NAME: CHEVRON redwood valley pylon C78	ELECT. 120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/> <i>one box above MUST be checked prior to any mfg.</i>	SPECIFICATIONS See Drawing for Specifications
	This Design Layout is specific to 120 volt electrical power for approved illuminated signage. Any other voltage at job site that requires additional install trips will be an extra charge. Copyright 2000 USS United Sign Systems This artwork/design is sole property of USS United Sign Systems and cannot be reproduced without written permission of Johnson Sign Systems					

BUILDING AND SAFETY DEPARTMENT NOTES

ABOUT US:

CALCRAFT originated in 1993 as a canopy supplier to the Oil Industry. Since that beginning, CALCRAFT CORPORATION has evolved into a "COMPLETE" manufacturer of not only canopies, but an array of ordinary and extraordinary structures and re-image components. Couple the manufacturing capabilities in a 30,000 SQ. FT. facility on 3 1/2 acres with a fully-licensed and experienced contractor, and you have a TOTAL IMAGE COMPANY.

CALCRAFT is centrally located in the Inland Empire near the I 10 freeway at
1426 South Willow Avenue, Rialto, CA 92376
ph 909.879.2900 fax 909.879.2910, www.calcrafft.com

LICENSES AND CERTIFICATIONS:

Los Angeles Fabricator License Number 1612 as a type I fabricator of light weight steel (LWS)
California State License No. 872310, Classification(s) B C43, C45, C33, C51.
California Certificate of Workers Compensation Insurance: State Compensation Insurance Fund, P.O. Box 420807, San Francisco, CA 94142-0807.
Group: 000044, Policy Number: 0028817-2008, Certificate ID: 68.
Nevada State License 0070032, Classification(s) B2-Residential & Small Commercial.
Arizona State License 228688, Classification(s) B-01 General Commercial.
Idaho State License RCE-24022 Contracting.

BASS OF DESIGN:

I. Code:	2019 CBC
II. Use and Occupancy Classification:	Group: B
Business, Professional, Car wash, etc.	Group: M
Mercantile, Markets, Motor fuel-dispensing	Group: S-1 & S-2
Storage, Motor Vehicle Repair	Group: U
Utility, Corports, Sheds etc.	
III. Type of construction:	Type I-N
IV. Roof Live Loads	
a. Rel _g	20 psf (Reducible)
Roof Snow Load	
a. Ground Snow Load	P _g = 0 psf
b. Snow Importance Factor	I _s = 1.0
c. Snow Exposure Coefficient	C _e = 1.0
d. Thermal Exposure Coefficient	C _t = 1.0
e. Roof Snow Load	P _f = 0.7C _e * C _t * I _s * P _g = 0 psf
V. Wind Loads	
a. Wind Velocity (3 Second Gust)	110 mph
b. Exposure Type	C
VI. Seismic Loads	
a. Short Period Mapped Spectral Acceleration	SS = 2.845
b. Soil Site Class	D
c. Short Period Site Coefficient	F _a = 1.2
d. 5% Damped Design Spectral Response Acceleration	S _D S = 2/3 * F _a * SS = 1.481 (regular structure)
e. Seismic Importance Factor	I _e = 1.00
f. Response Modification Coefficient	R = 1.25
g. Seismic Response Coefficient	C _a = S _D S * I _e / R
h. W	Dead Loads of Structure
i. Building Seismic Design Category	E
j. System Overstrength Factor	1.25
k. Deflection Amplification Factor	1.25
l. Base Shear	V = C _s * W = 1.185 W (Strength Design)

FASTENERS

- BOLTS:**
- All bolts shall be 1/2" diameter, ASTM A307 machine bolts unless noted otherwise on plans and coated for corrosion resistance with nuts fully engaged. (no special inspection required)
 - High strength bolts shall be ASTM A325H, bearing type bolts with hardened washers, unless noted otherwise on plans.
 - Stainless steel bolts shall be 1/2" diameter ASTM A320 or A193 grade B8 or B8M, F_u = 75 ksi.
- ANCHOR BOLTS:**
- Anchor bolts shall be provided by the general contractor unless noted otherwise on the drawings.
 - Anchor bolts shall be of ASTM A307 materials unless otherwise called out on calculations.
 - Installation of anchor bolts shall be in accordance with the AISC Code of Standard Practice, Section 7.5.
- SCREWS:**
- Sheet metal screws shall be of a type as Approved in ICC Report #ESR-1976, ESR-2196 and LA Research report #25294 for DARTS Brand self-drilling/self-tapping steel screws as manufactured by Compass International or ICC Report #ER-5617 "VS" Brand.
 - Size and spacing shall be indicated on plans.
- POPPRIVETS:**
- All pop rivets shall be the break Mandrell blind rivet type and shall conform to #1 Standard 114.
 - Finishes shall be zinc cadmium plated or stainless steel.
 - Pop rivets shall not be used in structural applications unless specifically called for by the design calculations.

CONCRETE:

- FOOTING DESIGN:**
- The allowable soil pressure on spread footing is assumed to be 1,500 psf unless a soils report is provided.
 - The allowable lateral bearing pressure on wind column footings is assumed to be 100 psf per foot of depth unless a soils report is provided.
 - Bottoms of all load bearing footings are to be 12" minimum below top of undisturbed natural grade, 90% compacted fill or frost line.
 - Concrete used for foundations and footings shall be machine mixed with a minimum compressive strength of 2,500 psi at 28 days. Higher strength will be used when required by the design calculations or by local codes.
- (NOTE: FOR 3,000 PSI SPECIAL INSPECTION IS REQUIRED)
- Reinforcing steel shall be deformed bars conforming to ASTM A615 grade 60. Lap all bars a minimum of 30 bar diameters unless noted otherwise.
 - All vertical form work shall be braced and held in place for a minimum of three (3) days after concrete placement.
 - Drypack shall be Quikrete Non-Shrink Precision Grout (No. 1585) or one part cement, three parts sand, mixed as dry as possible.
 - No steel shall be set or erected on the footings until the concrete has cured for a minimum of three (3) days.
 - All materials and work shall conform to ACI 318-B, Specifications for the Design and Placement of Concrete.
- CONCRETE SLAB DESIGN:**
- Concrete slab thickness shall be a minimum of 4", unless shown otherwise on the drawings.
 - Concrete shall be machine mixed with a minimum compressive strength of 2,500 psi at 28 days or as required by the design drawings.
 - Welded wire fabric reinforcement shall conform to ASTM A185 and be 6x6-W1.4xW1.4 or deformed reinforcing bars as specified in calculations (See plans)
 - All material and work shall conform to the ACI 318, Specifications for the Design and Placement of Concrete.
- MASONRY:**
- All material and work shall conform to ACI 531, specification for the design and erection of masonry units.
 - Grout shall have a fluid pouring consistency and conform to ASTM C143 with a compressive strength equal to the units being grouted.
 - Masonry unit strength shall conform to ASTM C140. Masonry joints shall not exceed 1/8" thickness.
 - Reinforcing steel shall be an intermediate grade deformed bars as per ASTM A615.

OIL CANNING:

Oil canning can be defined as a perceived waviness in the flat areas of panels. Oil canning is an inherent characteristic of light-gauge, coldform metal products with broad flat areas. It can be stress in the coil, fabrication, sub-structure and installation. Normally, structural integrity is not affected. However, structural integrity must be reviewed if the distortion results from an extreme external influence. **OIL CANNING IS NOT GROUNDS FOR PANEL REJECTION.**

SPECIAL INSPECTION and QUALITY ASSURANCE:

- Special inspection and quality assurance, as required by Chapter 17 of the CBC shall be provided by an independent agency employed by the OWNER unless waived by the building official. The contractor shall coordinate and cooperate with the required inspections. All testing and inspection reports shall be sent within 24 hours of the test to the architect, engineer and contractor for review. Unless requested by local building official SPECIAL INSPECTION during fabrication shall not be required in Calcrafft Corporation's Los Angeles approved fabricator shop, License Number 1612 as a type I fabricator. Items requiring special inspection and quality assurance are:
- Soils (CBC 1705.6)
 - Prior to placement of the prepared fill, the special inspector shall determine that the site has been prepared in accordance with the soils report.
 - During placement and compaction of the fill material, the special inspector shall determine that the material being used and the maximum lift thickness comply with the soils report.
 - The special inspector shall determine that the in-place dry density of the compacted fill material complies with the soils report.
 - Continuous Footing Backfill: At each compacted backfill layer, at least one test for each 25 linear feet or less of wall length, but no fewer than 2 tests. II. Spot Footing Backfill: Minimum of one compaction test for each lift for each spot footing.
 - Concrete placement (CBC Section 1705.3)
 - Continuous special inspection shall be provided
 - Cylinders, slump, temperature and air-entrainment shall be done for every 50 cubic yards or each day's production if the day's production is less than 50 cubic yards.
 - Protection of concrete during cold and hot weather.
 - Bolts installed in concrete (CBC Section 1705.3)
 - All bolts shall be special inspected prior to and during concrete placement.
 - Concrete reinforcing steel placement (CBC Section 1705.3)
 - All Reinforcing shall be special inspected prior to concrete placement.
 - Structural field welding, (When required) (CBC 1705.2)
 - Periodic special inspection of single pass fillet welds less than or equal to 1/8".
 - Continuous special inspection of single pass fillet welds greater than 1/8" and multi-pass fillet welds.
 - Continuous special inspection of complete and partial penetration welds.
 - Drilled pier construction (CBC Section 1705.8)
 - Continuous special inspection shall be performed.
 - Epoxy Anchors (If Occur) (CBC Section 1705.3)
 - Special inspection shall verify all drilled holes size and depth prior to installation of epoxy and anchor rod.

STATEMENT OF SPECIAL INSPECTIONS:

Section 1704.3
The permit applicant shall submit a statement of special inspections prepared by the registered design professional in responsible charge in accordance with Section 107.1 as a condition for permit issuance.

INSPECTIONS

It shall be the duty of the holder of the building permit or their duly authorized agent to notify the building official when work is ready for inspection.

STRUCTURAL OBSERVATION:

- CBC Section 1704.5
1. Structural Observation shall not be required unless specifically required by local jurisdiction's building official or as specified on plans as stated in section CBC Section 1704.5. The structures do not meet the required conditions #1, 2 or 3 of Section 1709.2 and table 1604.A5
2. Calcrafft Corporation's Engineer of record hereby waives the need for Structural Observation.
3. If Structural Observation is required, Owner shall notify Calcrafft to arrange for Observation and the Owner will pay all cost incurred.

Type of Structure: 45'-0" x 85'-0" (6) COLUMN CANOPY

SHEET INDEX

SHEET NO.	SHEET TITLE:
GN1	General Notes and Specifications
CS1	Canopy Elevations
CS2	Structural Framing Plan
CF1	Typical Sections
CF1	Foundation Plan and Footing Section

3-17-21



PROPRIETARY AND CONFIDENTIAL INFORMATION

THIS DOCUMENT AND THE INFORMATION HEREIN RELATING TO CALCRAFT CORPORATION AND ITS CLIENT HAS BEEN FURNISHED IN CONFIDENCE FOR THE PRIVATE USE OF AUTHORIZED PERSONNEL. NO PART HEREOF SHALL BE COPIED, DUPLICATED, DISTRIBUTED, DISCLOSED OR MADE AVAILABLE TO OTHERS OR USED TO ANY EXTENT WHATSOEVER EXCEPT AS EXPRESSLY AUTHORIZED IN WRITING BY CALCRAFT CORPORATION AND ITS CLIENT. ANY PERSON, FIRM OR CORPORATION RECEIVING THIS DOCUMENT, HOWEVER OBTAINED, SHALL BY VIRTUE HEREOF BE DEEMED TO HAVE AGREED TO THE FOREGOING RESTRICTIONS.

CALCRAFT CORPORATION
© COPYRIGHT PROTECTED 2009

REV.	DATE	DESCRIPTION	BY



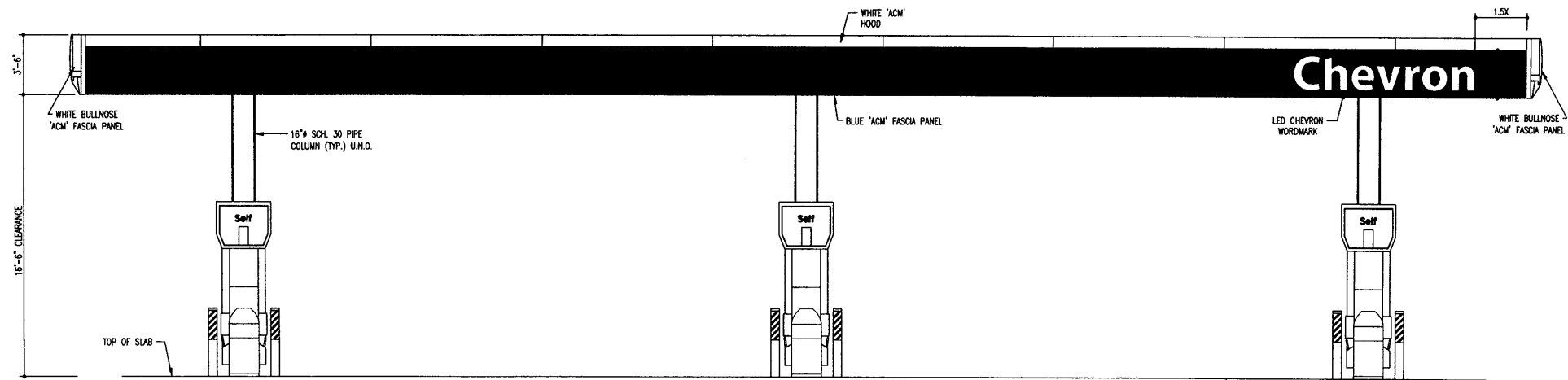
1426 South Willow Avenue, Rialto, CA 92376 - ph 909 879 2900 fax 909 879 2910
www.calcrafft.com - State contractor license #872310

SCALE: NA 1"=0" U.N.
DRAWN BY: HARRINGTON
DATE: 2-25-17
CHECKED BY:
DATE:

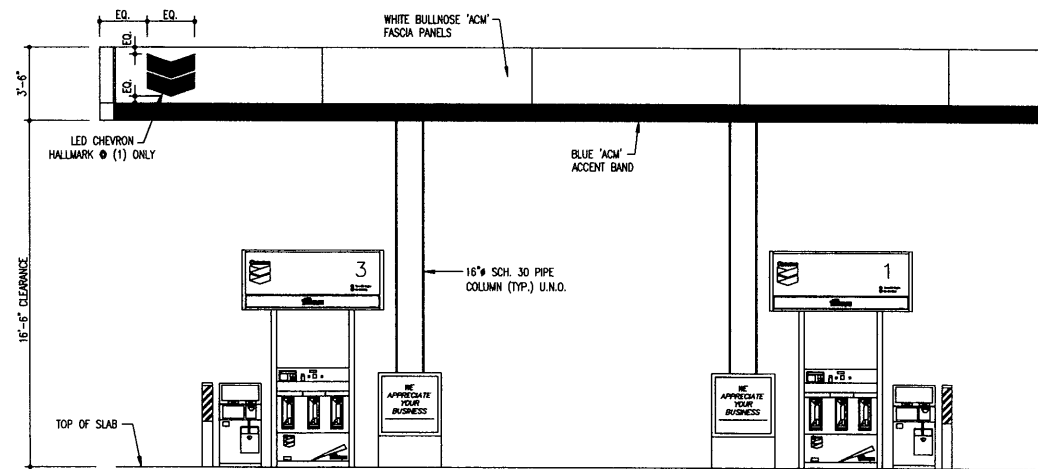
LOCATION: 9621 N. STATE STREET
REDWOOD VALLEY, CA.

TITLE: Faizan Corporation
45'-0" x 85'-0" (6) Column Canopy
GENERAL NOTES

HAND SHN.	JOB NO. D17015
DRWG. NO. GN1	REV. OF
SHEET	



SOUTH ELEVATION (SHOWN)
 NORTH ELEVATION (SIM. NO LITEHOOD OR WORDMARK. FLAT ACM AND LITEHOOD DECAL)



EAST ELEVATION (SHOWN)
 WEST ELEVATION (SIM.)

3-17*21



PROPRIETARY AND CONFIDENTIAL INFORMATION
 THIS DOCUMENT AND THE INFORMATION HEREIN RELATING TO CALCRAFT CORPORATION AND ITS CLIENT HAS BEEN FURNISHED IN CONFIDENCE FOR THE PRIVATE USE OF AUTHORIZED PERSONNEL. NO PART HEREOF SHALL BE COPIED, DUPLICATED, DISTRIBUTED, DISCLOSED OR MADE AVAILABLE TO OTHERS OR USED TO ANY EXTENT WHATSOEVER EXCEPT AS EXPRESSLY AUTHORIZED IN WRITING BY CALCRAFT CORPORATION AND ITS CLIENT. ANY PERSON, FIRM OR CORPORATION RECEIVING THIS DOCUMENT, HOWEVER OBTAINED, SHALL BY VIRTUE HEREOF BE DEEMED TO HAVE AGREED TO THE FOREGOING RESTRICTIONS.
 CALCRAFT CORPORATION
 © COPYRIGHT PROTECTED 2009

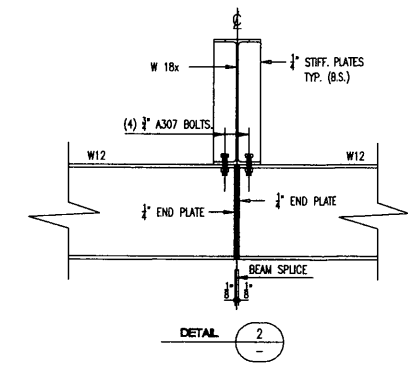
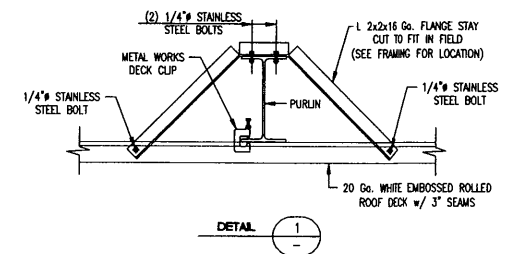
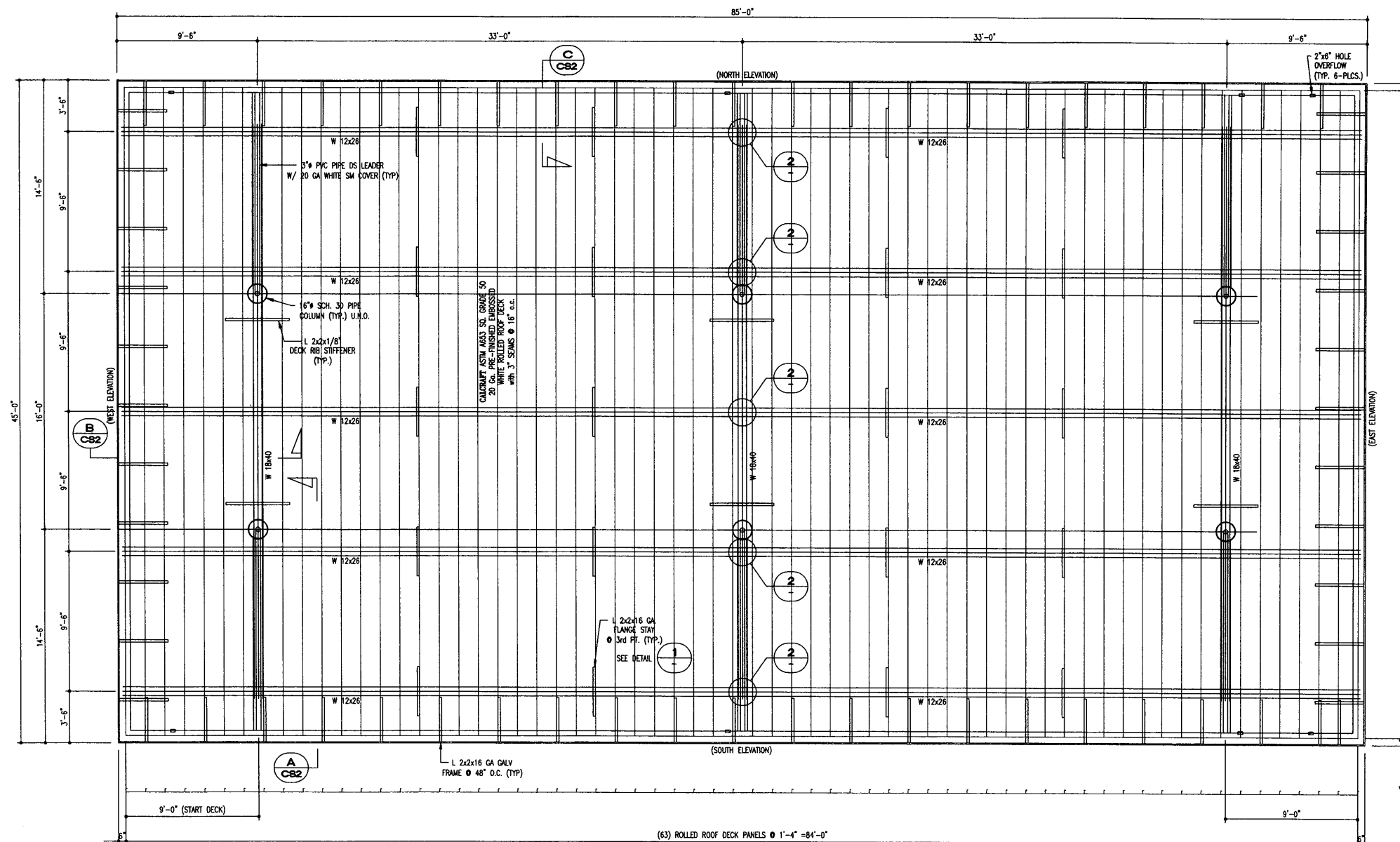
REV.	DATE	DESCRIPTION	BY

CALCRAFT
 Corporation
 1426 South Willow Avenue, Rialto, CA 92376 - ph 909 879 2900 fax 909 879 2910
 www.calcrafft.com - State contractor license #872310

SCALE: 1/4" = 1'-0" U.N.
 DRAWN BY: HARRINGTON
 DATE: 2-25-17
 CHECKED BY:
 DATE:

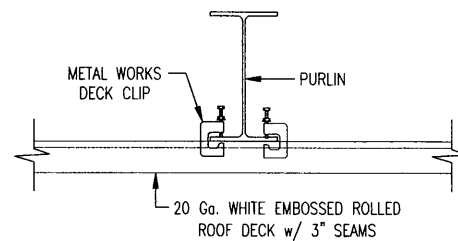
LOCATION: 9621 N. STATE STREET
 REDWOOD VALLEY, CA.
 TITLE: Faizan Corporation
 45'-0" x 85'-0" (6) Column Canopy
 Canopy Elevations

HAND SHN.	JOB NO. D17015
CA1	REV.
SHEET -	OF -



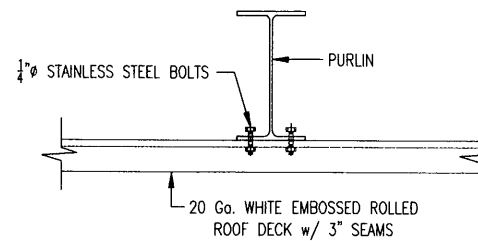
STRUCTURAL FRAMING PLAN

--- N. STATE STREET ---



METAL WORKS DECK CLIP DETAIL

ERECTOR NOTE:
 INSTALL DECK CLIPS ON CANTILEVER SIDE OF DECK @
 OUTSIDE PURLINS AND ALTERNATING SIDES BETWEEN
 THE FIRST AND LAST DECK RIBS @ INTERIOR PURLINS. (2) DECK
 CLIPS @ FIRST AND LAST (3) DECK RIBS @ EACH PURLIN.



ALTERNATE 1/4" BOLTS TO DECK DETAIL

ERECTOR NOTE:
 INSTALL 1/4" STAINLESS STEEL BOLTS ON CANTILEVER SIDE OF DECK
 @ OUTSIDE PURLINS AND ALTERNATING SIDES BETWEEN
 THE FIRST AND LAST DECK RIBS @ INTERIOR PURLINS. (2) 1/4" BOLTS
 @ FIRST AND LAST (3) DECK RIBS @ EACH PURLIN.

PROPRIETARY AND CONFIDENTIAL INFORMATION
 THIS DOCUMENT AND THE INFORMATION HEREIN RELATING TO CALCRAFT CORPORATION AND ITS CLIENT HAS BEEN FURNISHED IN CONFIDENCE FOR THE PRIVATE USE OF AUTHORIZED PERSONNEL. NO PART HEREOF SHALL BE COPIED, DUPLICATED, DISTRIBUTED, DISCLOSED OR MADE AVAILABLE TO OTHERS OR USED TO ANY EXTENT WHATSOEVER EXCEPT AS EXPRESSLY AUTHORIZED IN WRITING BY CALCRAFT CORPORATION AND ITS CLIENT. ANY PERSON, FIRM OR CORPORATION RECEIVING THIS DOCUMENT, HOWEVER OBTAINED, SHALL BY VIRTUE HEREOF BE DEEMED TO HAVE AGREED TO THE FOREGOING RESTRICTIONS.
 CALCRAFT CORPORATION
 © COPYRIGHT PROTECTED 2008

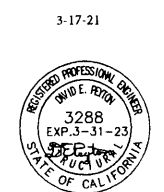
REV.	DATE	DESCRIPTION	BY

CALCRAFT Corporation
 1428 South Willow Avenue, Rialto, CA 92376 - ph 909 879 2900 fax 909 879 2910
 www.calcrafft.com - State contractor license #872310

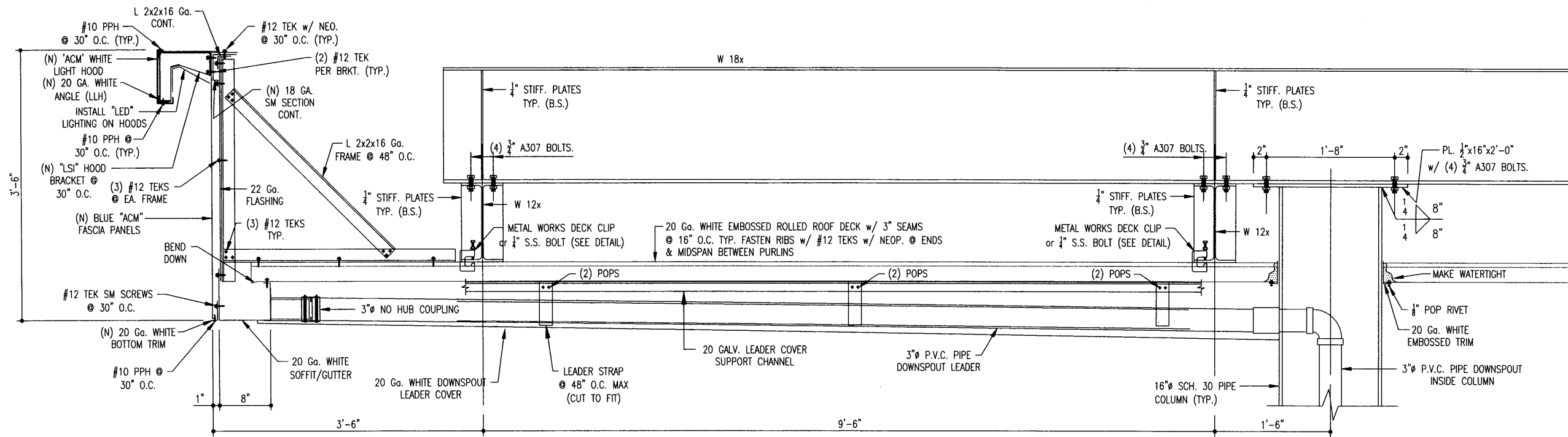
SCALE: 1/4" = 1'-0" U.N.
 DRAWN BY: HARRINGTON
 DATE: 2-25-17
 CHECKED BY:
 DATE:

LOCATION: 9821 N. STATE STREET REDWOOD VALLEY, CA.
 TITLE: **Faizon Corporation**
 45'-0" x 85'-0" (6) Column Canopy
 Structural Framing Plan

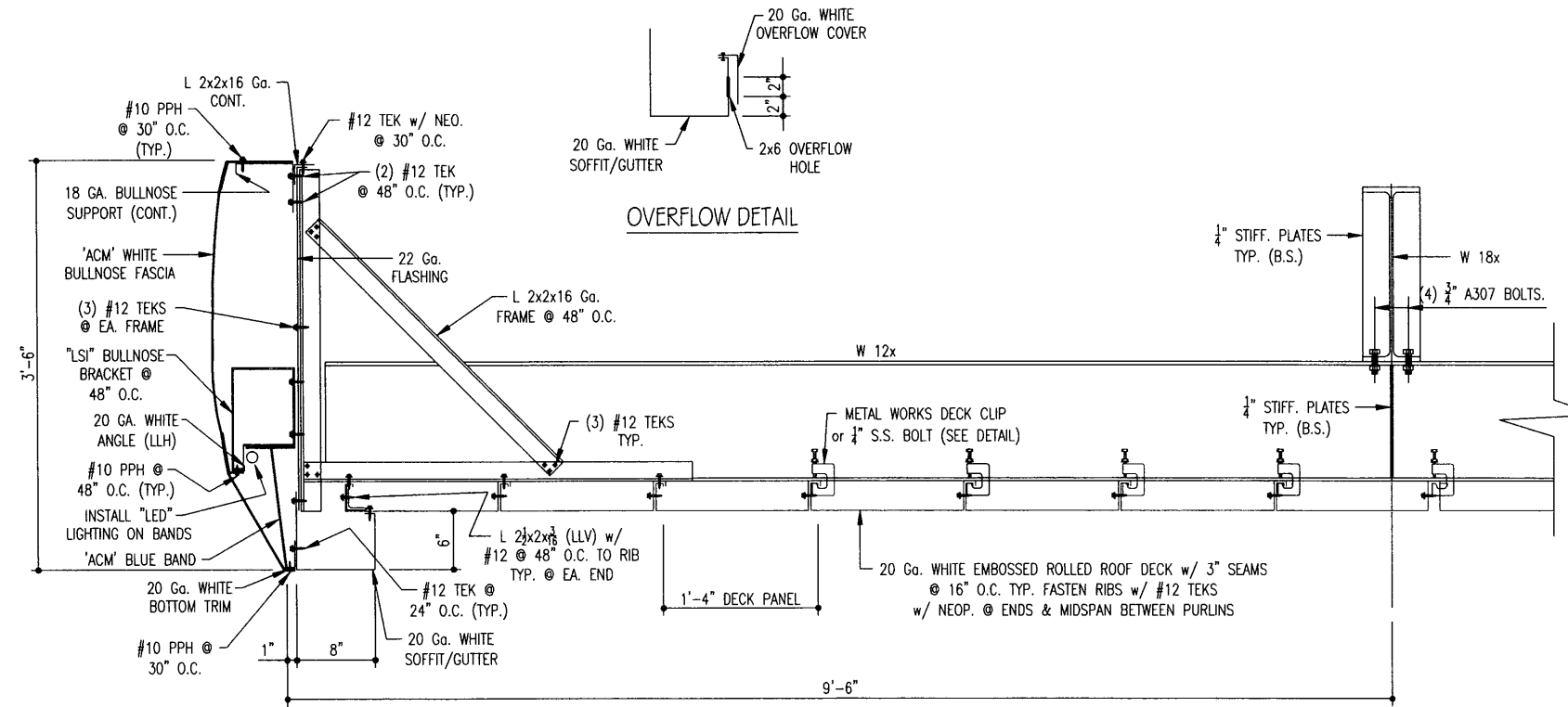
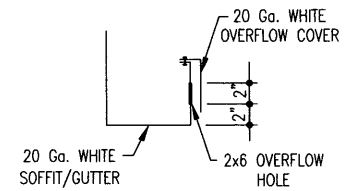
HAND SHN.	JOB NO. D17015



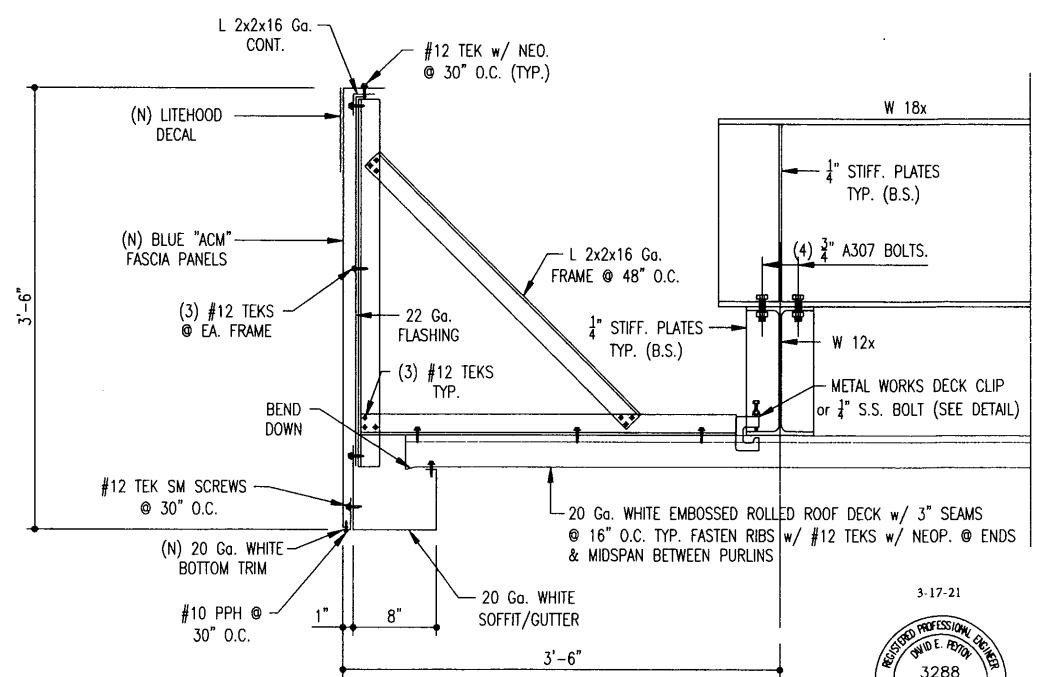
3-17-21



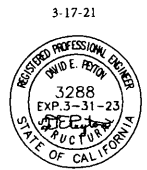
SECTION A
SCALE -" = 1'-0"
CS1



SECTION B
SCALE -" = 1'-0"
CS1



SECTION C
SCALE -" = 1'-0"
CS1



PROPRIETARY AND CONFIDENTIAL INFORMATION
THIS DOCUMENT AND THE INFORMATION HEREIN RELATING TO CALCRAFT CORPORATION AND ITS CLIENT HAS BEEN FURNISHED IN CONFIDENCE FOR THE PRIVATE USE OF AUTHORIZED PERSONNEL. NO PART HEREOF SHALL BE COPIED, REPRODUCED, DISTRIBUTED, DISCLOSED OR MADE AVAILABLE TO OTHERS OR USED TO ANY EXTENT WHATSOEVER EXCEPT AS EXPRESSLY AUTHORIZED IN WRITING BY CALCRAFT CORPORATION AND ITS CLIENT. ANY PERSON, FIRM OR CORPORATION RECEIVING THIS DOCUMENT, HOWEVER OBTAINED, SHALL BE VIRTUALLY DEEMED TO HAVE AGREED TO THE FOREGOING RESTRICTIONS.
CALCRAFT CORPORATION
© COPYRIGHT PROTECTED 2009

REV.	DATE	DESCRIPTION	BY

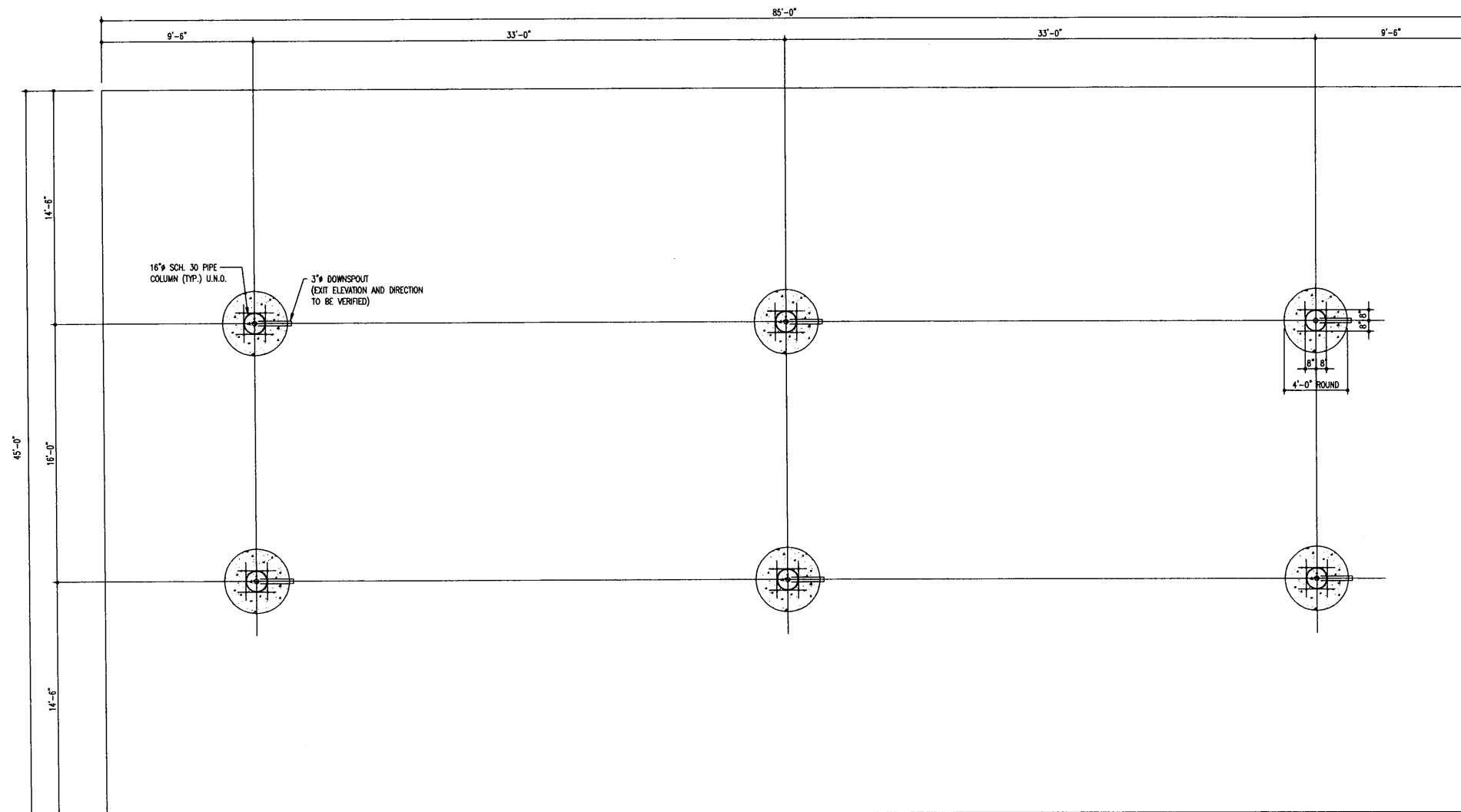


1428 South Willow Avenue, Rialto, CA 92378 - ph 909 879 2900 fax 909 879 2910
www.calcrafter.com - State contractor license #872310

SCALE: 1 1/2" = 1'-0" U.N.
DRAWN BY: HARRINGTON
DATE: 2-25-17
CHECKED BY:
DATE:

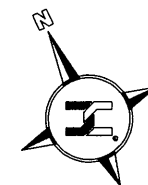
LOCATION: 9621 N. STATE STREET
REDWOOD VALLEY, CA.
TITLE: Faizan Corporation
45'-0" x 85'-0" (6) Column Canopy
Typical Canopy Sections

JOB NO.	D17015
REV.	CS2
DATE	



FOUNDATION PLAN
 (DETAILER NOTE: DOWNSPOUT AND CONDUIT INFORMATION TO BE VERIFIED.)

--- N. STATE STREET ---



NOTES:

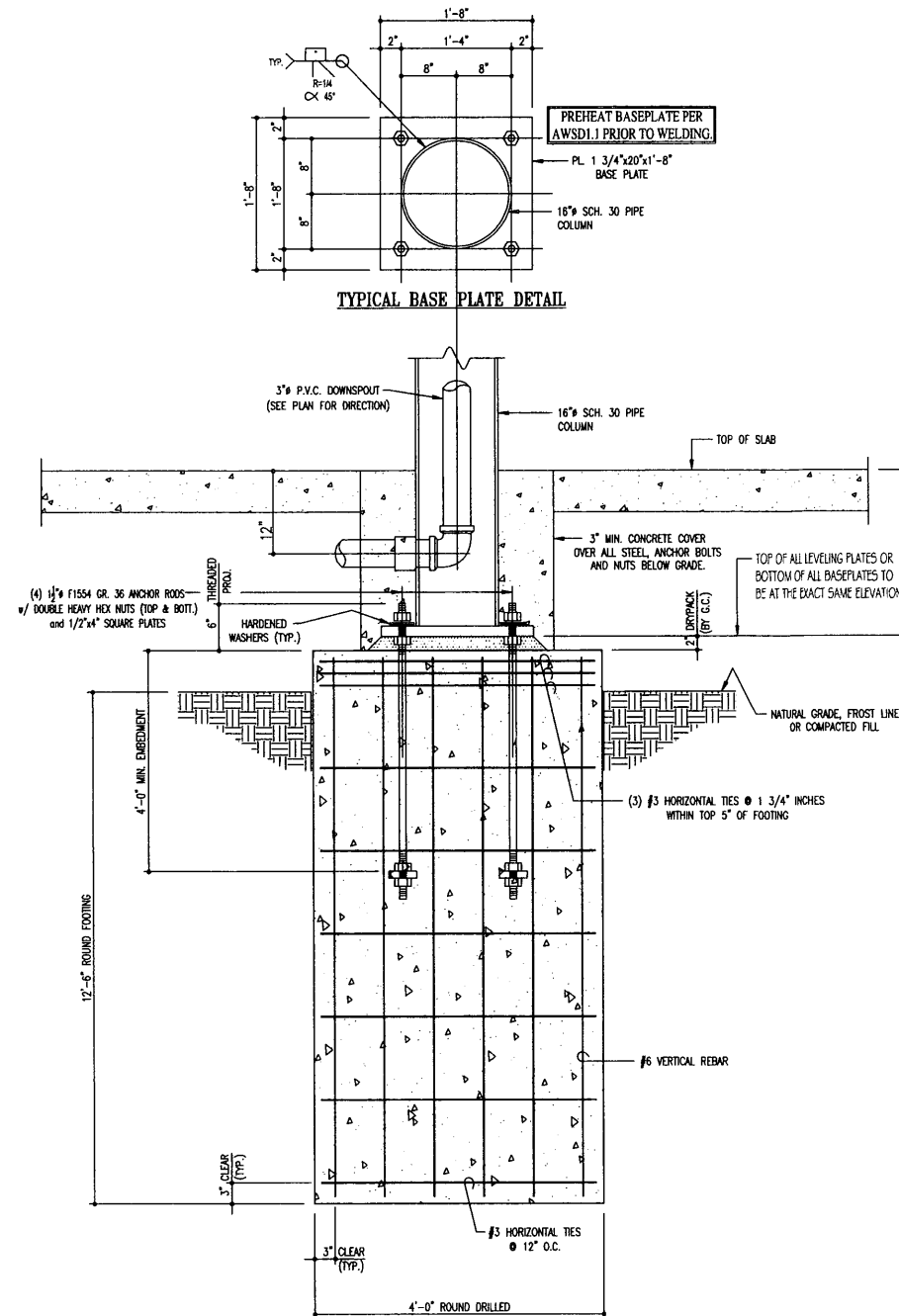
- IT IS THE OWNER'S/GENERAL CONTRACTORS RESPONSIBILITY TO CONVEY TO ALL CONTRACTORS THAT IT IS THEIR RESPONSIBILITY TO INSURE THAT THE SITE IS PROPERLY EXCAVATED AND GRADED. DURING CONCRETE FORMING AND AFTER THE POUR, THE CONCRETE SHOULD BE CHECKED FOR PROPER ELEVATION, LEVEL SQUARE AND CORRECT DIMENSIONS.
- THE MOST CRITICAL PHASE OF FOUNDATION PREPARATION IS IN THE PRECISE LOCATION OF ANCHOR BOLTS. MEASUREMENTS FOR ANCHOR BOLTS PLACEMENT MUST BE EXACT AND SHOULD BE RECHECKED TO ASSURE PROPER LOCATION.
- CORRECTION OF LOCATION, OF ELEVATION AND OF DIMENSIONAL ERRORS MUST BE MADE PRIOR TO THE ARRIVAL OF THE ERECTING CREWS AND PRIOR TO THE ERECTION OF THE STRUCTURE.
- AFTER THE FORMS HAVE BEEN REMOVED, ALL THE TRENCHES, HOLES AND UNEVEN SITE CONDITIONS MUST BE LEVELED TO INSURE A SAFE WORKING AND ACCESS AREA, ACCEPTABLE TO LOCAL, STATE, FEDERAL AND O.S.H.A. AGENCIES.
- PRIOR TO POURING FOUNDATIONS PLEASE CALL STRUCTURE FABRICATOR AND REQUEST SIGNED APPROVED FOUNDATION DRAWINGS WITH THE ESTABLISHED ELEVATIONS AND FOOTING DEPTH DIMENSIONS.
- TOP OF ALL ANCHOR BOLT LEVELING PLATES TO BE AT THE SAME ELEVATION. SEE SIGNED FOUNDATION DRAWINGS FOR THE ELEVATION.

G.C. NOTE:

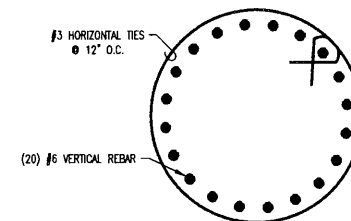
- PRIOR TO POURING FOUNDATIONS PLEASE CALL STRUCTURE FABRICATOR AND REQUEST SIGNED APPROVED FOUNDATION DRAWINGS WITH THE ESTABLISHED ELEVATIONS AND FOOTING DEPTH DIMENSIONS.
- TOP OF ALL ANCHOR BOLT LEVELING PLATES TO BE AT THE SAME ELEVATION. SEE SIGNED FOUNDATION DRAWINGS FOR THE ELEVATION.

DO NOT USE FOR CONSTRUCTION OF FOUNDATION UNLESS SIGNED BELOW

DATE: _____



FOOTING SECTION @ 16" PIPE COLUMN



FOOTING REINFORCING DETAILS



PROPRIETARY AND CONFIDENTIAL INFORMATION
 THIS DOCUMENT AND THE INFORMATION HEREIN RELATING TO CALCRAFT CORPORATION AND ITS CLIENT HAS BEEN FURNISHED IN CONFIDENCE FOR THE PRIVATE USE OF AUTHORIZED PERSONNEL. NO PART HEREOF SHALL BE COPIED, DUPLICATED, DISTRIBUTED, DISCLOSED OR MADE AVAILABLE TO OTHERS OR USED TO ANY EXTENT WHATSOEVER EXCEPT AS EXPRESSLY AUTHORIZED IN WRITING BY CALCRAFT CORPORATION AND ITS CLIENT. ANY PERSON, FIRM OR CORPORATION RECEIVING THIS DOCUMENT, HOWEVER OBTAINED, SHALL BY VIRTUE HEREOF BE DEEMED TO HAVE AGREED TO THE FOREGOING RESTRICTIONS.
 CALCRAFT CORPORATION
 © COPYRIGHT PROTECTED 2009

REV.	DATE	DESCRIPTION	BY

CALCRAFT Corporation
 1426 South Willow Avenue, Rialto, CA 92376 - ph 909 879 2900 fax 909 879 2910
 www.calcrafft.com - State contractor license #872310

SCALE: 1/4" = 1'-0" U.N.
 DRAWN BY: HARRINGTON
 DATE: 2-25-17
 CHECKED BY:
 DATE:

LOCATION 9621 N. STATE STREET
 REDWOOD VALLEY, CA.

TITLE **Faizan Corporation**
 45'-0" x 85'-0" (6) Column Canopy
 Foundation Plan

HAND SHN. JOB NO. **D17015**

3-17-21



CF1
 SHEET - OF -



RECEIVED
APR 12 2016
Planning & Building Services

April 12, 2016

Mr. Haji M. Alam
Faizan Corporation
390 E Gobbi Street
Ukiah, CA 95482
via email only: halam@faizan.com

Subject: Traffic Study for North State Street Gas Station Project

Dear Mr. Alam:

Transpedia Consulting Engineers (TCE) has prepared this traffic analysis to address anticipated traffic impacts associated with the North State Street Gas Station Project.

PROJECT DESCRIPTION

The project site is located at 9651 North State Street near the community of Redwood Valley (north of the City of Ukiah) in Mendocino County. The project will include a gas station with six gasoline pumps under a new canopy. Access to the project would be provided via two two-way driveways off of North State Street as shown in the attached site plan and aerial.

SCOPE OF WORK

The traffic analysis evaluated the following study intersection

- Highway 101/North State Street/Uva Drive

Traffic impacts are evaluated for the following traffic scenarios:

- Year 2016 (gas station opening day)
- Year 2016 plus project
- Year 2026 (cumulative at ten years out)
- Year 2026 plus project

LEVEL OF SERVICE CONCEPT

Intersections and roadways are evaluated in terms of "level of service" (LOS), which is a measure of driving conditions and vehicle delay. Levels of service range from A (best) to F (poorest). Levels of service A, B and C indicate conditions where traffic can move relatively freely. Level of service D describes conditions where delay is more noticeable. Level of service E describes conditions where traffic volumes are at or close to capacity, resulting in significant delays. Level of service F characterizes conditions where traffic demand exceeds available capacity, with very slow speeds (stop-and-go) and long delays (over a minute).

Highway 101 is a four-lane, north-south freeway of regional importance. It connects the City of San Francisco to the south, and the City of Eureka and other points to the north. It converts to an undivided highway north of the study intersection. It has a posted speed limit of 65 miles per hour (mph).

North State Street is a two-lane, rural arterial roadway. It connects the City of Ukiah to the south, and the community Redwood Valley to the north. It has no posted speed in the vicinity of the project.

Uva Drive is a two-lane, local roadway with no posted speed. It connects It connects the study intersection to Central Avenue to the south.

YEAR 2016 SCENARIO

Study intersection operations were evaluated for the am and pm peak hour traffic conditions. These peak conditions generally occur between 7:00 and 9:00 am, and 4:00 and 6:00 pm on weekdays. Turning movement counts at the study intersection during the am and pm peak periods were conducted by “All Traffic Data” for TCE on Wednesday, November 4, 2015.

Caltrans 20-year growth factor of 1.5 was used in this study (Caltrans District 1 Growth Factors, 2006). This factor translates to a 50% increase in traffic over the next 20-years or 2.5% annually. The project’s opening day is expected to be in the Year 2016. The “Year 2016 Scenario” traffic was obtained by applying a 2.5% annual traffic growth factor to existing counts.

Under “Year 2016 Scenario”, the study intersection operates at acceptable level of service during weekday am and pm peak hours, with the exception of level of service of Highway 101/North State Street/Uva Drive intersection’s minor eastbound approach was LOS D during pm peak hour as summarized in Table 2. The approach’s total delay is estimated at 0.06 vehicle hours during pm. peak hour. Capacity analysis worksheets are attached.

Table 2- Intersections Operations- Year 2016 Scenario

AM Peak Hour				
	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.2
	Eastbound Approach		(B)	(14.3)
PM Peak Hour				
	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.3
	Eastbound Approach		(D)	(28.7)

Source: Transpedia Consulting Engineers, 2016.

Notes: LOS = Level of Service, Delay = average delay per vehicle (seconds/vehicle), (X) = minor street LOS, (X.X) = minor street delay.

Table 4- Project Trip Distribution.

To/From North State Street South	12	9	5	4	10	5	5
To/From Uva Drive South	8	6	3	3	7	4	3
To/From U.S. 101 North	35	25	13	12	29	15	14
To/From U.S. 101 South	45	33	17	16	37	19	18
Total	100	73	38	35	83	43	40

Source: Transpedia Consulting Engineers, 2016.

YEAR 2016 PLUS PROJECT SCENARIO

Traffic that would be generated by the project was added to the "Year 2016 Scenario" traffic. Under "Year 2016 Plus Project Scenario" the study intersection, operates at the same service levels as under "Year 2016 Scenario", with the exception that delays increased slightly; and level of service of Highway 101/North State Street/Uva Drive minor eastbound approach changed from LOS B to LOS C during am peak hour and LOS D to LOS E during pm peak hour. The approach's total delay is estimated at 0.15 vehicle hours during pm peak hour.

The project has less than significant impacts at the study intersection. The level of service analysis results for the study intersection are summarized in Table 5. The intersection capacity analysis worksheets are attached.

Table 5- Intersection Operations- Year 2016 Plus Project Scenario

AM Peak Hour						
1	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.2	A	0.8
	Eastbound Approach		(B)	(14.3)	(C)	(20.2)
PM Peak Hour						
1	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.3	A	0.7
	Eastbound Approach		(D)	(28.7)	(E)	(40.1)

Source: Transpedia Consulting Engineers, 2016.

Notes: LOS = Level of Service, Delay = average delay per vehicle (seconds/vehicle), (X) = minor street LOS, (X.X) = minor street delay.

Table 7- Intersection Operations- Year 2026 Plus Project Scenario

AM Peak Hour						
1	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.2	A	0.9
	Eastbound Approach		(C)	(16.2)	(C)	(24.9)
PM Peak Hour						
1	Highway 101/North State Street/Uva Drive	2-Way Stop	A	0.5	A	2.1
	Eastbound Approach		(E)	(45.5)	(F)	(63.8)

Source: Transpedia Consulting Engineers, 2016.

Notes: LOS = Level of Service, Delay = average delay per vehicle (seconds/vehicle), (X) = minor street LOS, (X.X) = minor street delay.

SITE ACCESS

Project traffic access to the project site would be via a two two-way ingress/egress driveway off of North State Street. Sight distance at these two driveways was evaluated based on sight distance criteria contained in the Caltrans Highway Design Manual, March 7, 2014. The applicable criterion for a private driveway is based on stopping sight distance.

In the vicinity of the project, North State Street has no posted speed limit; however, a 45 mph speed limit is used for the sight distance evaluation purposes. The available sight distance at the location of the driveway off of North State Street is over 650 feet when looking north and 1850 feet when looking south, which exceeds the standard minimum stopping sight distance of 360 feet at 45 mph design speed. No vegetation or building along the project frontage on North State Street should be located within the minimum sight distance envelope so as not to obstruct the visibility of vehicles entering or exiting this access driveway.

The onsite circulation pattern appears to be adequate and typical of a commercial development.

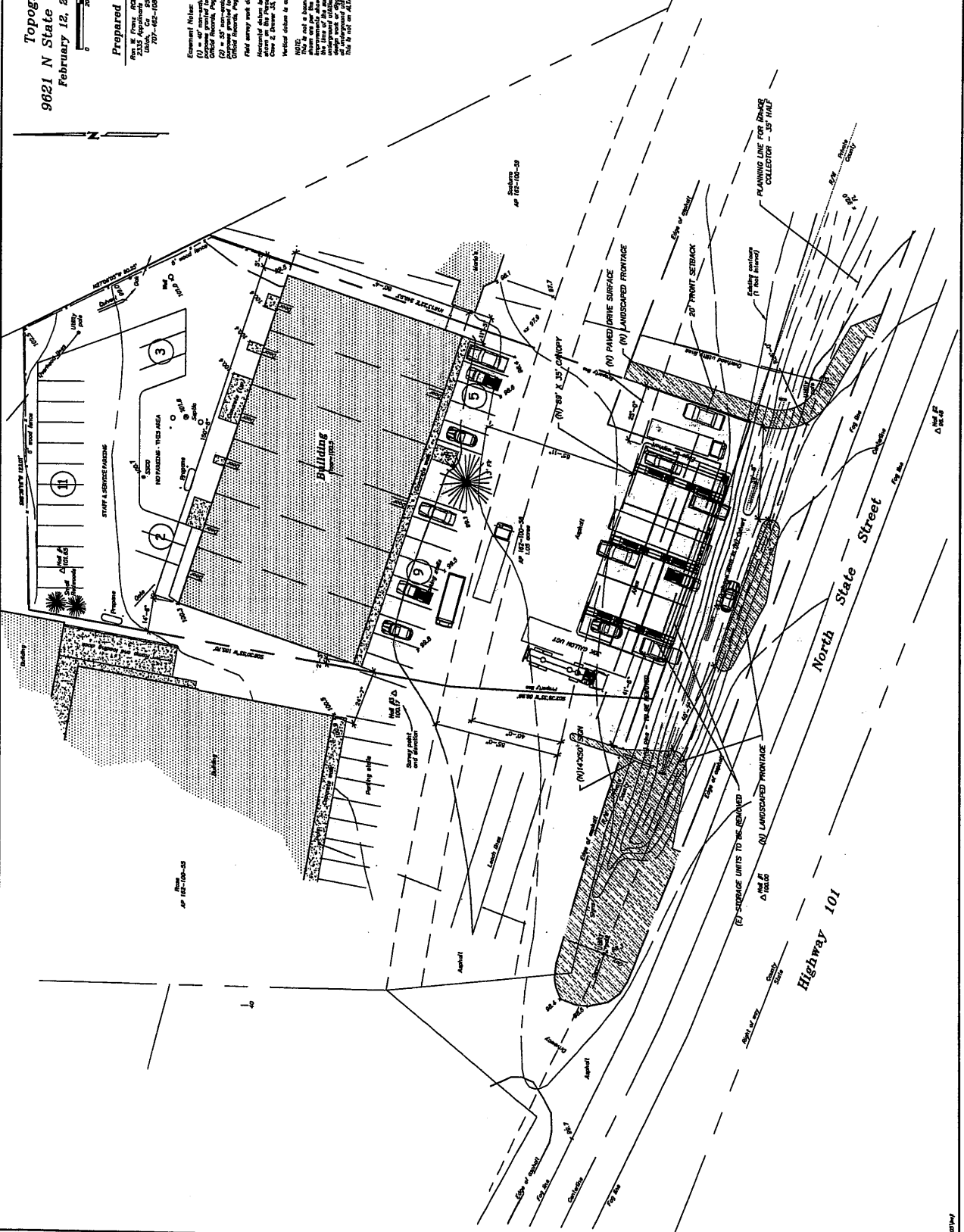
Topographic Map
 9621 N State St., Redwood Valley
 February 12, 2015 -- Scale: 1"=20'

Prepared By:
 L.S. Mitchell
 15 East Commerce Blvd, Suite 200
 Upland, CA 92580
 951-481-8778



Comments:
 (1) = 4' non-encroachment easement for roadway and utility
 easement shown on Plan, on April 12, 1975 in Book 1884,
 County of Butte, Page 107.
 (2) = 5' non-encroachment easement for roadway and utility
 easement shown on Plan, on April 12, 1975 in Book 1884,
 County of Butte, Page 107. Manufacture shown in Book 1884.
 Field survey work done on Feb. 4, 2015.
 Horizontal datum is per found monuments
 along the line of the 1975 Survey in the
 County of Butte, Page 107, Book 1884.
 Vertical datum is assumed.

NOTES:
 This is not a building survey. The property lines and easements
 shown are for information only. The owner is responsible for
 determining the accuracy of the information shown. The
 information shown is based on the information provided by the
 owner and is not a warranty. The information shown is not
 intended to be used for any other purpose. The information
 shown is for informational purposes only. The information
 shown is not to be used for any other purpose. The
 information shown is for informational purposes only.



All Traffic Data

(916) 771-8700
orders@atdtraffic.com

City of Ukiah
All Vehicles on Unshifted Tab
Peds & Bikes on Bank 1 Tab

File Name : 15-7880-001 Uva Street-N State Street-US 101
Site Code : 00000000
Start Date : 11/4/2015
Page No : 1

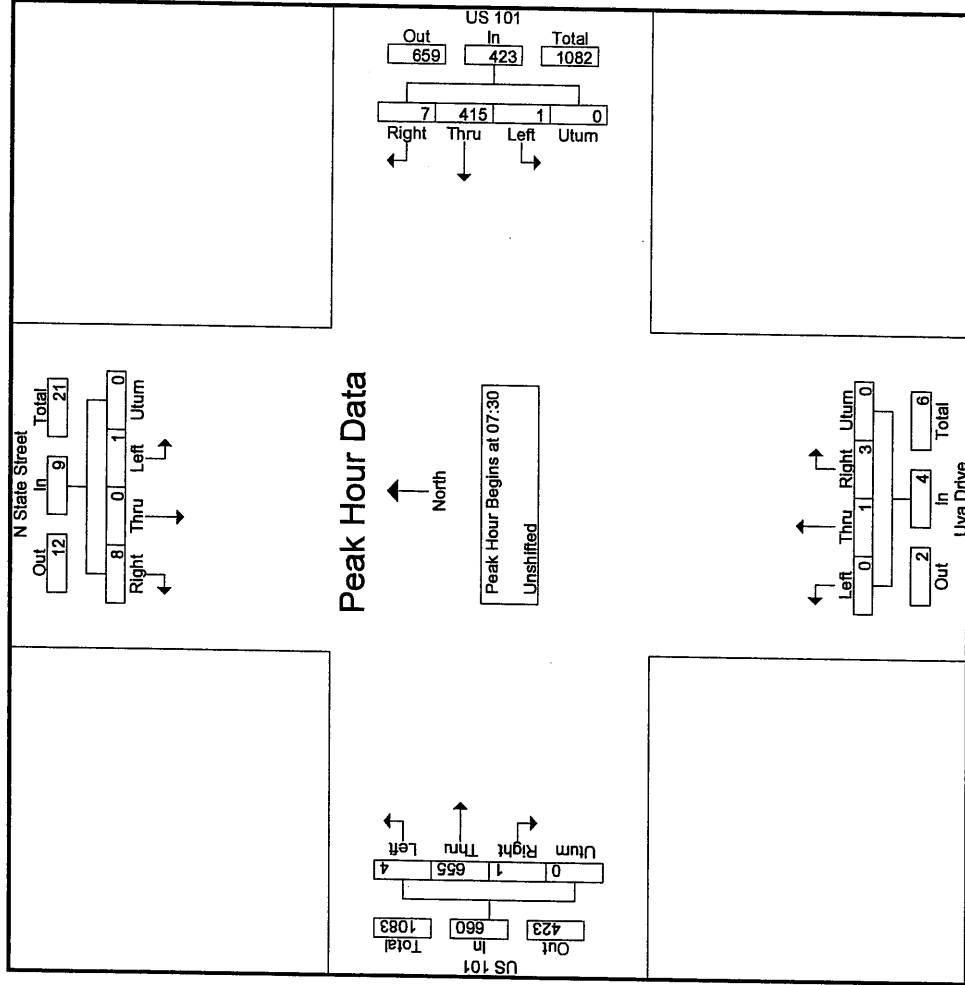
Start Time	Groups Printed- Unshifted																								
	N State Street Southbound						US 101 Westbound						Uva Drive Northbound						US 101 Eastbound						
	Left	Thru	Right	Uturn	App. Total	Int. Total	Left	Thru	Right	Uturn	App. Total	Int. Total	Left	Thru	Right	Uturn	App. Total	Int. Total	Left	Thru	Right	Uturn	App. Total	Int. Total	
07:00	0	0	1	0	1	0	61	0	0	0	0	0	0	0	0	0	0	0	0	102	0	0	0	102	164
07:15	0	0	1	0	1	0	92	1	0	0	3	0	3	0	0	0	0	0	0	118	0	0	0	119	21
07:30	0	0	1	0	1	0	97	1	0	0	0	0	0	0	0	0	0	0	204	0	0	0	206	30	
07:45	0	0	3	0	3	1	105	2	0	0	0	0	0	0	0	0	0	0	168	1	0	0	169	283	
Total	0	0	6	0	6	1	355	4	0	0	0	6	0	0	0	0	0	0	592	1	0	0	596	968	
08:00	0	0	3	0	3	0	102	4	0	0	0	1	0	0	0	0	0	0	143	0	0	0	143	253	
08:15	1	0	1	0	2	0	111	0	0	0	0	0	0	0	0	0	0	0	140	0	0	0	142	255	
08:30	1	0	1	0	2	0	107	1	0	0	0	0	0	0	0	0	0	0	156	0	0	0	157	267	
08:45	1	0	1	0	2	0	97	1	0	0	0	0	0	0	0	0	0	0	131	1	0	0	134	234	
Total	3	0	6	0	9	0	417	6	0	0	0	1	0	0	0	0	0	0	570	1	0	0	576	1009	
16:00	1	0	0	0	1	0	173	2	0	0	0	1	0	0	0	0	0	0	141	1	0	0	147	324	
16:15	0	0	0	0	0	0	169	0	0	0	0	0	0	0	0	0	0	0	146	2	0	0	149	320	
16:30	0	0	2	0	2	0	157	4	0	0	0	0	0	0	0	0	0	0	176	1	0	0	180	343	
16:45	0	0	1	0	1	1	175	0	0	0	0	0	0	0	0	0	0	0	171	2	0	0	175	353	
Total	1	0	3	0	4	1	674	6	0	0	0	4	0	0	0	0	0	0	634	6	0	0	651	1340	
17:00	0	0	6	0	6	3	217	3	0	0	0	5	0	0	0	0	0	0	157	1	0	0	160	394	
17:15	0	0	1	0	1	1	200	4	0	0	0	2	0	0	0	0	0	0	129	1	0	0	134	342	
17:30	0	0	0	0	0	1	173	3	0	0	0	3	0	0	0	0	0	0	110	1	0	0	113	293	
17:45	0	0	1	0	1	1	159	1	0	0	0	1	0	0	0	0	0	0	135	6	0	0	142	30	
Total	0	0	8	0	8	6	749	11	0	0	0	11	0	0	0	0	0	0	531	9	0	0	549	133	
Grand Total	4	0	23	0	27	8	2195	27	0	0	0	2230	0	0	0	0	0	0	2327	17	0	0	2372	4651	
Approach %	14.8	0	85.2	0	0.6	0.4	98.4	1.2	0	0	0	47.9	0	0	0	0	0	0	98.1	0.7	0	0	98.1	4651	
Total %	0.1	0	0.5	0	0	0.2	47.2	0.6	0	0	0	0	0	0	0	0	0	0	50	0.4	0	0	50	51	

All Traffic Data

(916) 771-8700
orders@atdtraffic.com

City of Ukiah
All Vehicles on Unshifted Tab
Peds & Bikes on Bank 1 Tab

File Name : 15-7880-001 Uva Street-N State Street-US 101
Site Code : 00000000
Start Date : 11/4/2015
Page No : 3

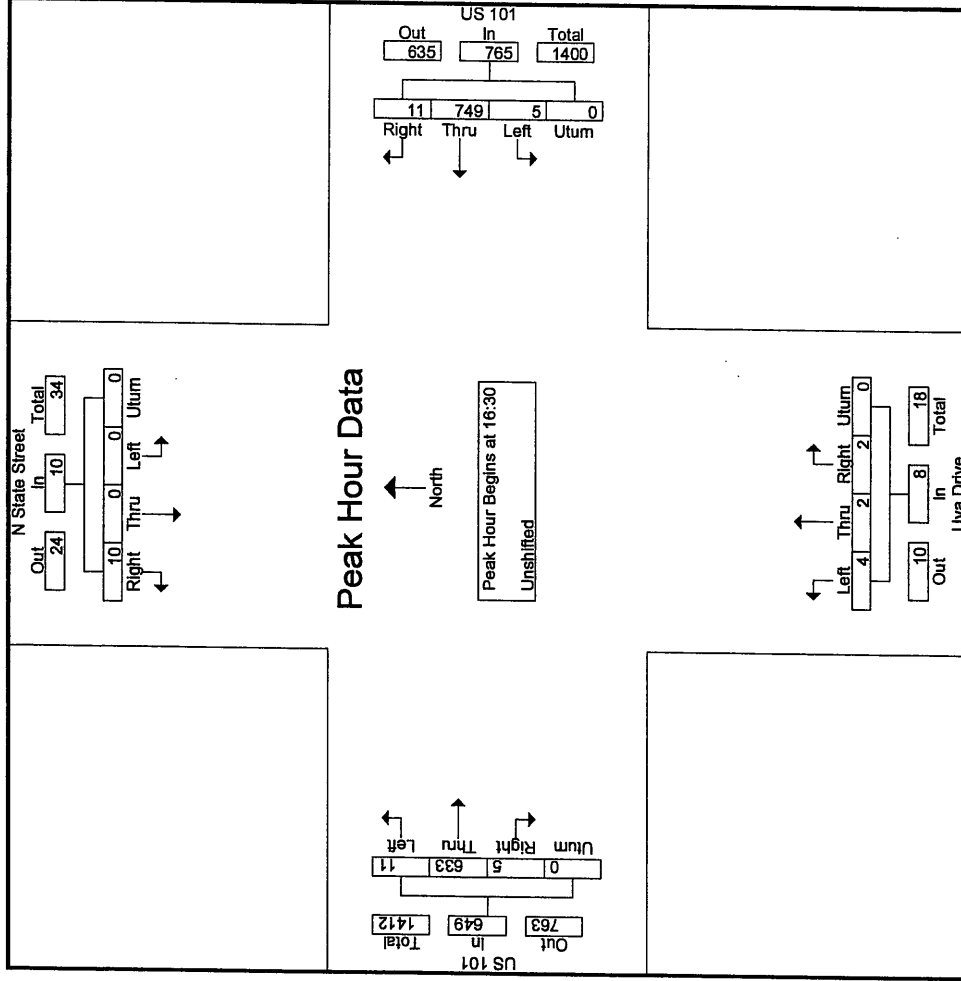


All Traffic Data

(916) 771-8700
orders@atdtraffic.com

City of Ukiah
All Vehicles on Unshifted Tab
Peds & Bikes on Bank 1 Tab

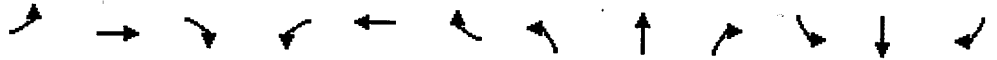
File Name : 15-7880-001 Uva Street-N State Street-US 101
Site Code : 00000000
Start Date : 11/4/2015
Page No : 5



N State St Gas Station
1: Uva Dr & Hwy 101

HCM Unsignalized Intersection Capacity Analysis

4/11/2016



Lane Configurations	↔		↔		↖		↗		↖		↗	
Volume (veh/h)	4	0	5	0	10	5	7	1	5	7	0	6
Sign Control	Stop		Stop		Free		Free		Free		Free	
Grade	0%		0%		0%		0%		0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly Volume (veh)	4	0	5	0	10	5	7	1	5	7	0	6
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blackout												
Right turn flare (veh)												
Median Type	None											
Median storage (veh)												
Distance (ft)												
pX, platoon unblocked												
Volume (veh/h)	1160	1589	355	1228	1585	423	711					846
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	1160	1589	355	1228	1585	423	711					846
tC, 2 stage (s)												
p0 queue free %	97	98	100	100	100	98	99					98
Volume Left	4	0	5	0	0	12	0	0				
Volume Right												
cSH	161	580	884	1700	1700	787	1700	1700				
Queue Length 95th (ft)	4	1	0	0	0	1	0	0				
Lane LOS	D	B	A			A						
Approach LOS	D	B										
Average Delay	0.3											
Capacity Utilization	32%											
Analysis Period (min)	15											

N State St Gas Station
1: Uva Dr & Hwy 101

HCM Unsignalized Intersection Capacity Analysis

4/11/2016



Lane Configurations	↔		↔		↙		↕		↘		↕	
Volume (veh/h)	4	20	26	0	0	28	0	0	0	0	0	0
Sign Control	Stop				Stop		Free		Free			
Stage	0%				0%		0%		0%			
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly Volume (vph)	4	20	26	0	0	28	0	0	0	0	0	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Queue												
Right turn flare (veh)												
Median Type	None											
Median storage (veh)												
Median Storage (ft)												
pX, platoon unblocked												
vC1, stage 1 conf vol												
vCu, unblocked vol	1235	1662	355	1304	1659	423	711					846
tC, 2 stage (s)												
p0 queue free %	96	93	100	81	96	95	97					96
Volume Left	4	20	26	0	0	28	0	0				
cSH	115	184	884	1700	1700	787	1700	1700				
Queue Length 95th (ft)	9	26	2	0	0	3	0	0				
Lane LOS	E	D	A			A						
Approach LOS	E	D										
Average Delay	1.5											
Intersection Capacity Utilization	0.20											
Analysis Period (min)	15											



Lane Configurations	↕		↕		↖		↗		↕		↕	
Volume (veh/h)	6	3	0	0	13	6	939	14	14	15	15	150
Sign Control	Stop		Stop		Free		Free		Free		Free	
Grade												
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicle %	7	3	0	0	14	7	10.7	15	15	15	15	150
Pedestrians												
Walking Speed (ft/s)												
Right turn flare (veh)												
Median storage (veh)												
pX, platoon unblocked												
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	1415	1939	433	1500	1935	516	866					1033
tC, 2 stage (s)												
p0 queue free %	93	95	99	100	100	97	99					98
Volume Left	7	0	7	0	0	15	0	0				
cSH	102	504	773	1700	1700	669	1700	1700				
Queue Length 95th (ft)	11	2	1	0	0	2	0	0				
Lane LOS	E	B	A			B						
Approach LOS	E	B										
Average Delay	0.5											
Intersection Capacity Utilization	88.8%		100 Level of Service									
Analysis Period (min)	15											

N State St Gas Station
1: Uva Dr & Hwy 101

HCM Unsignalized Intersection Capacity Analysis

4/11/2016



Lane Configurations	↔		↔		↖		↗		↖		↗	
Volume (veh/h)	6	27	3	18	3	27	6	936	38	29	201	6
Sign Control	Stop				Stop				Free			
Grade	0%				0%				0%			
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly Flow rate (vph)	7	3	3	20	3	29	7	1017	36	32	860	7
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type	None											
Median storage (veh)												
Urban signal (ft)												
pX, platoon unblocked												
IC, conf stage volume	1249	1992	433	1545	1978	527	866	1053				
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	1449	1992	433	1545	1978	527	866	1053				
IC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	7.1	7.1				
IC, 2 stage (s)												
IC (s)	8.5	7.0	7.3	8.5	7.0	7.3	7.5	7.5				
p0 queue free %	92	87	99	71	94	94	99	95				
IC capacity (veh/h)	79	87	573	57	33	96	779	657				
Volume Left	7	20	7	0	0	32	0	0				
Volume Right	3	28	0	0	35	0	0	7				
cSH	78	127	773	1700	1700	657	1700	1700				
Queue Length 95th (ft)	19	44	1	0	0	4	0	0				
Control Delay (s)	39.8	61.5	9.7	11.0	10.1	10.3	10.0	10.0				
Lane LOS	F	F	A	B								
Approach Delay (s)	63.8	51.6	0	0								
Approach LOS	F	F										
Average Delay	2.1											
Intersection Capacity Utilization	37.2%											
ICU Level of Service	A											
Analysis Period (min)	15											



STATE OF CALIFORNIA- THE NATURAL RESOURCES AGENCY
DEPARTMENT OF FORESTRY AND FIRE PROTECTION
MENDOCINO UNIT
17501 NORTH HIGHWAY 101
WILLITS, CA 95490
STATE FIRE SAFE REGULATIONS CONDITIONS OF APPROVAL (REV 8/21)

GAVIN NEWSOM, GOVERNOR

Applicant Name: Fazian Corporation

Review Date: 8/31/21

CAL FIRE #:336-21

Building Permit #:

APN:162-100-58

The CAL FIRE Mendocino Unit has reviewed this Building Permit application. Based upon the Unit's review, the following conditions shall be incorporated prior to approval of permit issuance.

You must comply with the following marked (X) standards below to obtain FINAL CLEARANCE

ADDRESS STANDARD

- Address must be posted at beginning of construction and maintained thereafter.
- Minimum 4" letter height, 1/2" stroke, reflectorized with contrasting background, visible from both directions of travel.
- Multiple addresses on a single driveway shall be mounted on a single post.
- Address shall be placed at each driveway entrance

DRIVEWAY STANDARD

- Minimum 10' wide with 14' unobstructed horizontal clearance and 15' unobstructed vertical clearance.
- Driveway shall have an all-weather surface, with no more than 16% grade, and minimum 50' radius inside curvature on all turns.
- Driveways exceeding 150' but less than 800' require a turnout near the midpoint, driveways exceeding 800' shall provide turnouts no more than 400' apart. Turnout shall be a minimum of 12' wide, 30' long with 25' tapers on each end.
- A turnaround shall be provided to all building sites on driveways more than 300' in length and shall be within 50' of the building, a 40' radius turnaround or 60' hammerhead "T" shall be utilized.
- Gates shall be a minimum 14' wide, all gates providing access shall be located at least 30' from the roadway. Security gates shall have an approved means of emergency operation.

MAINTAIN DEFENSIBLE SPACE AND FUELS MODIFICATION STANDARD

- All parcels 1 acre and larger shall provide a minimum 30' setback for all buildings from property lines and/ or the center of the road.
- All parcels less than 1 acre, the local jurisdiction shall provide for the same practical effect.
- Fuel modification and disposal of flammable vegetation and fuels caused by site development and construction, shall be completed prior to road construction or final inspection of building permit.
- Maintain defensible space 100' from each side and front and rear of the structure(s), but not beyond the property line. The intensity of fuels management may vary within the 100' perimeter of the structure, the most intense being within 30' of the structure.



- Remove that portion of a tree that extends within 10 feet of a chimney or stovepipe.
- Maintain a tree, shrub, or other plant adjacent to or overhanging a structure.
- Maintain the roof structure free of leaves, needles, or other vegetative materials.

EMERGENCY WATER STANDARD _____ gallon minimum dedicated emergency water storage

- Water systems equaling or exceeding the National Fire Protection Association (NFPA) 1142, 2012 Edition and California Fire Code CCR 24 part 9, shall be accepted as meeting the requirements of this article.
- The hydrant or fire valve shall be 18" above grade, 8' from flammable vegetation, no closer than 4' and no further than 12' from roadway, and in a location apparatus using it will not block the roadway.
- The hydrant shall be not less than 50' nor more than ½ mile from the building it is to serve, shall be located at a turnout or turnaround along the driveway to that building or along a road that intersects with driveway.
- The hydrant head shall be 2 ½" National Hose male thread with cap for pressure and gravity flow systems, and 4 ½" for draft systems. They shall have suitable crash protection.
- A reflectorized blue marker minimum of 3" diameter shall be mounted on a fire-retardant post within 3' of the hydrant. The marker shall be no less than 3' or more than 5' above grade.

ROAD STANDARD

- All roads shall be constructed to provide two 10' traffic lanes, not including shoulder and striping.
- Roadway shall be designed and maintained to support 75,000lb and provide an aggregate base. Project applicant shall provide engineering specifications to support design if requested.
- The grades for all roads, streets, private lanes, and driveways shall not exceed 16%.
- No roadway shall have an inside radius curvature of less than 50' and additional width of 4' shall be added to curves of 50-100'.
- Turnarounds are required on driveways and dead-end roads. The minimum turning radius shall be 40 feet not including parking. If a hammerhead "T" is used the top of the "T" shall be a minimum of 60' in length.
- Turnouts shall be a minimum of 12' wide by 30' long and 25' tapers on each end.
- All one-way roads shall provide a minimum 12' traffic lane, not including shoulders. All one-way roads shall connect to a two-lane road at both ends. In no case shall it exceed 2640' in length and a turnout shall be placed at the approximate mid-point.
- Maximum lengths for dead end roads: Parcels zoned less than 1 acre- 800', parcels zoned 1-4.99 acres- 1320', parcels zoned 5-19.99 acres-2640', parcels zoned 20 acres or larger- 5280'. Where parcels are zoned 5 acres or larger turnarounds shall be provided at maximum 1320' intervals. Each dead-end road shall have turn around constructed at its a terminus.



STATE OF CALIFORNIA- THE NATURAL RESOURCES AGENCY
 DEPARTMENT OF FORESTRY AND FIRE PROTECTION
 MENDOCINO UNIT
 17501 NORTH HIGHWAY 101
 WILLITS, CA 95490
 STATE FIRE SAFE REGULATIONS CONDITIONS OF APPROVAL (REV 8/21)

GAVIN NEWSOM, GOVERNOR

SIGN STANDARD

- Size of letters, numbers, and symbols for street and road signs shall be a minimum 4" letter height, ½" stroke, reflectorized, and contrasting with background color of sign. Visible from both directions of travel for at least 100'.
- Height of street and road signs shall be uniform county wide, newly constructed, or approved public and private roads must be identified by a name or number through a consistent countywide system. Signs shall be placed at the intersection of those roads streets or private lanes.
- A sign identifying traffic access or flow limitations, including but not limited to weight or vertical clearance limitations, dead end road, one way road, or single lane conditions shall be placed at the intersection preceding the access limitation and no more than 100' before such access limitation.

BRIDGE STANDARD

- All roadway structures shall be constructed to carry at least the maximum load and minimum vertical clearance as required by Vehicle Code Sections 35250, 35550, and 35750.
- The bridge shall be constructed and maintained in accordance with the American Association of State and Highway Transportation Officials Standard Specifications for Highway Bridges, 17th Edition. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus.
- Vehicle load limits shall be posted at both entrances to bridges.
- A bridge with only one lane shall provide for unobstructed view from one end to the other with turnouts at both ends.

EXCEPTION REQUEST GRANTED

- See attached letter

EXCEPTION REQUEST DENIED

- See attached letter

Project review and approval by: Chris Vallerga

Mendocino Unit - Fire Prevention Bureau

Please note that the comments noted above are based on a CAL FIRE State Fire Safe Regulation review only. There may be additional comments or information requested from other County Departments or Divisions reviewing this application submittal package. Should you have any questions of me, contact me at (707) 459-7414 or email at Mendocino4290@fire.ca.gov.



RECEIVED
 AUG 31 2021

MENDOCINO UNIT

CAL FIRE File # 336-21
* FOR OFFICE USE ONLY *

STATE FIRE SAFE REGULATIONS APPLICATION

Building / Project Site Information		
Address: 9621 North State Street	APN: 1621005800	
City: Redwood Valley	Zip Code: 95470	
Property Owner		
Name: Faizan Corporation/Haji Alam		
Mailing Address: 390 East Gobbi Street		
City: Ukiah	State: California	
Zip Code: 95482	Phone: (707) 462-4115	
Email: halam@faizan.com		
Agent Representing Property Owner		
Name: RICHARD RUFF RUFF & ASSOCIATES INC.		
Mailing Address: 100 WEST STANDLEY STREET		
City: UKIAH	State: CA.	
Zip Code: 95482	Phone: (707) 472-0525	
Email: richard@ruffarchitect.com		
Mail Correspondence to (choose one)		
<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Pick Up at CAL FIRE Howard Forest
Project Information		
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial
<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Class K	<input type="checkbox"/> Subdivision
<input type="checkbox"/> Remodel/ Addition	<input type="checkbox"/> Replacement	<input type="checkbox"/> Other
Dwelling Sq. Ft:	Attached Garage Sq. Ft:	
Accessory Building(s) Sq. Ft:	Detached Garage/ Shop Sq. Ft:	
Agricultural Building(s) Sq. Ft:	Other Structure Sq. Ft: Detached Canopy's 6,118 SF	
TOTAL SQUARE FEET: 6,118 SF		
Briefly describe the structure(s) to be built: Construction of A-86- by 45-foot (3,868 SF) detached canopy with six (6) multi-product dispensers & B-50' X 45' (2,250 SF) detached canopy with four (4) diesel dispensers. 2- Underground fuel Tanks		



Project Information Continued		
	Yes	No
1. Was the subject parcel created PRIOR to January 1, 1991?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Is the structure within a ½ mile driving distance of a working fire hydrant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Is the structure within a 5-mile driving distance of a year-round fire station?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Is the subject parcel 1 acre or larger?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed structure(s) be 30 ft. or more from ALL property lines	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Will your project require construction of a new road?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Will your project require extension of an existing road?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If you answered YES to question 6 or 7:	How many feet?	Maximum grade (%)?
8. Will your project require construction of a new driveway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will your project require extension of an existing driveway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If you answered YES to question 8 or 9:	How many feet? 35	Maximum grade (%)? 5%
If you answered No to (one or more) questions 6-9, describe the existing road/driveway: The site frontage is on North State Street, which is a two-lane paved frontage road running along the north side of Hwy 101.		
10. Is there an existing bridge(s) on the parcel that provide access to the project site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will a bridge be installed/ constructed to provide access to project site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Is a plot plan attached as per the instructions?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Subdivision Information (only required for subdivision)		
Current acreage before split?	How many parcels will be created?	
Acreage of each newly created parcel?		
Timber and Land Conversion Activities		
13. Will trees be cut and timber products be sold, bartered, traded, or exchanged?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Will timberland be converted to a non-timber growing use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If YES on questions 13 or 14, a harvest permit may be required from CAL FIRE Resource Management FOR QUESTIONS RELATED TO TIMBER OR LAND CONVERSION CALL (707) 459-7440		
Exception Request		
15. Will your project require an exception to ANY of the Fire Safe Regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If YES on question 15, attach a separate page identifying the applicable section pertinent to your request, facts supporting the request, and details of the exception or mitigation measures proposed, and a map showing the proposed location of the exception or mitigation measure.		

I hereby agree to maintain the property in compliance with the Fire Safe Regulations established in the Public Resources Code Section 4290. The information submitted in this application is complete and accurate to the best of my knowledge.

Signature of property owner or authorized agent:	
Date: 8/20/21	Print Name: RICHARD P. RUFF



COUNTY OF MENDOCINO

PLOT PLAN BUILDING INSPECTION DIVISION

JOB ADDRESS 9621 NORTH STATE STREET

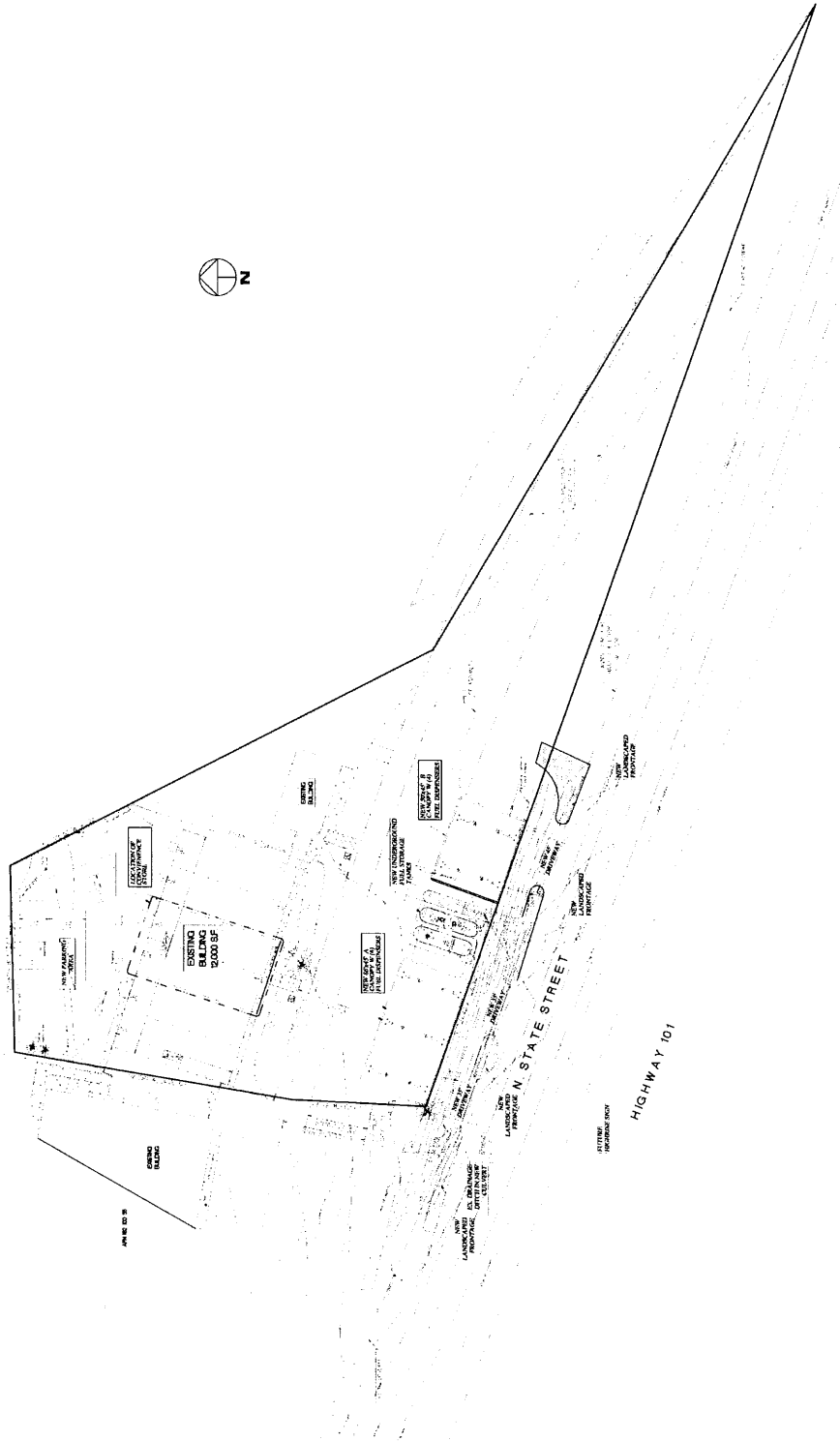
ASSESSOR'S PARCEL NO. 162-100-58 & 59

APPLICATION NO.

TOWN OR COMMUNITY UKIAH, CA 95482

OWNER'S (LEGAL) NAME FAIZAN CORPORATION/HAJI ALAM

Show all buildings, structures, mobile homes, septic tanks and leach fields, wells, streams, lakes, roads, streets, alleys, retaining walls, fences, easements, electrical power poles, and any other improvements and indicate all distances between. Specify whether existing or proposed. Draw and show scale. Indicate orientation with a North Arrow.





Redwood Valley Calpella Fire District

8481 East Rd
Redwood Valley, Ca 95470
707-485-8121

RVCFD Building # 2021-020

Project Approval Form

Project Name: Chevron Gas Station

Project Location: 9621 N. State St. Ukiah, CA 95482

Parcel # 162-100-58 & 59

Description of project: Canopy 86' x 45' with (6) Fuel Dispensers under Canopy
Canopy 50' x 45' with (4) Fuel Dispensers under Canopy
2 / New Underground Fuel Storage Tanks

Legal Owner: Faizan Corporation / Haji Alam

Mailing Address: 9621 N State St. Ukiah Ca 95482

RVCFD has accepted the plans (X)

Rvcfd has accepted plans with deferred submittals ()

RVCFD is requesting additional information before we will accept ()

Approved by Kerry Robinson

Title: Chief

Signature: 

Date: 9/16/2021