



**COUNTY OF MENDOCINO**  
**DEPARTMENT OF PLANNING AND BUILDING SERVICES**

860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482  
 120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

IGNACIO "NASH" GONZALEZ, INTERIM DIRECTOR  
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April 1, 2021

Planning – Ukiah  
 Department of Transportation  
 Environmental Health - Fort Bragg  
 Building Inspection - Fort Bragg  
 Farm Advisor  
 Air Quality Management

Archaeological Commission  
 Sonoma State University  
 Caltrans  
 Department of Forestry/ CalFire  
 Prevention  
 Department of Fish and Wildlife

Coastal Commission  
 Gualala Municipal Advisory Council  
 Gualala Community Services District  
 Cloverdale Rancheria  
 Redwood Valley Rancheria  
 Sherwood Valley Band of Pomo Indians

**CASE#:** CDP\_2021-0008

**DATE FILED:** 1/29/2021

**OWNER:** FRANCINE TEMPLE AND JOSEPH & JACKIE DIAS

**APPLICANT:** JOSEPH & JACKIE DIAS

**AGENT:** KC1 PROPERTIES, KEN EATON

**REQUEST:** Administrative Coastal Development Permit to install a 1958 square foot manufactured single family residence on a permanent foundation. The request also includes a detached 576 square foot garage, a 1032 square foot exterior deck, paved driveways, walkways, minor grading, retaining walls and landscaping. Connection to appropriate utilities, production well, and connect sewer to Gualala Community Service District. Removal of select (5) trees stumps within the building envelope is requested to facilitate development.

**ENVIRONMENTAL DETERMINATION:** Class 3(a) (b) and (e), Section 15303Categorically Exempt

**LOCATION:** In the Coastal Zone, 3.3 miles south of Anchor Bay, lying on the west side of Highway 1; located at 38950 S. Hwy 1, Gualala; APN: 145-183-03.

**SUPERVISORIAL DISTRICT:** 5

**STAFF PLANNER:** TIA SAR

**RESPONSE DUE DATE:** April 14, 2021

**PROJECT INFORMATION CAN BE FOUND AT:**

[www.mendocinocounty.org](http://www.mendocinocounty.org)

Select "Government" from the drop-down; then locate Planning and Building Services/Public Agency Referrals.

Mendocino County Planning & Building Services is soliciting your input, which will be used in staff analysis and forwarded to the appropriate public hearing. You are invited to comment on any aspect of the proposed project(s). Please convey any requirements or conditions your agency requires for project compliance to the project coordinator at the above address, or submit your comments by email to [pbs@mendocinocounty.org](mailto:pbs@mendocinocounty.org). Please note the case number and name of the project coordinator with all correspondence to this department.

We have reviewed the above application and recommend the following (please check one):

- No comment at this time.
- Recommend conditional approval (attached).
- Applicant to submit additional information (attach items needed, or contact the applicant directly, copying Planning and Building Services in any correspondence you may have with the applicant)
- Recommend denial (Attach reasons for recommending denial).
- Recommend preparation of an Environmental Impact Report (attach reasons why an EIR should be required).
- Other comments (attach as necessary).

**REVIEWED BY:**

Signature \_\_\_\_\_ Department \_\_\_\_\_ Date \_\_\_\_\_

# CASE: CDP\_2021-0008

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**OWNER:** JOSEPH & JACKIE DIAS

**APPLICANT:** JOSEPH & JACKIE DIAS

**AGENT:** KC1 PROPERTIES, KEN EATON

**REQUEST:** Administrative Coastal Development Permit to install a 1958 square foot manufactured single family residence on a permanent foundation. The request also includes a detached 576 square foot garage, a 1032 square foot exterior deck, paved driveways, walkways, minor grading, retaining walls and landscaping. Connection to appropriate utilities, production well, and connect sewer to Gualala Community Service District. Removal of select (5) trees stumps within the building envelope is requested to facilitate development.

**LOCATION:** In the Coastal Zone, 3.3 miles south of Anchor Bay, lying on the west side of Highway 1; located at 38950 S. Hwy 1, Gualala; APN: 145-183-03.

**APN/S:** 145-183-03

**PARCEL SIZE:** 0.4 Acre

**GENERAL PLAN:** Gualala Highway Mixed Use (GHMU), Coastal Element Chapter 4.12 and Gualala Town Plan

**ZONING:** Gualala Highway Mixed Use (GHMU), Mendocino County Coastal Zoning Code

**EXISTING USES:** Undeveloped Residential

**DISTRICT:** 5<sup>th</sup> Supervisorial District (Williams)

**RELATED CASES:** CE\_2016-0053 Well

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	<u>ADJACENT GENERAL PLAN</u>	<u>ADJACENT ZONING</u>	<u>ADJACENT LOT SIZES</u>	<u>ADJACENT USES</u>
<b>NORTH:</b>	GHMU	GHMU	0.34 Acre	Residential
<b>EAST:</b>	GVMU	GVMU	0.93 Acre	Residential
<b>SOUTH:</b>	GHMU	GHMU	0.28 Acre	Residential
<b>WEST:</b>	RR5 [SR]	RR	0.38 Acre	Residential

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## REFERRAL AGENCIES

### LOCAL

- Air Quality Management District
- Archaeological Commission
- Assessor's Office
- Building Division FB
- Department of Transportation (DOT)
- Environmental Health (FB)
- Planning Division (Ukiah)

- Sonoma State University
- GMAC
- Gualala Community Services District

### STATE

- CALFIRE (Land Use)
- California Coastal Commission
- California Dept. of Fish & Wildlife

- CalTrans

### TRIBAL

- Cloverdale Rancheria
  - Redwood Valley Rancheria
  - Sherwood Valley Band of Pomo Indians
- 

**ADDITIONAL INFORMATION:** The proposed residential development propose connects to the test well on-site and Gualala Community Services District sewer. The services district requests an on-site septic tank. A hydrological study has not been submitted; access to an adequate water supply has not been established (See MCC Sec. 20.516.015(B)). Project site is a 0.4-acre property located in a Critical Water Resource Area. Within the proposed development footprint, five (5) tree stumps would be removed (3 Pine, 1 Wax Myrtle, and 1 Cypress) and one 24' Palm Cluster would be relocated.

**STAFF PLANNER:** TIA SAR

**DATE:** 3/31/2021

## ENVIRONMENTAL DATA

**1. MAC:**

GIS

*GMAC*

**2. FIRE HAZARD SEVERITY ZONE:**

CALFIRE FRAP maps/GIS

*Moderate Fire Hazard*

**3. FIRE RESPONSIBILITY AREA:**

CALFIRE FRAP maps/GIS

*South Coast Fire Protection District*

**4. FARMLAND CLASSIFICATION:**

GIS

*NO*

**5. FLOOD ZONE CLASSIFICATION:**

FEMA Flood Insurance Rate Maps (FIRM)

*NO*

**6. COASTAL GROUNDWATER RESOURCE AREA:**

Coastal Groundwater Study/GIS

*Critical Water Areas*

**7. SOIL CLASSIFICATION:**

Mendocino County Soils Study Eastern/Western Part

*Western Soil Classes 116*

**8. PYGMY VEGETATION OR PYGMY CAPABLE SOIL:**

LCP maps, Pygmy Soils Maps; GIS

*NO*

**9. WILLIAMSON ACT CONTRACT:**

GIS/Mendocino County Assessor's Office

*NO*

**10. TIMBER PRODUCTION ZONE:**

GIS

*NO*

**11. WETLANDS CLASSIFICATION:**

GIS

*NO*

**12. EARTHQUAKE FAULT ZONE:**

Earthquake Fault Zone Maps; GIS

*NO*

**13. AIRPORT LAND USE PLANNING AREA:**

Airport Land Use Plan; GIS

*NO*

**14. SUPERFUND/BROWNFIELD/HAZMAT SITE:**

GIS; General Plan 3-11

*NO*

**15. NATURAL DIVERSITY DATABASE:**

CA Dept. of Fish & Wildlife Rarefind Database/GIS

*YES*

**16. STATE FOREST/PARK/RECREATION AREA ADJACENT:**

GIS; General Plan 3-10

*NO*

**17. LANDSLIDE HAZARD:**

Hazards and Landslides Map; GIS; Policy RM-61; General Plan 4-44

*NO*

**18. WATER EFFICIENT LANDSCAPE REQUIRED:**

Policy RM-7; General Plan 4-34

*YES*

**19. WILD AND SCENIC RIVER:**

[www.rivers.gov](http://www.rivers.gov) (Eel Only); GIS

*NO*

**20. SPECIFIC PLAN/SPECIAL PLAN AREA:**

Various Adopted Specific Plan Areas; GIS

*NO*

**21. STATE CLEARINGHOUSE REQUIRED:**

Policy

*NO*

**22. OAK WOODLAND AREA:**

USDA

*NO*

**23. HARBOR DISTRICT:**

Sec. 20.512

*NO*

### FOR PROJECTS WITHIN THE COASTAL ZONE ONLY

**24. LCP LAND USE CLASSIFICATION:**

LCP Land Use maps/GIS

*LCP Land Use Map 31: Gualala. GHMU District.*

**25. LCP LAND CAPABILITIES & NATURAL HAZARDS:**

LCP Land Capabilities maps/GIS; 20.500

*Beach Deposits and Stream Alluvium and Terraces (Zone 3)-  
Intermediate Shaking*

**26. LCP HABITATS & RESOURCES:**

LCP Habitat maps/GIS; 20.496

*Barren*

**27. COASTAL COMMISSION APPEALABLE AREA:**

Post LCP Certification Permit and Appeal Jurisdiction maps/GIS; 20.544

*NO*

**28. CDP EXCLUSION ZONE:**

CDP Exclusion Zone maps/GIS

*NO*

**29. HIGHLY SCENIC AREA:**

Highly Scenic & Tree Removal Area Maps/GIS; Secs. 20.504.015, 20.504.020

*NO*

**30. BIOLOGICAL RESOURCES & NATURAL AREAS:**

Biological Resources & Natural Area Map; GIS; General Plan 4-9

*NO*

**31. BLUFFTOP GEOLOGY:**

GIS; 20.500.020

*NO*

**COUNTY OF MENDOCINO**  
**DEPT OF PLANNING AND BUILDING SERVICES**  
 120 WEST FIR STREET  
 FORT BRAGG, CA 95437  
 Telephone: 707-964-5379  
 FAX: 707-961-2427  
 pbs@co.mendocino.ca.us  
 www.co.mendocino.ca.us/planning



Case No(s)	CDP-2021-0008
CDF No(s)	
Date Filed	1-29-2021
Fee	\$4,986.09
Receipt No.	PRJ-039373
Received by	@WALDMANJ
Office Use Only	

## COASTAL ZONE APPLICATION FORM

### APPLICANT

Name Joseph & Jacki Dias  
 Mailing Address 450 Hawkcrest Circle  
 City Sacramento State Ca, Zip Code 95835 Phone 916-600-9800

### PROPERTY OWNER

Name Joseph & Jacki Dias  
 Mailing Address 450 Hawkcrest Circle  
 City Sacramento State Ca, Zip Code 95835 Phone 916-600-9800

### AGENT

Name KC1 Properties - Ken Eaton  
 Mailing Address 6241 Claussen Way  
 City North Highlands State Ca Zip Code 95660 Phone 916-370-3907

### PARCEL SIZE

17,424  Square feet  
 Acres

### STREET ADDRESS OF PROJECT

38950 S. HWY 1 GUALALA , CA 94558

### ASSESSOR'S PARCEL NUMBER(S)

145-183-03-00

I certify that the information submitted with this application is true and accurate.

Joseph 01-25-2021 Owner  
 Signature of Applicant/Agent Date Signature of Owner Date

# COASTAL ZONE - SITE AND PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Planning and Building Services Department and other agencies who will be reviewing your project proposal. Please remember that the clearer picture that you give us of your project and the site, the easier it will be to promptly process your application. Please answer all questions. Those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A".

## THE PROJECT

1. Describe your project and include secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc.

The Project consists of the construction of a new 1958 sq ft manufactured home placed on a permanent foundation system and a new 576 sq ft garage adjacent to the new home and a new 1032 sq ft exterior deck. Project includes minor grading, removal of existing tree stumps, new walkways, driveways, retaining walls, & landscaping. Connections to municipal sewer system, Pg&e, and existing well located on the property.

2. If the project is residential, please complete the following:

TYPE OF UNIT	NUMBER OF STRUCTURES	SQUARE FEET PER DWELLING UNIT
<input checked="" type="checkbox"/> Single Family	Manufactured Home _____	1958 _____
<input type="checkbox"/> Mobile Home	Garage _____	576 _____
<input type="checkbox"/> Duplex	Exterior deck _____	1032 _____
<input type="checkbox"/> Multifamily	_____	_____

If Multifamily, number of dwelling units per building: \_\_\_\_\_

3. If the project is commercial, industrial, or institutional, complete the following:

Total square footage of structures: N/A \_\_\_\_\_  
 Estimated employees per shift: \_\_\_\_\_  
 Estimated shifts per day: \_\_\_\_\_  
 Type of loading facilities proposed: \_\_\_\_\_

4. Will the proposed project be phased?  Yes  No

If Yes, explain your plans for phasing.

Phase 1- Clear and grub site, minor grading, installation of new manufactured home & garage driveways, walkways, landscaping.

Phase 2- Installation of new exterior decking

5. Are there existing structures on the property?  Yes  No  
 If yes, describe below and identify the use of each structure on the plot plan.

6. Will any existing structures be demolished?  Yes  No  
 Will any existing structures be removed?  Yes  No

If yes to either question, describe the type of development to be demolished or removed, including the relocation site, if applicable.

7. Project Height. Maximum height of structure 24' from existing grade feet.

8. Lot area (within property lines): 17,424  square feet  acres

9. Lot Coverage:

	EXISTING	NEW PROPOSED	TOTAL
Building coverage	<u>                    </u> square feet	<u>3566</u> square feet	<u>3566</u> square feet
Paved area	<u>                    </u> square feet	<u>2293</u> square feet	<u>2293</u> square feet
Landscaped area	<u>                    </u> square feet	<u>11,565</u> square feet	<u>11,565</u> square feet
Unimproved area	<u>                    </u> square feet	<u>                    </u> square feet	<u>                    </u> square feet
GRAND TOTAL:			<u>                    </u> square feet
(Should equal gross area of parcel)			

10. Gross floor area:                      square feet (including covered parking and accessory buildings).

11. Parking will be provided as follows:

Number of Spaces	Existing <sup>0</sup>	Proposed <sup>4</sup>	Total <sup>4</sup>
Number of covered spaces	<u>2</u>	<u>                    </u>	Size <u>9'x20'</u>
Number of uncovered spaces	<u>2</u>	<u>                    </u>	Size <u>9'x20'</u>
Number of standard spaces	<u>                    </u>	<u>                    </u>	Size <u>                    </u>
Number of handicapped spaces	<u>                    </u>	<u>                    </u>	Size <u>                    </u>

12. Utilities will be supplied to the site as follows:

A. Electricity

- Utility Company (service exists to the parcel).
- Utility Company (requires extension of services to site: \_\_\_\_\_ feet \_\_\_\_\_ miles)
- On Site generation, Specify: \_\_\_\_\_
- None

B. Gas

- Utility Company/Tank
- On Site generation, Specify: \_\_\_\_\_
- None

C. Telephone:  Yes  No

13. Will there be any exterior lighting?  Yes  No

If yes, describe below and identify the location of all exterior lighting on the plot plan and building plans.

Porch, Decking, Driveway & Walkways

14. What will be the method of sewage disposal?

- Community sewage system, specify supplier Gualala
- Septic Tank
- Other, specify \_\_\_\_\_

15. What will be the domestic water source?

- Community water system, specify supplier \_\_\_\_\_
- Well
- Spring
- Other, specify \_\_\_\_\_

16. Is any grading or road construction planned?  Yes  No

If yes, grading and drainage plans may be required. Also, describe the terrain to be traversed (e.g., steep, moderate slope, flat, etc.).

For grading and road construction, complete the following:

- A. Amount of cut: 33 cubic yards
- B. Amount of fill: 19 cubic yards
- C. Maximum height of fill slope: 0 feet
- D. Maximum height of cut slope: 0 feet
- E. Amount of import or export: 0 cubic yards
- F. Location of borrow or disposal site: N/A

17. Will vegetation be removed on areas other than the building sites and roads?  Yes  No  
If yes, explain:

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18. Does the project involve sand removal, mining or gravel extraction?  Yes  No  
If yes, detailed extraction, reclamation and monitoring may be required.

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19. Will the proposed development convert land currently or previously used for agriculture to another use?  Yes  No  
If yes, how many acres will be converted? \_\_\_\_\_ acres (An agricultural economic feasibility study may be required.)

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20. Will the development provide public or private recreational opportunities?  Yes  No  
If yes, explain:  
**Private front and rear yards for entertaining guests and residents.**

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21. Is the proposed development visible from:

A. State Highway 1 or other scenic route?  Yes  No  
B. Park, beach or recreation area?  Yes  No

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22. Will the project involve the use or disposal of potentially hazardous materials such as toxic substances, flammables, or explosives?  Yes  No  
If yes, explain:

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23. Does the development involve diking, filling, dredging or placing structures in open coastal waters, wetlands, estuaries or lakes?

A. Diking  Yes  No  
B. Filling  Yes  No  
C. Dredging  Yes  No  
D. Placement of structures in open coastal waters, wetlands, estuaries or lakes  Yes  No

Amount of material to be dredged or filled? N/A cubic yards.

Location of dredged material disposal site: N/A

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Has a U.S. Army Corps of Engineers permit been applied for?  Yes  No

If you need additional room to answer any question, attach additional sheets.



**EXHIBIT "A"**  
Legal Description

**For APN/Parcel ID(s): 145-183-03-00**

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THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF MENDOCINO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

ALL THAT CERTAIN REAL PROPERTY SITUATE, LYING AND BEING PORTIONS OF SECTIONS 27 AND 28, TOWNSHIP 11 NORTH, RANGE 15 WEST, MOUNT DIABLO BASE AND MERIDIAN, COUNTY OF MENDOCINO, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

LOT #3, AS NUMBERED AND DESIGNATED UPON A MAP ENTITLED "NORTH GUALALA SUBDIVISION NO. 2", RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF MENDOCINO, STATE OF CALIFORNIA ON JULY 19, 1960 IN CASE TWO (2), DRAWER ONE (1), PAGE FIFTY SIX (56), MENDOCINO COUNTY RECORDS.

# Gualala Community Services District

PO Box 124 • Gualala, CA 95445

Phone: (707) 785-2331 • <http://www.gualalacsd.org>

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**Subject: 145-183-03-00** ; Will Serve Use Permit at 38950 state Highway 1, Gualala, Ca 95445  
Owners Jackie and Joe Dias

2/12/21

The Gualala Community Services District (GCSD) has reviewed the site for the above-named property, and I have determined there will be no issue with connecting to the sewer. As we discussed on the phone today, the map shows the stubout to be in the southwest corner of the property, and you will most likely have to dig for it. The cost to connect to the sewer is currently \$17,165. You will need to provide a septic tank and we will need to make an inspection, also per our discussion. Please call us when you are ready to order a septic tank and we can give you a list of approved septic tank providers.

If there are any other questions or if we need to provide anymore documents, please call or email me at the number listed below.

Thanks,



Chris Troyan  
General Manager  
Gualala Community Services District  
[ctroyan@gualalacsd.org](mailto:ctroyan@gualalacsd.org)  
(707)785-2331

Received 2/16/21

State of California  
**Well Completion Report**

Page 1 of 3

Owner's Well Number Well #1

No. e0348936

Date Work Began 07/14/2017

Date Work Ended 7/21/2017

Local Permit Agency Mendocino County Environmental Health Division

Permit Number WW23048

Permit Date 4/3/17

DWR Use Only - Do Not Fill In

State Well Number/Site Number

Latitude N Longitude W

APN/TRS/Other

Geologic Log		
Orientation <input checked="" type="radio"/> Vertical <input type="radio"/> Horizontal <input type="radio"/> Angle Specify _____		
Drilling Method <u>Direct Rotary</u> Drilling Fluid <u>Air</u>		
Depth from Surface	Feet	Description
Feet	to Feet	Describe material, grain size, color, etc.
0	13	Brown clayey sands, broken rock
13	16	Fractured brown and blue rock, wet
16	26	Hard blue sandstone
26	45	Blue sandstone with brown
45	80	Shale, sandstone, layered
80	100	Harder sandstone with some fractures
100	200	Sandstone layered with shale
200	276	Hard sandstone, quartz and pyrite throughout
276	286	Fractured sandy rock
286	340	Hard peppered sandstone, like granite
340	390	Layered sandstone with shale
390	420	Fractured sandstone with quartz
Total Depth of Boring <u>420</u> Feet		
Total Depth of Completed Well <u>420</u> Feet		

**Well Owner**

Name Francine Temple / Robert Sundstrom

Mailing Address P.O. Box 424

City Gualala State Ca. Zip 95445

**Well Location**

Address 38950 Highway 1 S

City Gualala County Mendocino

Latitude 38 46 15 N Longitude 123 31 58 W  
Dec. Min. Sec. Dec. Min. Sec.

Datum \_\_\_\_\_ Decimal Lat. \_\_\_\_\_ Decimal Long. \_\_\_\_\_

APN Book 145 Page 183 Parcel 03

Township 11N Range 15W Section 27

**Location Sketch**  
(Sketch must be drawn by hand after form is printed.)

North

West

East

South

Illustrate or describe distance of well from roads, buildings, fences, rivers, etc. and attach a map. Use additional paper if necessary. Please be accurate and complete.

**Activity**

New Well  
 Modification/Repair  
 Deepen  
 Other \_\_\_\_\_  
 Destroy  
Describe procedures and materials under "GEOLOGIC LOG"

**Planned Uses**

Water Supply  
 Domestic  Public  
 Irrigation  Industrial

Cathodic Protection  
 Dewatering  
 Heat Exchange  
 Injection  
 Monitoring  
 Remediation  
 Sparging  
 Test Well  
 Vapor Extraction  
 Other \_\_\_\_\_

**Water Level and Yield of Completed Well**

Depth to first water 67 (Feet below surface)

Depth to Static \_\_\_\_\_

Water Level 20 (Feet) Date Measured 07/21/2017

Estimated Yield 5 + (GPM) Test Type Air Lift

Test Length 3.0 (Hours) Total Drawdown 399 (Feet)

\*May not be representative of a well's long term yield.

Casings							
Depth from Surface	Borehole Diameter	Type	Material	Wall Thickness	Outside Diameter	Screen Type	Slot Size
Feet to Feet	(Inches)			(Inches)	(Inches)		If Any (Inches)
0	24	11					
24	420	8					
0	70		Blank	PVC Sch. 40	SDR21	5	
70	90		Screen	PVC Sch. 40	SDR21	5	Milled Slots 0.032
90	270		Blank	PVC Sch. 40	SDR21	5	
270	290		Screen	PVC Sch. 40	SDR21	5	Milled Slots 0.032

Annular Material			
Depth from Surface	Fill	Description	
Feet to Feet			
0	20	Cement	
20	24	Bentonite	
24	420	Filter Pack	8x16 Sand
			3/8 Pea Gravel

**Attachments**

Geologic Log  
 Well Construction Diagram  
 Geophysical Log(s)  
 Soil/Water Chemical Analyses  
 Other Site Map

Attach additional information, if it exists.

**Certification Statement**

I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief

Name Weeks Drilling & Pump Company  
Person, Firm or Corporation

P.O. Box 176 Address Sebastopol City CA State 95473 Zip

Signed Jane Ingelstein Date Signed 8/2/17 177681 C-57 License Number

6-57 Licensed Water Well Contractor

# Well Completion Report

Page 2 of 3

Owner's Well Number Well #1

No. e0348936

Date Work Began 07/14/2017

Date Work Ended 7/21/2017

Local Permit Agency Mendocino County Environmental Health Division

Permit Number WW23048

Permit Date 4/3/17

DWR Use Only - Do Not Fill In	
State Well Number/Site Number	
Latitude	Longitude
APN/TRS/Other	

Geologic Log		
Orientation <input checked="" type="radio"/> Vertical <input type="radio"/> Horizontal <input type="radio"/> Angle Specify _____		
Drilling Method <u>Direct Rotary</u> Drilling Fluid <u>Air</u>		
Depth from Surface	Feet to Feet	Description
Describe material, grain size, color, etc		
0	13	Brown clayey sands, broken rock
13	16	Fractured brown and blue rock, wet
16	26	Hard blue sandstone
26	45	Blue sandstone with brown
45	80	Shale, sandstone, layered
80	100	Harder sandstone with some fractures
100	200	Sandstone layered with shale
200	276	Hard sandstone, quartz and pyrite throughout
276	286	Fractured sandy rock
286	340	Hard peppered sandstone, like granite
340	390	Layered sandstone with shale
390	420	Fractured sandstone with quartz
Total Depth of Boring <u>420</u> Feet		
Total Depth of Completed Well <u>420</u> Feet		

Well Owner	
Name <u>Francine Temple / Robert Sundstrom</u>	
Mailing Address <u>P.O. Box 424</u>	
City <u>Gualala</u>	State <u>Ca.</u> Zip <u>95445</u>

Well Location	
Address <u>38950 Highway 1 S</u>	
City <u>Gualala</u>	County <u>Mendocino</u>
Latitude <u>38</u> <u>46</u> <u>15</u> N Longitude <u>123</u> <u>31</u> <u>58</u> W	
Dec. Min. Sec.	Dec. Min. Sec.
Datum _____	Decimal Lat. _____
Decimal Long. _____	
APN Book <u>145</u> Page <u>183</u> Parcel <u>03</u>	
Township <u>11N</u> Range <u>15W</u> Section <u>27</u>	

Location Sketch	
(Sketch must be drawn by hand after form is printed.)	
North	
West	East
South	
Illustrate or describe distance of well from roads, buildings, fences, rivers, etc. and attach a map. Use additional paper if necessary. Please be accurate and complete.	

Activity	
<input checked="" type="radio"/> New Well	
<input type="radio"/> Modification/Repair	
<input type="radio"/> Deepen	
<input type="radio"/> Other _____	
<input type="radio"/> Destroy	
Describe procedures and materials under "GEOLOGIC LOG"	
Planned Uses	
<input checked="" type="radio"/> Water Supply	
<input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Public	
<input type="checkbox"/> Irrigation <input type="checkbox"/> Industrial	
<input type="radio"/> Cathodic Protection	
<input type="radio"/> Dewatering	
<input type="radio"/> Heat Exchange	
<input type="radio"/> Injection	
<input type="radio"/> Monitoring	
<input type="radio"/> Remediation	
<input type="radio"/> Sparging	
<input type="radio"/> Test Well	
<input type="radio"/> Vapor Extraction	
<input type="radio"/> Other _____	

Water Level and Yield of Completed Well	
Depth to first water <u>67</u> (Feet below surface)	
Depth to Static _____	
Water Level <u>20</u> (Feet) Date Measured <u>07/21/2017</u>	
Estimated Yield * <u>5 +</u> (GPM) Test Type <u>Air Lift</u>	
Test Length <u>3.0</u> (Hours) Total Drawdown <u>399</u> (Feet)	
*May not be representative of a well's long term yield.	

Casings								Annular Material			
Depth from Surface	Borehole Diameter	Type	Material	Wall Thickness	Outside Diameter	Screen Type	Slot Size	Depth from Surface	Fill	Description	
Feet to Feet	(Inches)			(Inches)	(Inches)		(Inches)	Feet to Feet			
290	310	Blank	PVC Sch. 40	SDR21	5			0	20	Cement	
310	330	Screen	PVC Sch. 40	SDR21	5	Milled Slots	0.032	20	24	Bentonite	
330	350	Blank	PVC Sch. 40	SDR21	5			24	420	Filter Pack	
350	370	Screen	PVC Sch. 40	SDR21	5	Milled Slots	0.032			8x16 Sand	
370	390	Blank	PVC Sch. 40	SDR21	5					3/8 Pea Gravel	
390	410	Screen	PVC Sch. 40	SDR21	5	Milled Slots	0.032				

Attachments	
<input type="checkbox"/> Geologic Log	
<input type="checkbox"/> Well Construction Diagram	
<input type="checkbox"/> Geophysical Log(s)	
<input type="checkbox"/> Soil/Water Chemical Analyses	
<input checked="" type="checkbox"/> Other <u>Site Map</u>	
Attach additional information, if it exists.	

Certification Statement	
I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief	
Name <u>Weeks Drilling &amp; Pump Company</u>	
Person, Firm or Corporation	
<u>P.O. Box 176</u>	<u>Sebastopol</u> <u>CA</u> <u>95473</u>
Address	City State Zip
Signed <u>[Signature]</u>	<u>8/2/17</u> <u>177681</u>
City	Date Signed C-57 License Number
State	
Zip	

State of California  
**Well Completion Report**

Page 3 of 3  
 Owner's Well Number Well #1  
 Date Work Began 07/14/2017 Date Work Ended 7/21/2017  
 Local Permit Agency Mendocino County Environmental Health Division  
 Permit Number WW23048 Permit Date 4/3/17

No. **e0348936**

DWR Use Only - Do Not Fill In

State Well Number/Site Number	
Latitude	Longitude
APN/TRS/Other	

Geologic Log		
Orientation <input checked="" type="radio"/> Vertical <input type="radio"/> Horizontal <input type="radio"/> Angle Specify _____		
Drilling Method <u>Direct Rotary</u> Drilling Fluid <u>Air</u>		
Depth from Surface		Description
Feet	to Feet	Describe material, grain size, color, etc
0	13	Brown clayey sands, broken rock
13	16	Fractured brown and blue rock, wet
16	26	Hard blue sandstone
26	45	Blue sandstone with brown
45	80	Shale, sandstone, layered
80	100	Harder sandstone with some fractures
100	200	Sandstone layered with shale
200	276	Hard sandstone, quartz and pyrite throughout
276	286	Fractured sandy rock
286	340	Hard peppered sandstone, like granite
340	390	Layered sandstone with shale
390	420	Fractured sandstone with quartz
Total Depth of Boring <u>420</u> Feet		
Total Depth of Completed Well <u>420</u> Feet		

**Well Owner**

Name Francine Temple / Robert Sundstrom  
 Mailing Address P.O. Box 424  
 City Gualala State Ca. Zip 95445

**Well Location**

Address 38950 Highway 1 S  
 City Gualala County Mendocino  
 Latitude 38 46 15 N Longitude 123 31 58 W  
Dec. Min. Sec. Dec. Min. Sec.  
 Datum \_\_\_\_\_ Decimal Lat. \_\_\_\_\_ Decimal Long. \_\_\_\_\_  
 APN Book 145 Page 183 Parcel 03  
 Township 11N Range 15W Section 27

**Location Sketch**  
 (Sketch must be drawn by hand after form is printed.)

North

West

East

South

Illustrate or describe distance of well from roads, buildings, fences, rivers, etc. and attach a map. Use additional paper if necessary. Please be accurate and complete.

**Activity**

New Well  
 Modification/Repair  
 Deepen  
 Other \_\_\_\_\_  
 Destroy  
Describe procedures and materials under "GEOLOGIC LOG"

**Planned Uses**

Water Supply  
 Domestic  Public  
 Irrigation  Industrial

Cathodic Protection  
 Dewatering  
 Heat Exchange  
 Injection  
 Monitoring  
 Remediation  
 Sparging  
 Test Well  
 Vapor Extraction  
 Other \_\_\_\_\_

**Water Level and Yield of Completed Well**

Depth to first water 67 (Feet below surface)  
 Depth to Static \_\_\_\_\_  
 Water Level 20 (Feet) Date Measured 07/21/2017  
 Estimated Yield \* 5+ (GPM) Test Type Air Lift  
 Test Length 3.0 (Hours) Total Drawdown 399 (Feet)  
 \*May not be representative of a well's long term yield.

**Casings**

Depth from Surface	Borehole Diameter	Type	Material	Wall Thickness	Outside Diameter	Screen Type	Slot Size
Feet to Feet	(Inches)			(Inches)	(Inches)		if Any (Inches)
410	420	Blank	PVC Sch. 40	SDR21	5		

**Annular Material**

Depth from Surface	Fill	Description
Feet to Feet		
0	20	Cement
20	24	Bentonite
24	420	Filter Pack
		8x16 Sand
		3/8 Pea Gravel

**Attachments**

Geologic Log  
 Well Construction Diagram  
 Geophysical Log(s)  
 Soil/Water Chemical Analyses  
 Other Site Map

Attach additional information, if it exists.

**Certification Statement**

I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief

Name Weeks Drilling & Pump Company  
Person, Firm or Corporation  
 P.O. Box 176 Sebastopol CA 95473  
Address City State Zip  
 Signed [Signature] 8/2/17 177681  
PSA Licensed Water Well Contractor Date Signed C-57 License Number

Order No:  
Escrow No.  
Loan No.

WHEN RECORDED MAIL TO:

North Gualala Water Company  
P. O. Box 1000  
Gualala, CA 95445

00012829  
Recorded at the request of  
NORTH GUALALA WATER CO  
Book 2434 Page 474  
08/06/1997 02:16P  
Fee: \$10.00 No of Pages:2

OFFICIAL RECORDS  
MENDOCINO COUNTY CALIF  
MARSHA A. YOUNG, RECORDER

MAIL TAX STATEMENTS TO:

N/A

\$20.00	PAID
	PCG
	FILED
<input checked="" type="checkbox"/>	Exempt

SPACE ABOVE THIS LINE FOR RECORDER'S USE

DOCUMENTARY TRANSFER TAX \$-0-  
.....Computed on the consideration or value of property conveyed; OK  
.....Computed on the consideration or value less liens or encumbrances  
remaining at time of sale.

The Undersigned Grantor Declares

Signature of Declarant or Agent determining tax--Firm Name

EASEMENT GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Katherine Osborn

hereby GRANT(S) to

North Gualala Water Company, a California Corporation

the real property in the City of  
County of Mendocino

, State of California, described as

An easement for the construction, installation, maintenance, repair, replacement and operation of water pipelines including a fire hydrant and water meter situated in the northwesterly corner of the property described in Lot 3 of Map Case 2, Drawer 1, Page 56, Mendocino County records and described in Book 853 of Official Records, Page 483, Mendocino County Records being more particularly described in Exhibit "A" attached hereto and made a part thereof.

DATED August 4, 1997

STATE OF CALIFORNIA )  
COUNTY OF Mendocino ) ss.

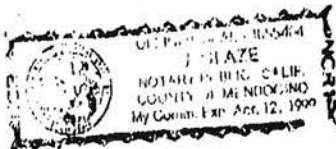
On August 4, 1997 before me,  
J. G. [Signature] Katherine Osborn

personally appeared  
Katherine Osborn  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument, the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.  
Signature [Signature]

[Signature]

Katherine Osborn



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

EXHIBIT "A"

All that certain real property situated in Section 27, Township 11 North, Range 15 West, Mount Diablo Meridian, County of Mendocino, State of California, more particularly described as follows:

Beginning at a 1 1/4 inch iron pipe on the easterly right of way line of Sedalla Drive (C.R. #523-A) and also being the northwest corner of Lot 3 of North Gualala Subdivision No. 2 as shown on a map filed in Map Case 2, Drawer 1, page 56, Mendocino County Records; thence North 56°29'10" East, along the north line of the said Lot 3, 10.44 feet; thence leaving the north line of the said Lot 3, the following courses: from a tangent that bears South 49°48'46" East, along a curve to the right with a radius of 235.00 feet, a central angle of 03°39'28" and an arc length of 15.00 feet; South 56°43'35" West, 10.27 feet more or less to west line of the said Lot 3; thence from a tangent that bears North 46°44'19" West along a curve to the left with a radius of 225.00 feet, a central angle of 03°49'11" and an arc length of 15.00 feet more or less to the point of beginning.

PTN APN 145-183-03

This easement description has been prepared by me, or under my direction, in conformance with the Professional Land Surveyor's Act.

George C. Rau  
George C. Rau RCE 21908  
My License Expires 9-30-97

7-15-97  
Date



Book: 2434 Page: 475

Katherine Osborn (Osborn to NGWC)  
Job Number 92-351

Page 1  
July 1, 1997

## SECTION II. PROPOSED DEVELOPMENT

1. Project Location. If there is no street address, state the nearest cross streets and other description such as GPS coordinates.

Number 38950

Street S. Hwy 1

Zip Code ~~94558~~ 95445

City Gualala

Count Mendicino

Assessor Parcel Number(s) (APNs)

145 - 183 - 03 - 00

2. Describe the proposed development in detail. Include secondary improvements such as grading, septic tanks, water wells, roads, driveways, outbuildings, fences, etc. Attach additional pages as necessary.

Build and install a new single story 1958 Sq Ft. MH Advantage manufactured home,  
a 576 Sq Ft. attached garage and a 1032 Sq Ft. Deck on the West facing

Elevation. The project includes a driveway, walkways, front patio with low  
block or concrete retaining walls and new landscaping.

The property has some existing landscaping that will be incorporated into the  
additional landscape to be added. See Attached Plans Provided.



## SECTION VI. COMMUNICATION WITH COMMISSIONERS

Decisions of the Coastal Commission are made on the basis of information in the public record available to all commissioners and the public. Permit applicants, interested persons, and their representatives may contact individual commissioners to discuss permit matters outside the public hearing (an "ex parte" communication). If a commissioner or alternate accepts an ex parte communication, he or she must provide a complete description of the communication either in writing prior to the hearing or orally at the public hearing.

All written material sent to a commissioner, by any method, must also be sent to the Executive Director, 45 Fremont St., Suite 2000, San Francisco, California, 94105, as well as to the appropriate district office, for inclusion in the public record.

## SECTION VII. CERTIFICATIONS

1. I hereby certify that I, or my authorized representative, have completed and posted or will post the Notice of Pending Permit stock card in a conspicuous place on the property within three days of submitting the application to the Commission office.
2. I hereby certify that I have read this completed application and that, to the best of my knowledge, the information in this application and all attached appendices and exhibits is true, complete, and accurate. I understand that the failure to provide any requested information or any misstatements submitted in support of the application shall be grounds for either refusing to accept this application, for denying the permit, for suspending or revoking a permit issued on the basis of such misrepresentations, or for seeking of such further relief as may seem proper to the Commission.
3. I hereby authorize representatives of the California Coastal Commission to conduct site inspections on my property. Unless arranged otherwise, these site inspections will take place between the hours of 8:00A.M. and 5:00P.M.
- 4.



\_\_\_\_\_  
Signature of Applicant or Authorized Agent

AGENT SIGNATURES MUST BE SUPPORTED BY APPLICANT AUTHORIZATION

## SECTION VIII. AUTHORIZATION OF AGENT

I hereby authorize Ken Eaton KC1 Properties LLC to act as my representative and to bind me in all matters concerning this application.

x  

\_\_\_\_\_  
Signature of Applicant(s) Only the applicant(s) may authorize an agent.

APN 145183-03

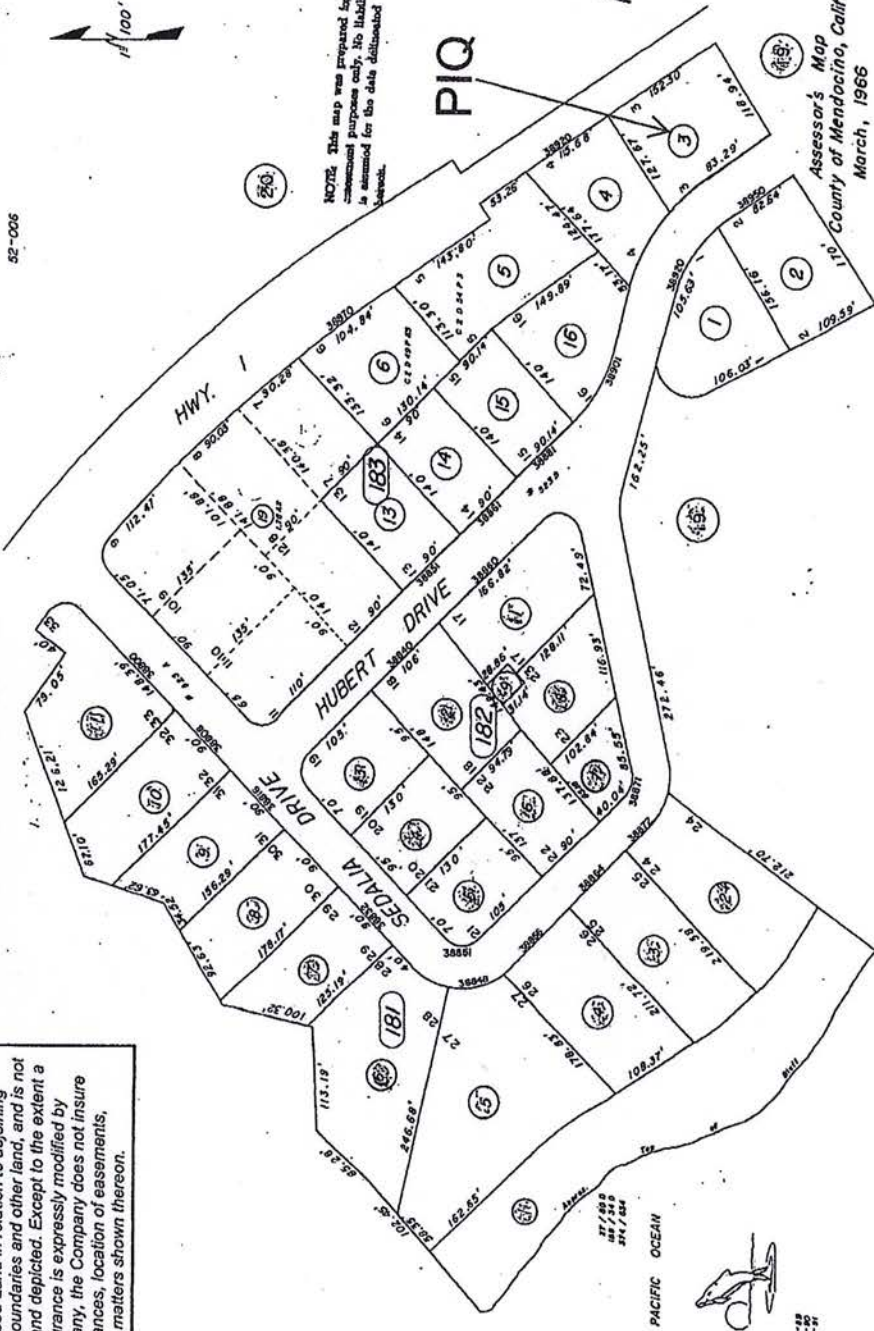


52-006

North Gualala Subdivision No. 2

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

NOTES: This map was prepared for assessment purposes only. Its liability is assumed for the data disseminated herein.



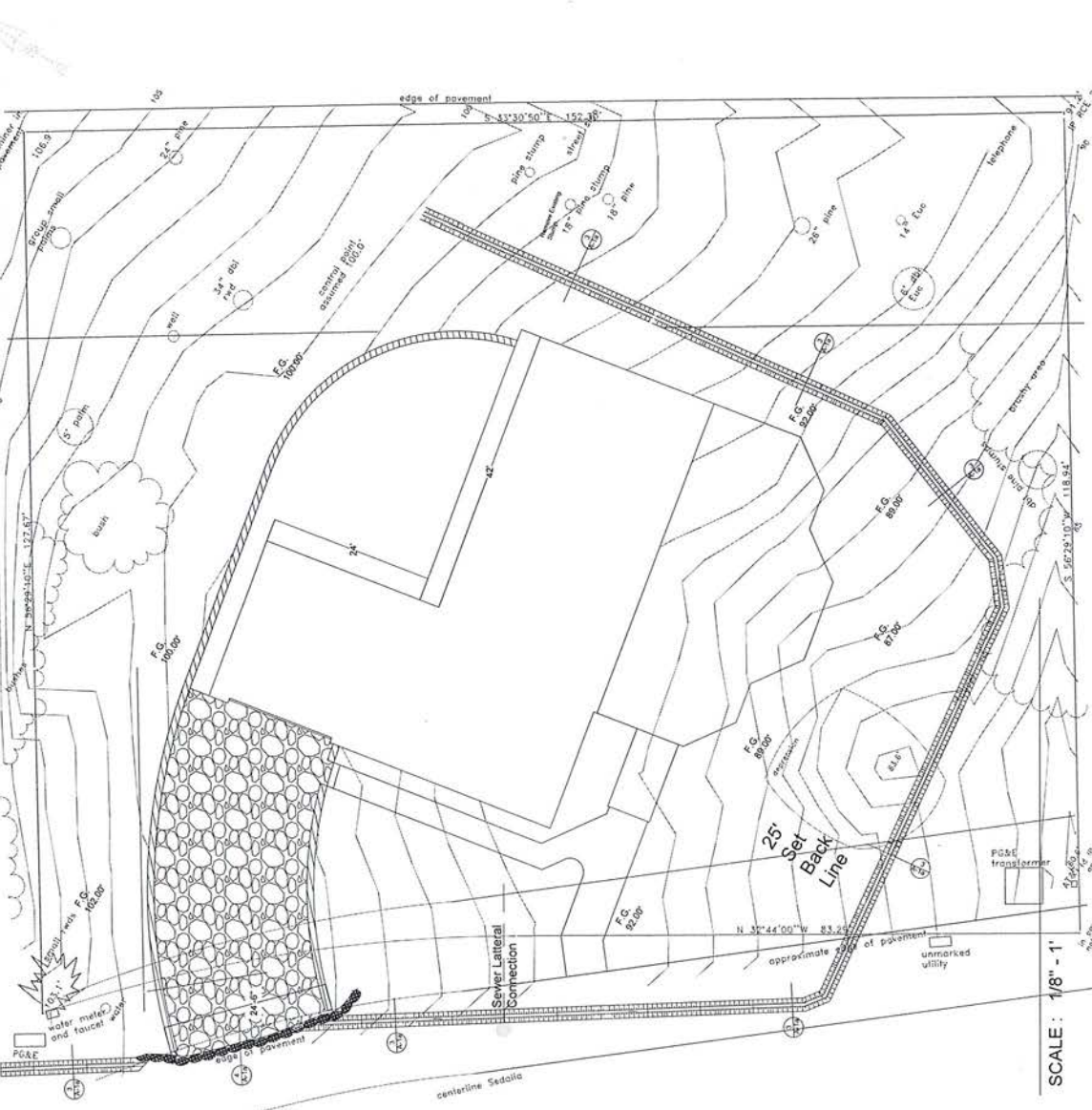
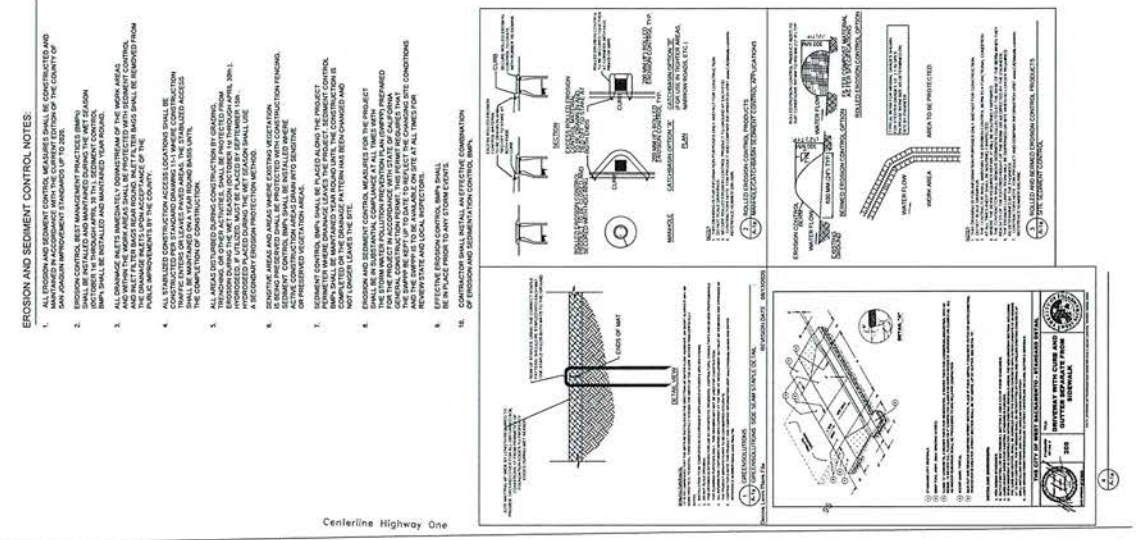
Assessor's Map  
County of Mendocino, Calif.  
March, 1966



1" = 100'

# EROSION CONTROL PLAN

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00



**KC1 DESIGN-DRAFTING**  
 PROCESSING

**DRAFTSMAN**  
 KCI PROPERTIES LLC  
 (916) 310-9007  
 KCI@KCI-PROPERTIES.COM  
 WWW.KCI-PROPERTIES.COM

*A.H. End*

**LEGEND**  
 SITE Plan - SHT. T-1  
 PLAN SHEETS - A-1A, AA-1, AA-2, AA-3, AA-4, AA-5, AA-6, AD-5  
 EROSION CONTROL SYSTEMS SHEETS - A1-D1, F1-F2, S-1, S-2, S-3, S-4, S-5A

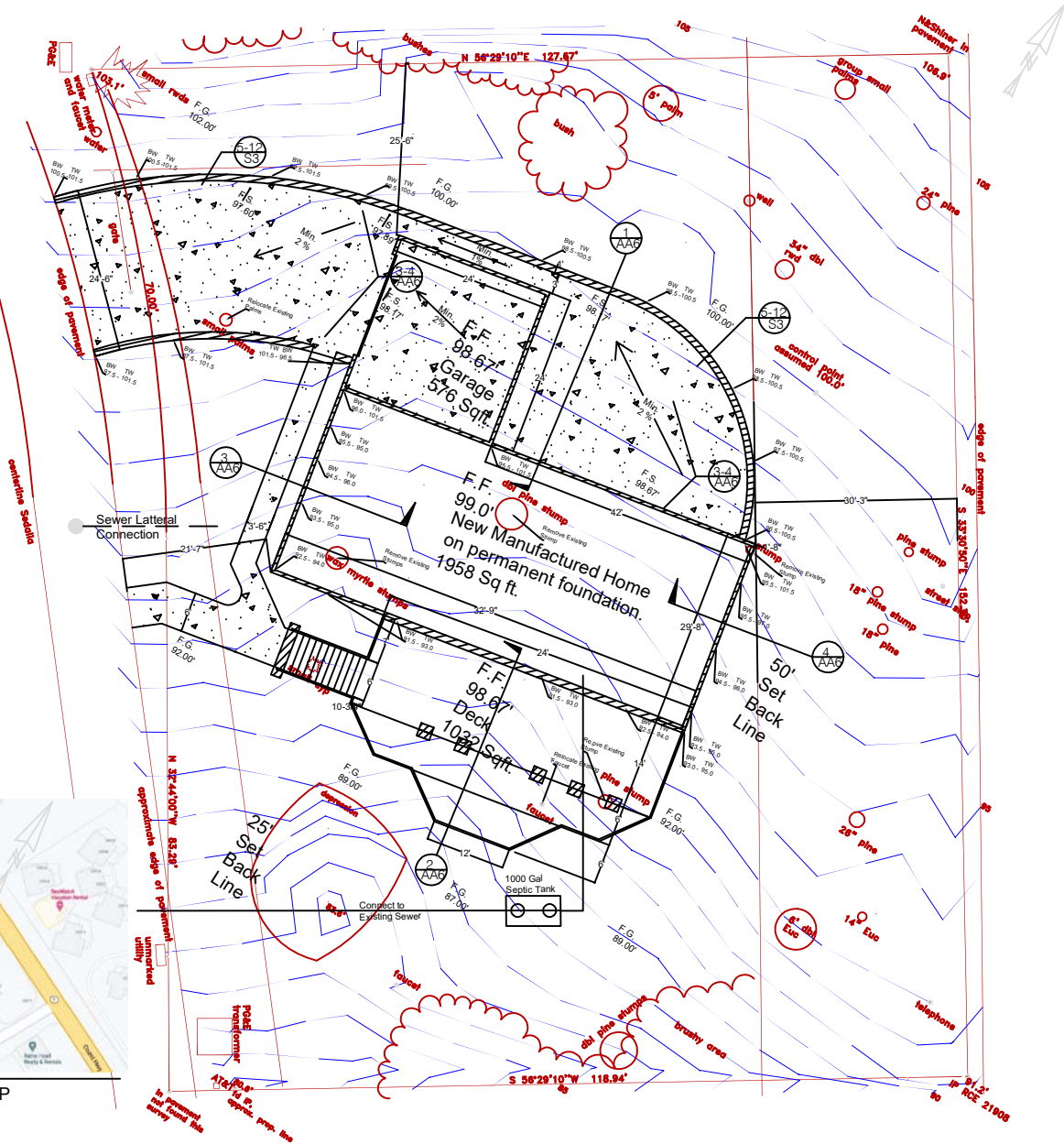
REVISION	ISSUE	DATE

**EROSION CONTROL PLAN A**  
**SHEET**  
**A-1A**

SCALE: 1/8" = 1'

# SITE PLAN

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00



Map prepared by: Richard A. Seale, L.S. 4455  
 Mendocino County California October 2020  
 Note:  
 Elevations are assumed.  
 All stumps are very old, no new cuts

BUILDING OCCUPANCY GROUP: R-3  
 TYPE OF CONSTRUCTION: V-B  
 STORIES: 1  
 SCOPE OF BUILDING AREA: 2534 SF  
 FIRE SPRINKLERS: YES

**SCOPE OF WORK**

- INSTALL NEW MANUFACTURED HOME, GARAGE, EXTERIOR DECK, UTILITY'S, CONCRETE FOUNDATION, FLAT WORK, EXTEND DRIVEWAY AND WALKWAYS  
 MINOR GRADING, CLEAN & GRUB BUILDING SITE, CUT YDS - 33, FILL YDS - 19 (SEE SHEET A46)
1. NEW CONCRETE FOUNDATION, FLATWORK AND DRIVEWAY
  2. NEW 200 AMP ELECTRICAL SERVICE, PANEL, OUTLETS, SWITCHES, SMOKE DETECTORS, CARBON MONOXIDE DETECTOR, WIRING AND LIGHTING FIXTURES PER MANUFACTURER
  3. NEW WATER SERVICE TO WELL AND FIRE SPRINKLER PER HOME MANUFACTURER
  4. NEW ELECTRICAL, PLUMBING, HVAC, WATER HOOK UP TO WELL, SEPTIC SYSTEM, WATER HEATER, FACETS, SINKS, TOILETS, SINKS & SHOWERS, PEST HOME MANUFACTURER
  5. NEW EXTERIOR SIDING, INTERIOR DRYWALL, INSULATION, INTERIOR AND EXTERIOR TRIM, INTERIOR & EXTERIOR PAINTING, FLOORING, CABINETS, AND COUNTERTOPS, FIXTURES AND APPLIANCES

**CONCRETE FOUNDATION**

- Building Design Criteria  
 2019 California Building Code, Part 2, Volumes 1 & 2 (based on the 2018 International Building Code)  
 2019 California Mechanical Code (based on the 2018 Uniform Mechanical Code)  
 2019 California Plumbing Code (based on the 2018 Uniform Plumbing Code)  
 2019 California Electrical Code (based on the 2017 National Electrical Code)  
 2019 California Fire Code (based on the 2018 International Fire Code)  
 2019 California Energy Standards 2019 California Residential code (based on the 2018 International Residential Code)  
 2019 California Green Building Code (CALGreen) 2019 California Referenced Standards Code, Part 10  
 2019 California Historical Building Code, Part 8.2019 California Referenced Standards Code, Part 12  
 The International Property Maintenance Code, 2018 edition  
 Structural Design Criteria  
 Wind Speed: [www.atccentral.com/windsped](http://www.atccentral.com/windsped)  
 Wind Exposure: Recommended factor: See Chapters 26-30 of ASCE 7 (2019 CBC, Volume 2 Section 1609 Wind Loads)  
 Exposure: C unless unless exposure B is justified. 1) by a recognized engineering study; and 2) additional documentation in the form of aerial photos or topography maps may be presented when determined by the Building Official.  
 Seismic Design Parameters: <https://earthquake.usgs.gov/designparam/ussupplcation.php>  
 Live Loads: See 2019 CBC, Volume 2, Section 1607 A  
 Energy Design: Climate Zone 12  
 Rainfall: 34.96 inch in a 100 year storm  
 Reroofs: Roof rafter spacing 12" typical. Shingle nail to penetrate sheathing a minimum of 3/4".  
 Gas test: 10 lbs during 15 minutes - Residential Test duration shall not be less than 1/2 hour for each 500 SF of pipe volume or fraction thereof. Commercial

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE COUNTY OF SAN JOAQUIN IMPROVEMENT STANDARDS UP TO 2020.
2. EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED AND MAINTAINED DURING THE WET SEASON (OCTOBER 1st THROUGH APRIL 30th). SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED YEAR-ROUND.
3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS REAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE COUNTY.
4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER STANDARD DRAWING 11-1 WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
5. ALL AREAS DISTURBED DURING CONSTRUCTION BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1st THROUGH APRIL 30th). HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15th. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
6. SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMPs SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
7. SEDIMENT CONTROL BMPs SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMPs SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETED OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NOT LONGER LEAVES THE SITE.
8. EROSION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT SHALL BE IN SUBSTANTIAL COMPLIANCE AT ALL TIMES WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT IN ACCORDANCE WITH THE STATE OF CALIFORNIA GENERAL CONSTRUCTION PERMIT. THIS PERMIT REQUIRES THAT THE SWPPP BE KEPT UP TO DATE TO REFLECT THE CHANGING SITE CONDITIONS AND THE SWPPP IS TO BE AVAILABLE ON SITE AT ALL TIMES FOR REVIEW STATE AND LOCAL INSPECTORS.
9. EFFECTIVE EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
10. CONTRACTOR SHALL INSTALL AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BMPs.

SCALE: 1/8" = 1'

KC1 DESIGN-DRAFTING PROCESSING

DRAFTSMAN

KC1 PROPERTIES LLC  
 (916) 370 3907  
 KEN@KC1PROPERTIES.COM  
 WWW.KC1PROPERTIES.COM

*Handwritten signature*

**LEGEND**

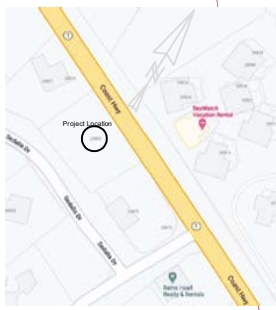
- SITE Plan - SHT - T-1  
 PLAN- SHTs - A-1A, AA-1, AA-2, AA-3, AA-4, AA-5, AA-6, AD-5  
 FOUNDATION SYSTEMS- SHTs - A1-D1, F1-F3, S-1, S-2, S-3, S-4, S-5.

REVISION	ISSUE	DATE

SITE PLAN

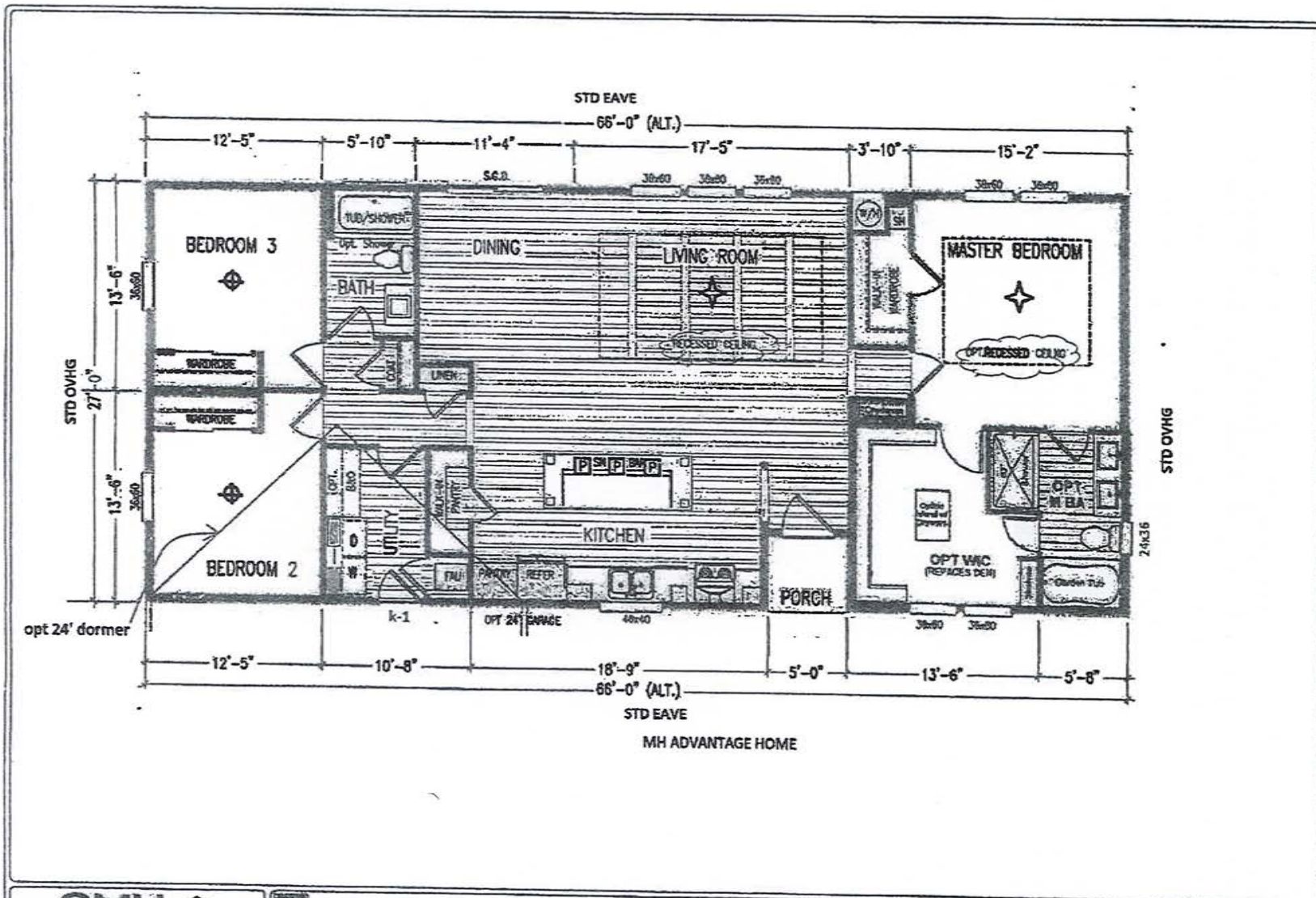
SHEET

T1



VICINITY MAP



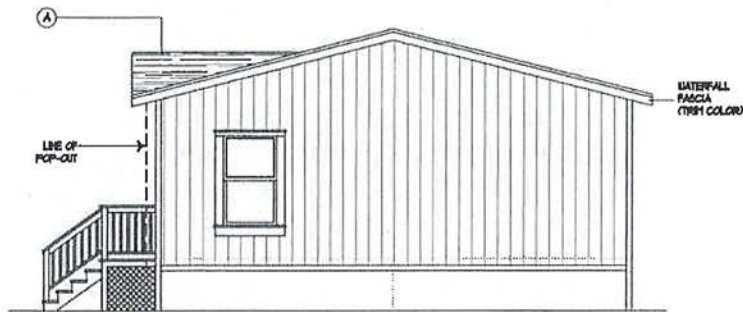


MH ADVANTAGE HOME

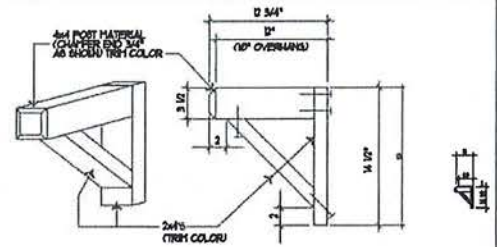
**CMH**  
MANUFACTURING CO.  
8998 OLD PLACERVILLE ROAD  
Sacramento, CA 95827  
Phone: (916) 333-2801; Fax: (916) 333-6537  
www.cmhmanufacturing.com www.korshouse.com

SALES FLOOR PLAN  
STANDARD AS OF REVISION DATE

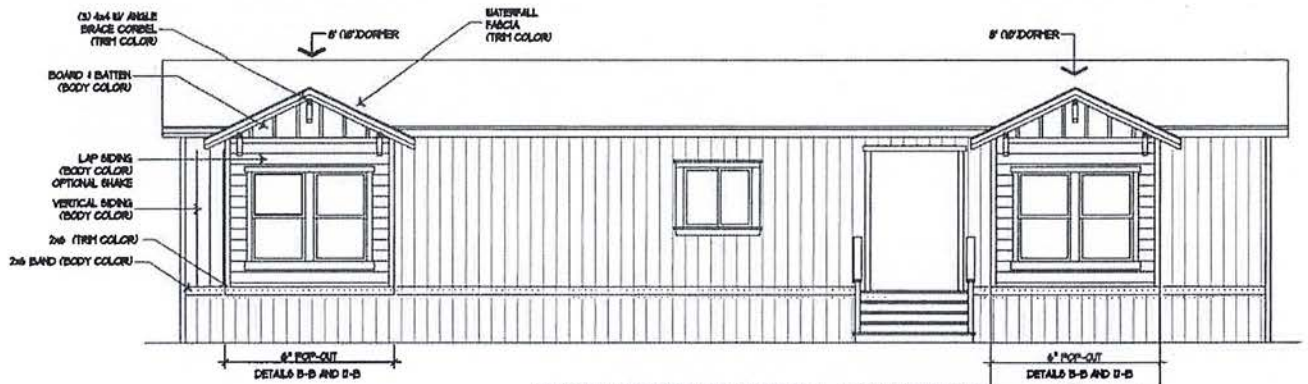
MODEL NO.	CORONADO SERIES	2762-A	MODEL NO.	COR27624A
SQUARE FT.	DATE	1631/1759	DATE	03/23/19
REVISION	DATE		REVISION	11-21-18



FRONT ENDWALL ELEVATION



4X4 CORBEL DETAIL  
NOT TO SCALE



FRONT DOOR SIDEWALL ELEVATION

"CRAFTSMAN SIDEWALL" EXTERIOR

**CMH**  
MANUFACTURING INC.  
9998 OLD PLACERVILLE ROAD  
Sacramento, CA. 95827  
Phone: (916) 383-2681; Fax: (916) 383-4537  
www.claytonhomes.com www.korstenhomes.com

DRAWING  
TITLE:

EXTERIOR ELEVATIONS

DRAWING FILE INFORMATION:

STANDARD AS OF REVISION DATE

PRODUCT:  
CORONADO SERIES

DESCR.:  
2762-A

MODEL NO.:  
COR27624A

SQUARE FT.:

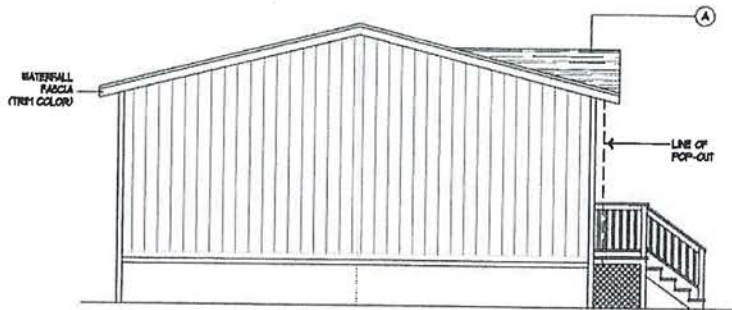
DATE:

03/23/19

DRAWN BY:

SHEET:  
2-A

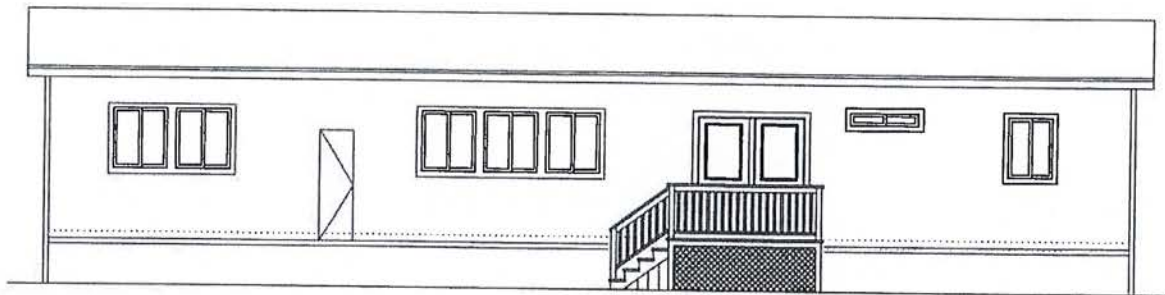
REVISED:  
08-20-13



REAR ENDWALL ELEVATION

**Legend**

- A - Composition Shingle Roof
- B - Hardboard 8" V-Groove - (Body Color)
- C - 1x3" Rough Sawn - (Trim Color)
- D - 1X3" Rough Sawn - (Body Color)
- E - 2x8" Rough Sawn - (Trim Color)
- F - Light



REAR SIDEWALL ELEVATION



9998 OLD PLACERVILLE ROAD  
 Sacramento, CA 95827  
 Phone: (916) 363-2681; Fax (916) 363-6537  
 www.daytonhomes.com www.koritsahomes.com

DRAWING  
 TITLE:

*EXTERIOR ELEVATIONS*

DRAWING FILE INFORMATION:

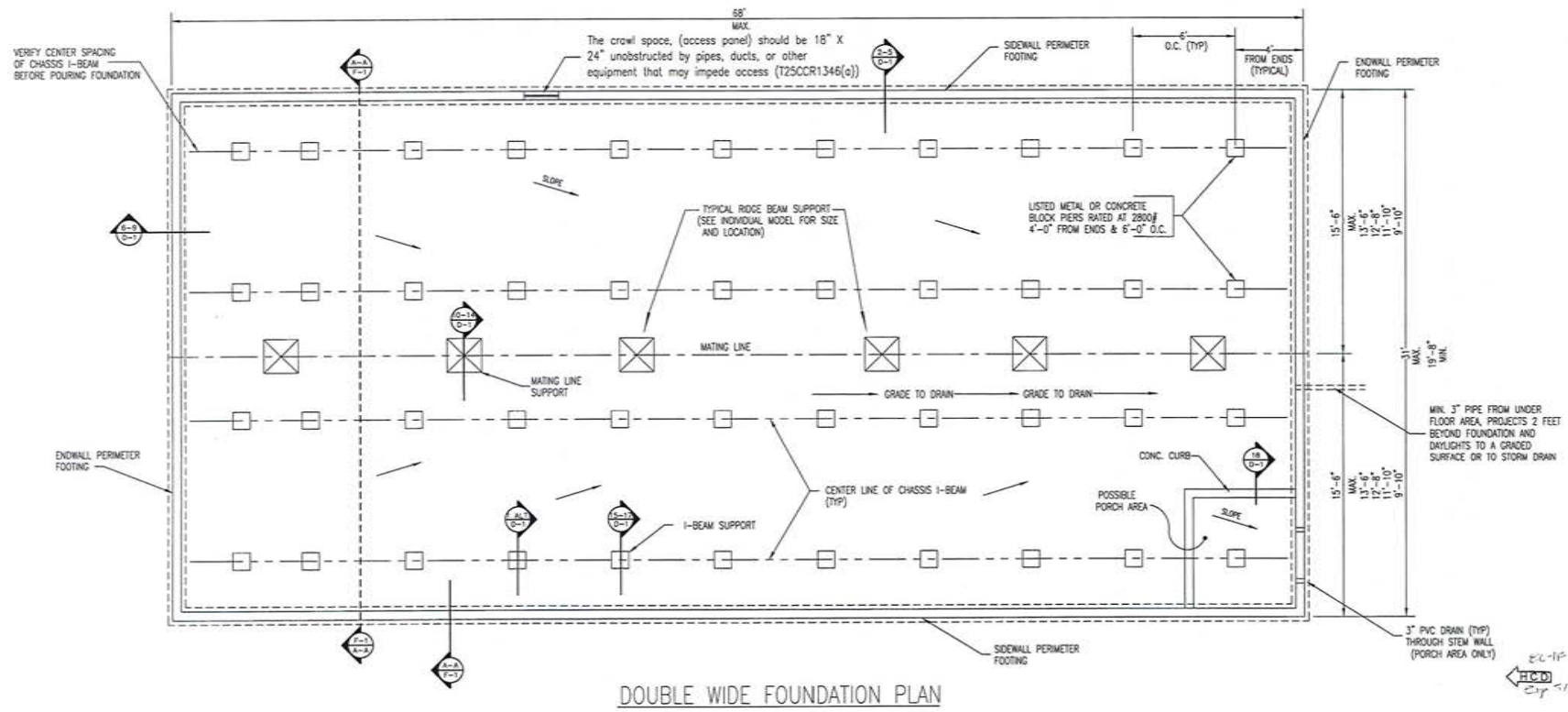
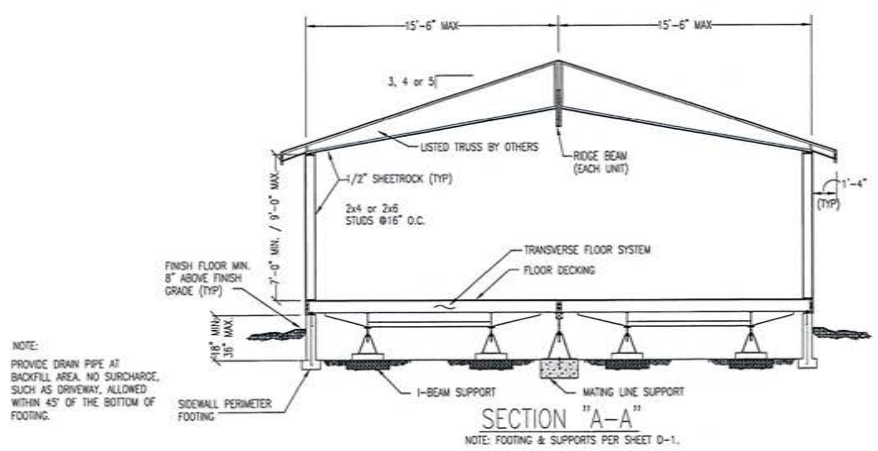
STANDARD AS OF REVISION DATE

PRODUCTS CORONADO SERIES	DESIGN 2762-A	MODEL NO. COR27624A
	SQUARE FT.	DATE 03/23/19
DRAWN BY:	SHEET 2-B	REVISED:



REVISIONS	DATE
ADDED DRAIN	11/18/13

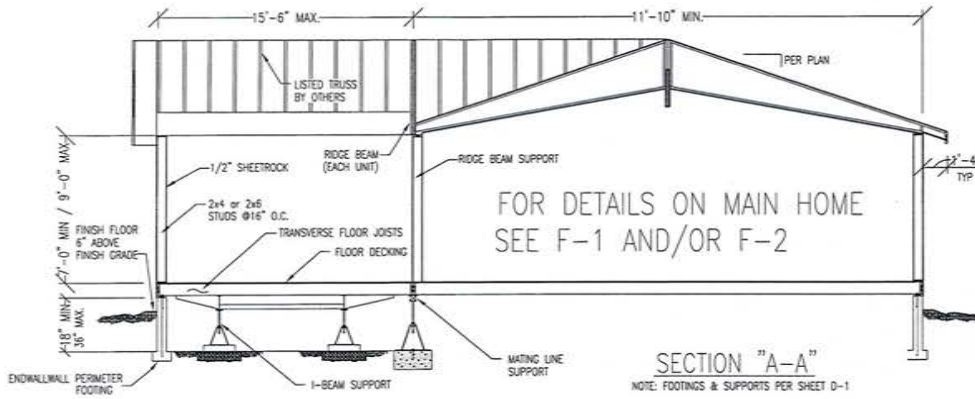
**Notice to the Contractor**  
 The Perimeter Foundation layout Shown Hereon Is Illustrational Only. Actual Perimeter Foundation Shall Be Constructed in Accordance With The Dimensioned Floor Plan Supplied By The Karsten Company of CMH.



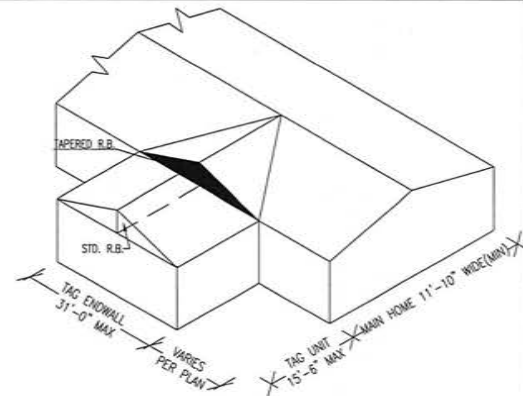
THE **Karsten** CO.  
 THE HOMES YOU WANT ARE THE HOMES WE BUILD  
 9598 OLD PLACERVILLE ROAD  
 SACRAMENTO, CA. 95827  
 Phone: (916) 363-2681; Fax: (916) 363-4537  
 www.thekarstenco.com



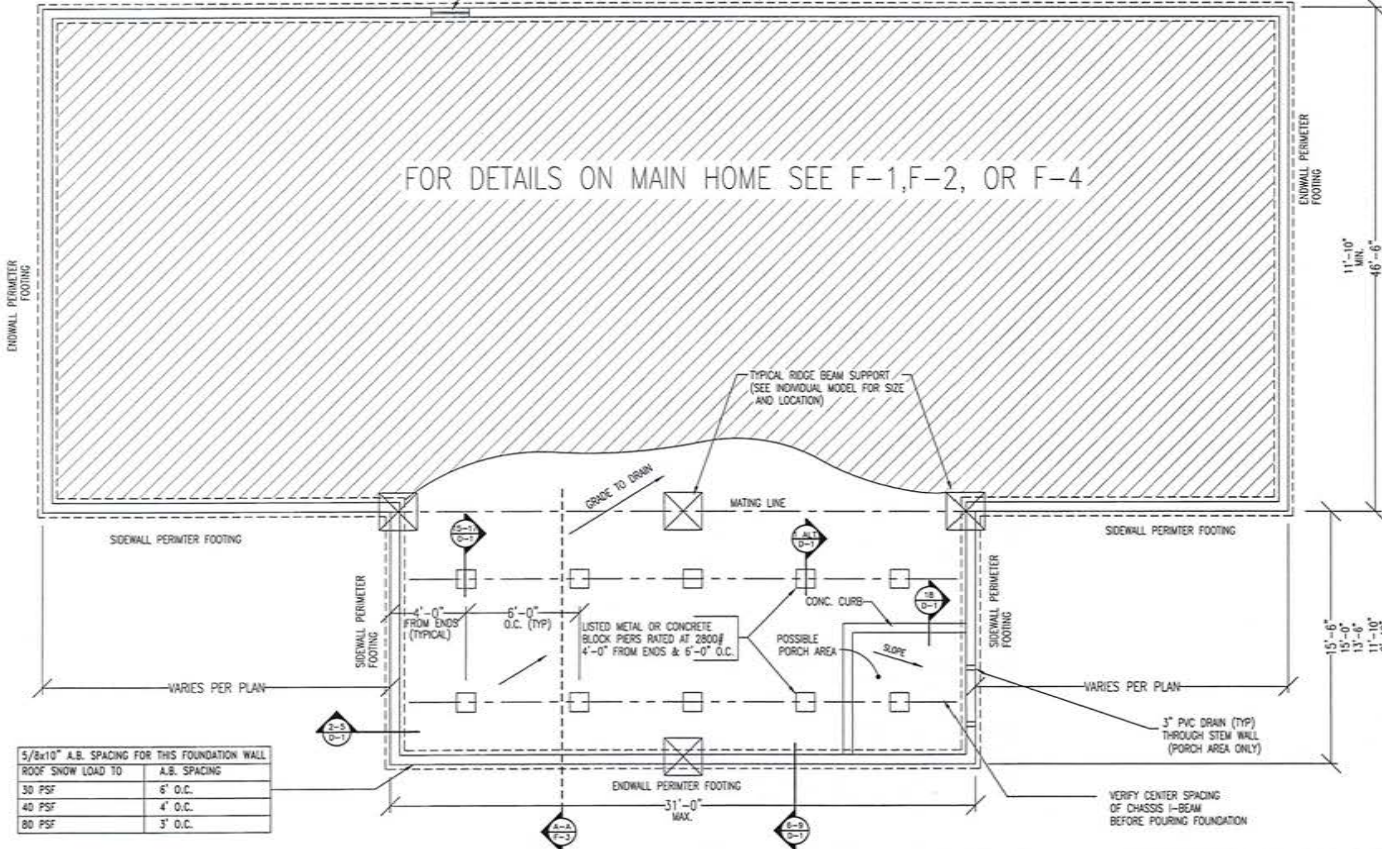
DRAWN: I. KLUZMENKO  
 DATE: 3-10-04  
 SCALE: NTS  
 JOB #:



NOTE:  
PROVIDE DRAIN PIPE AT  
BACKFILL AREA, NO SURCHARGE,  
SUCH AS DRIVEWAY, ALLOWED  
WITHIN 45° OF THE BOTTOM OF  
FOOTING.



The crawl space, (access panel) should be 18" X  
24" unobstructed by pipes, ducts, or other  
equipment that may impede access (T25CCR1346(a))



5/8x10" A.B. SPACING FOR THIS FOUNDATION WALL	ROOF SNOW LOAD TO	A.B. SPACING
	30 PSF	6' O.C.
	40 PSF	4' O.C.
	80 PSF	3' O.C.

**Notice to the Contractor**  
The Perimeter Foundation layout Shown Hereon Is  
Illustrational Only. Actual Perimeter Foundation Shall  
Be Constructed in Accordance With The Dimensioned  
Floor Plan Supplied By The Karsten Company of CMH.

REVISIONS	DATE
ADDED DRAIN	11/18/13
SINGLE SIDES	04/13/15



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THE HOMES YOU WANT ARE THE HOMES WE BUILD  
9998 OLD PLACERVILLE ROAD  
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Phone: (916) 363-2881; Fax: (916) 363-4537  
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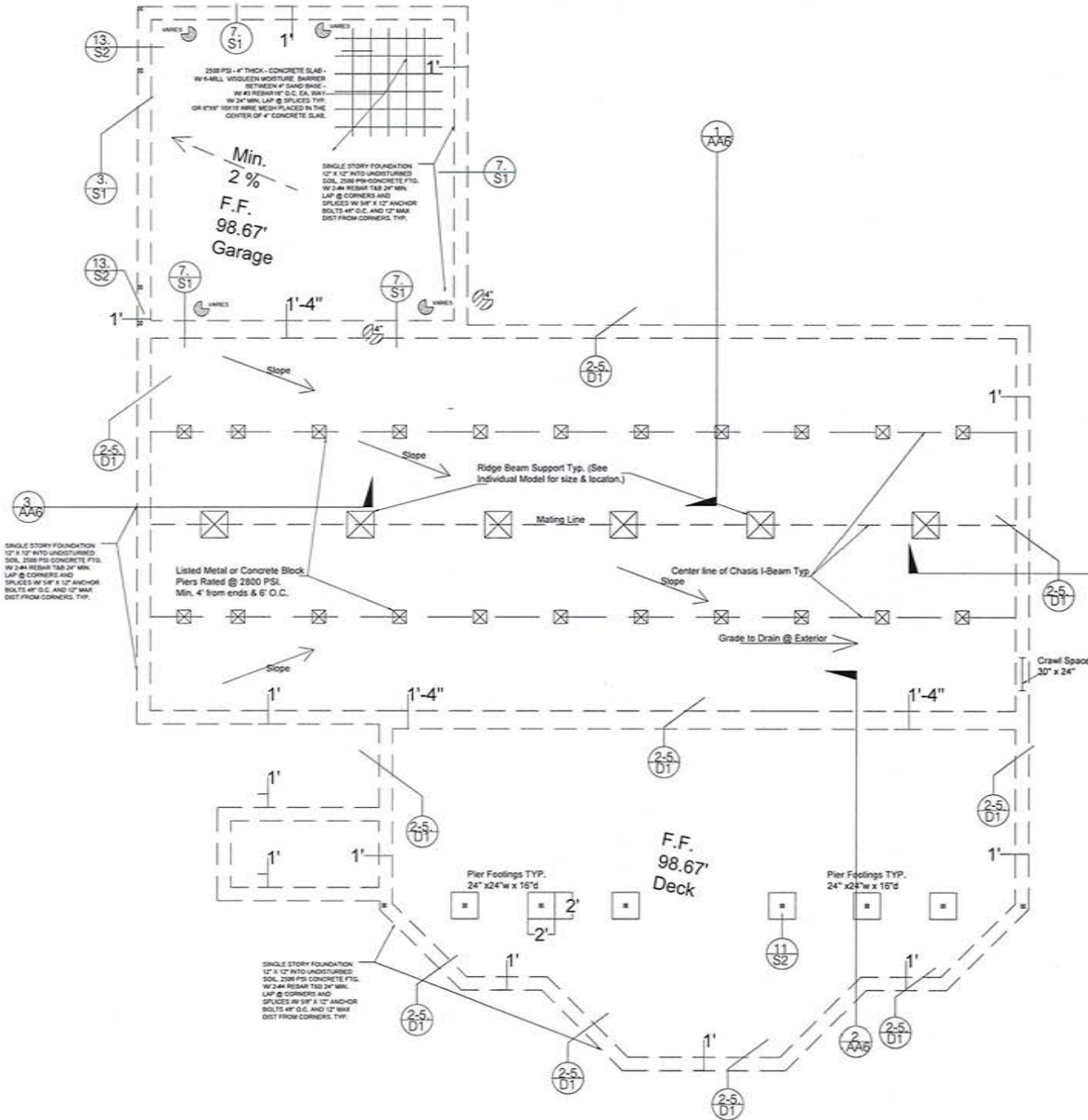


DRAWN: I. RUZMENKO  
DATE: 6-10-08  
SCALE: NTS  
JOB #:

F-3

# FOUNDATION PLAN

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00



## GENERAL STRUCTURAL NOTES

THE CONTRACTOR SHALL VERIFY THAT ALL PLANS, DIMENSIONS, DETAILS, SPECIFICATIONS, AND CONSTRUCTION FEATURES ARE CONSISTENT AND ARE COORDINATED WITH THE DESIGN OF THE PROJECT, AND THAT THE ARCHITECTURAL DESIGN IS COORDINATED WITH THE STRUCTURAL DESIGN. IN THE CASE OF EXISTING WORK, THE CONTRACTOR SHALL FURTHER VERIFY THAT THE AS-BUILT CONDITIONS CONFORM TO THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THAT ALL ARCHITECTURAL AND STRUCTURAL DESIGNS ARE BUILDABLE. IF ANY DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK OR ORDER OR FABRICATE ANY MATERIALS UNTIL ALL INFORMATION IS VERIFIED AND ANY DISCREPANCIES OF INCONSISTENCIES ARE RESOLVED BY THE ARCHITECT AND ENGINEER.

BEAM, POST, AND HOLD DOWN LOCATIONS, WHERE DEPICTED ON PLANS, ARE APPROXIMATE. ALL POST LOCATIONS MAY NOT BE SHOWN. PROVIDE BEARING CONTINUITY AND SUPPORT FOR ALL MEMBERS. SEE PLANS AND SH SHEET FOR ADDITIONAL INFORMATION.

ALL INFORMATION ON THE "SV" SHEET SHALL APPLY.

ALL INFORMATION IN THE DETAILS ON THE "S" & "SD" SHEETS SHALL APPLY WHERE REFERENCED.

WHERE MULTIPLE DETAILS ARE REFERENCED, PARTICULARLY WHERE ARCHITECTURAL DETAILS ARE REFERENCED IN THE SAME AREAS OR LOCATIONS AS STRUCTURAL DETAILS, ALL INFORMATION ON ALL THE REFERENCE DETAILS SHALL APPLY.

## FOUNDATION NOTES

FOUNDATIONS AND FOOTINGS, INCLUDING GARAGE FOOTINGS, ARE ASSUMED TO BE MIN 12" WIDE X 12" DEEP. THE CONTRACTOR SHALL VERIFY THAT THE EXISTING FOUNDATION SYSTEM MEETS THESE MIN. REQUIREMENTS BY SPOT CHECKING AND PARTIAL DEMOLITION SUFFICIENT TO ASSURE REPRESENTATIVE AREAS HAVE BEEN CHECKED, AND SHALL STOP WORK AND REPORT BACK TO THE OWNER IMMEDIATELY SHOULD THESE REQUIREMENTS NOT BE MET.

CONTINUOUS FOOTINGS SHALL BE 12" WIDE X 12" DEEP WITH (2) #4 BAR PLACED 3" CLR FROM TOP AND (2) #4 BAR PLACED 3" CLR FROM BOTTOM OF FOOTING. IF ADDITIONAL REINFORCING AS INDICATED ON THE PLANS OR DETAILS. FOR 2-POUR FOUNDATIONS AND SLABS, UPPER BARS SHALL BE PLACED 2" CLR FROM TOP OF FIRST POUR, AND #4 SLAB TIES SHALL BE PLACED AT MIN. 32" O.C.

BASE GRADE FOR ALL FOUNDATIONS, FOOTINGS, CONCRETE SLABS AND FLATWORK SHALL BE COMPACTED TO MIN 95% DENSITY. MAX 12" LAYER OF 2" CRUSHED GRAVEL BASE IS ALLOWED AS FILL UNDER SLABS AND FLATWORK.

SILL PLATE ANCHOR BOLTS SHALL BE MIN 5/8" DIAMETER, MIN 12" LONG (2X SILL PLATES) OR 12" LONG (2X SILL PLATES), SPACED 48" O.C. & MAX 12" FROM THE BREAKS IN SILL PLATES & CORNERS U.N.O. ALL ANCHOR BOLTS SHALL HAVE 3" x 3" x .225" THK. STEEL PLATE WASHERS.

SILL PLATE ANCHOR BOLTS SHALL BE PLACED MIN. 7" DEEP IN CONCRETE, AND ANCHOR BOLTS SHALL BE EMBEDDED MIN 12" IN GROUT. ALL ANCHOR BOLTS SHALL BE SIZED 30 AS TO PROVIDE FOR THESE EMBEDMENT REQUIREMENTS.

SUBFLOOR IS RAISED FOUNDATION AND TO BE VENTILATED WITH 6" X 14" SCREEN VENTS EVERY 3 JOIST BAYS, MINIMUM 19 TOTAL VENTS, VENTS WITHIN 3 FEET OF CORNERS, 1550 SQ FT OF SUBFLOOR AREA / 150 = -11.02 SQ FT OF VENTILATION AREA.

CEMENT SHALL CONFORM TO ASTM C-150 TYP 2 OR 5

CONCRETE AGGREGATE SHALL CONFORM TO ASTM C-3

REINFORCEMENT STEEL SHALL CONFORM TO ASTM A 615 GRD 40

SCALE: 1/4" = 1'

**KC1 DESIGN-DRAFTING  
PROCESSING**

DRAFTSMAN

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KEN@KC1PROPERTIES.COM  
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## LEGEND

SITE Plan - SHT - T-1  
PLAN - SHTs - A-1A, AA-1, AA-2, AA-3, AA-4, AA-5, AA-6, AD-5  
FOUNDATION SYSTEMS- SHTs - A1, D1, F1, F2, S-1, S-2, S-3, S-4, S-5.

REVISION	ISSUE	DATE

SITE PLAN

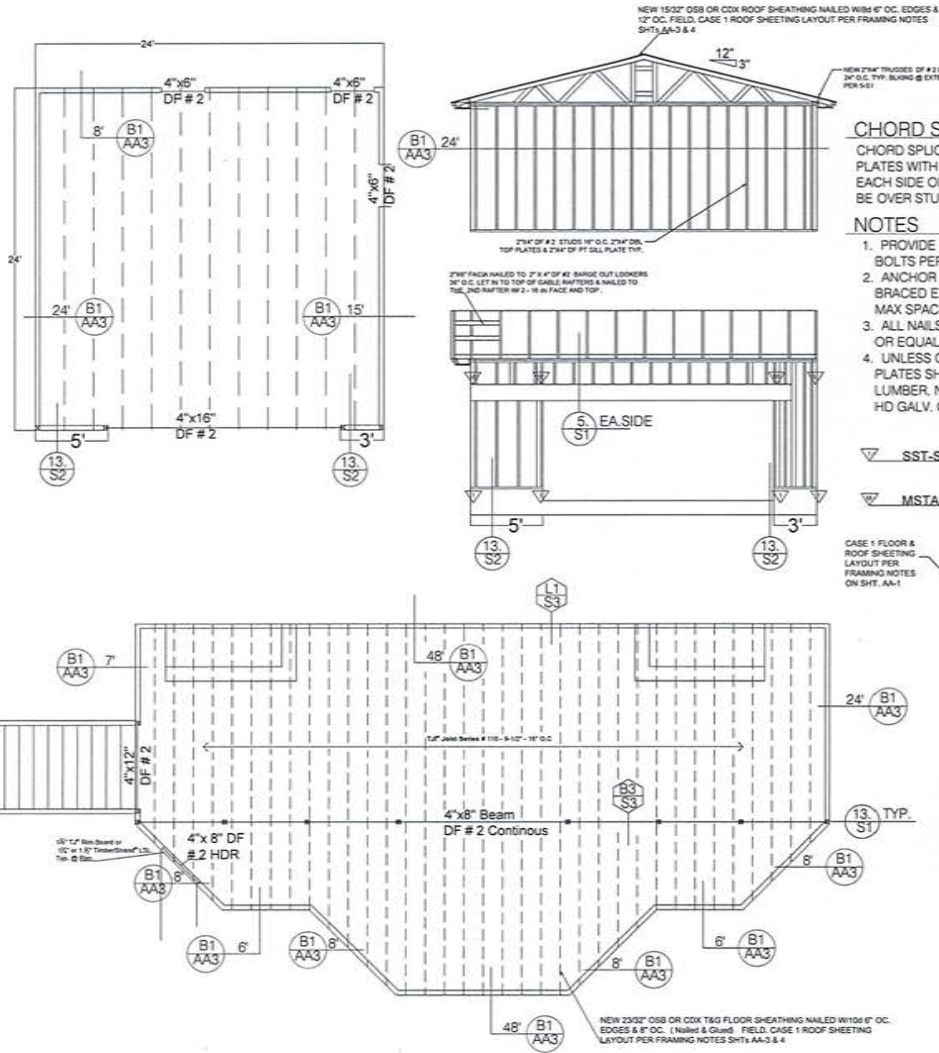
SHEET

**AA2**

# FRAMING PLAN GARAGE & DECK + SECTIONS - 1

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00

## BRACED WALL PANEL DETAIL INSTRUCTIONS

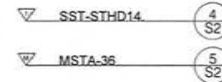


### CHORD SPLICE

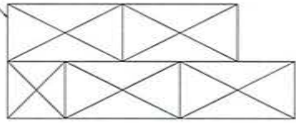
CHORD SPLICE: PROVIDE DOUBLE 2X TOP PLATES WITH MIN. 8-16d COMMON NAILS AT EACH SIDE OF SPLICE. CHORD SPLICES MUST BE OVER STUD AND BE STAGGERED @ 48" O.C.

### NOTES

1. PROVIDE MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF SILL PLATE.
2. ANCHOR SPACING FOR NON-BRACED EXTERIOR WALLS SHALL BE MAX SPACING 48" O.C.
3. ALL NAILS SHALL BE COMMON WIRE OR EQUAL.
4. UNLESS OTHERWISE NOTED, ALL SILL PLATES SHALL BE P-T, 2X D.F. #2 LUMBER. NAILS INTO PT SILL PLATES SHALL BE HD GALV. OR EQ.



CASE 1 FLOOR & ROOF SHEETING LAYOUT PER FRAMING NOTES ON SHT. AA-1



### Dry Wall

Type GB (Gypsum Board) 5/8" by a minimum of 4' wide (both sides of wall) affixed to studs spaced at a maximum of 16" c.c. with 5d annual ringed cooler nails or 1 1/4" gyp. Screws (Type W or S) for 1/2" gypsum board or 1 5/8" screws (Type W or S) for 5/8" gypsum board, all at 7" c.c. at edges and field.

### Braced Wall Panel Type 1 (Exterior)

Type WSP Wood Structural Panel 3/8" affixed to exterior walls with studs at 16" c.c., w/ 8ds at 6" c.c. at edges, and 12" c.c. at intermediate studs.

### Braced Wall Panel Type 2 (Interior)

Type GB (Gypsum Board) 1/2" or 5/8" by a minimum of 4' wide (both sides of wall) affixed to studs spaced at a maximum of 24" c.c. with 5d annual ringed cooler nails or 1 1/4" gyp. Screws (Type W or S) for 1/2" gypsum board or 1 5/8" screws (Type W or S) for 5/8" gypsum board, all at 7" c.c. at edges and field.

### Bottom Plate at Braced Wall Panels

R403.1.6 Foundation anchorage. Wood sill plates and wood walls supported directly on continuous foundations shall be anchored to the foundation in accordance with this section.

Cold-formed steel framing shall be anchored directly to the foundation or fastened to wood sill plates in accordance with Section R505.3.1 or R603.3.1, as applicable. Wood sill plates supporting cold-formed steel framing shall be anchored to the foundation in accordance with this section.

Wood sole plates at all exterior walls on monolithic slabs, wood sole plates of braced wall panels at building interiors on monolithic slabs and all wood sill plates shall be anchored to the foundation with minimum 1/2-inch diameter (12.7 mm) anchor bolts spaced not greater than 6 feet (1829 mm) on center or approved anchors or anchor straps spaced as required to provide equivalent anchorage to V2-inch-diameter (12.7 mm) anchor bolts. Bolts shall extend not less than 7 inches (178 mm) into concrete or grouted cells of concrete masonry units. The bolts shall be located in the middle third of the width of the plate. A nut and washer shall be tightened on each anchor bolt. There shall be not fewer than two bolts per plate section with one bolt located not more than 12 inches (305 mm) or less than seven bolt diameters from each end of the plate section.

Interior bearing wall sole plates on monolithic slab foundation that are not part of a braced wall panel shall be positively anchored with approved fasteners. Sill plates and sole plates shall be protected against decay and termites where required by Sections R317 and R318. To be affixed to 2x Rim Joist, or parallel Double Floor Joist, parallel Double Blocking Line with 2-16d commons thru bottom plate and subfloor per 14 1/2" stud bay.

### Top Plate at Braced Wall Panels

To be affixed to Truss Bottom Chord, or Ceiling Joists per "Truss / Ceiling Joist Transfer Detail" shown hereon.

### Roof & Floor Sheathing

Roof Minimum 1/2" thick, Struct 1, 24-0 panel rating, plywood or OSB, unblocked, in Case 1 Layout, with 8ds at 6" c.c. at panel edges, and diaphragm boundaries, and 12" c.c. at field at intermediate supports.

Floor Minimum 3/4" thick, Struct 1, 16-0 panel rating, plywood or OSB, unblocked, in Case 1 Layout, with 10ds at 6" c.c. at panel edges, diaphragm boundaries, and 8" c.c. at field at intermediate supports.

SCALE : 1/4" = 1'

KC1 DESIGN-DRAFTING PROCESSING

### DRAFTSMAN

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 (916) 370-3907  
 KEN@KC1PROPERTIES.COM  
 WWW.KC1PROPERTIES.COM  


### LEGEND

SITE Plan - SHT - T-1  
 PLAN- SHTs - A-1AA-1, AA-2AA-3, AA-4AA-5, AA-6, AD-5  
 FOUNDATION SYSTEMS- SHTs - A1,D1,F1,F3, S-1, S-2, S-3, S-4, S-5.

### REVISION ISSUE DATE

REVISION	ISSUE	DATE

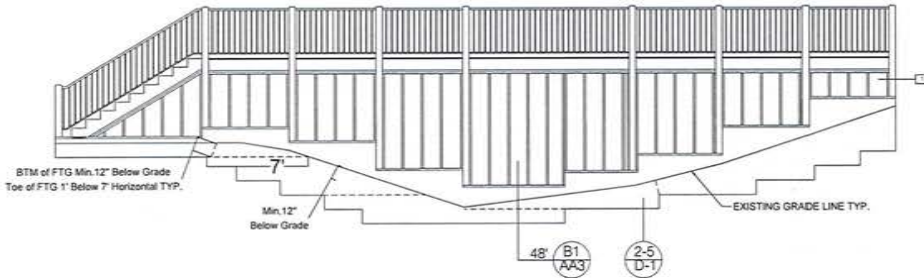
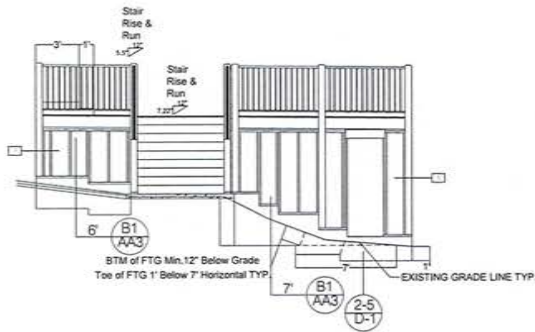
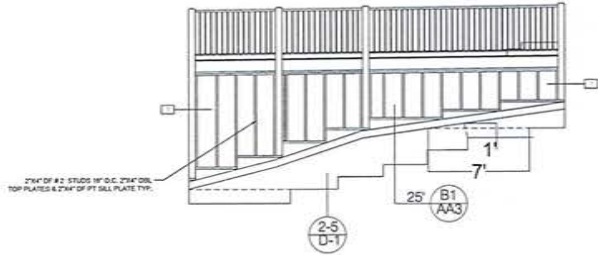
### SITE PLAN

### SHEET

AA3

# FRAMING PLAN DECK & STAIRS SECTIONS - 2

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00



**FRAMING NOTES**  
ALL FRAMING LUMBER SHALL BE D.F. #2 GRADE MIN

SUBFLOOR AT THE 1ST FLOOR SHALL BE 3/4" T&G CDX OR OSB APA RATED SUBFLOOR SHEATHING NAILED W/ 10D COMMON NAILS @ 6" O.C. EDGES, 8" O.C. FIELD, AND 4" O.C. AT DRAG JOISTS AND DRAG BEAMS.

ALL EXTERIOR WALLS, INCLUDING GABLES, SHALL BE SHEATHED WITH MIN. 5/8" CDX OR OSB APA RATED SHEATHING NAILED W/ 8D 6" O.C. EDGES AND 8" O.C. FIELD, OR NON-COMBUSTABLE 1" X 8" HARD BOARD LAP SIDING NAILED W/ 2-8Ds ON EDGES AND IN FIELD.

WALL FRAMING SHALL BE 2X4 & 2X6 D.F. #2/BTR STUDS SPACED @ 16" O.C.

LAP TOP PLATES MIN. 4'-0" NAIL EA. SIDE OF LAP W/ (2) 16D U.N.O. WHERE MIN 4'-0" LAP IS NOT POSSIBLE OR WHERE TOP PLATES ARE OUT. SPLICE TOGETHER W/ MST27 STRAP.

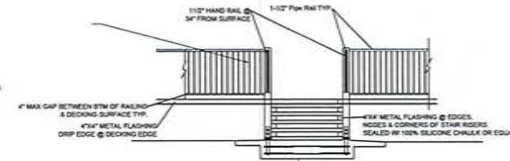
ROOF SHEATHING SHALL BE 15/32" CDX OR OSB APA RATED RADIANT BARRIER SHEATHING NAILED W/ 8D COMMON NAILS @ 6" O.C. EDGES, 8" O.C. FIELD, AND W/10D COMMON NAILS OVER EXISTING 1" X 4" SKIP SHEETING, AND 4" O.C. AT DRAG TRUSSES AND DRAG MEMBERS.

HEADERS FOR OPENINGS IN BEARING WALLS  
3'-0" OR LESS OPENING WIDTH - USE 4x6 OR 6x6  
4'-0" OPENING WIDTH - USE 4x8 OR 6x8

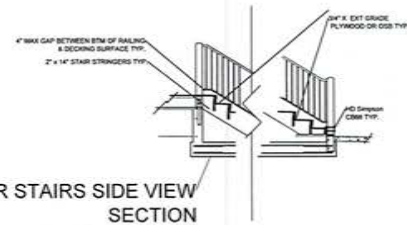
**P802.10.2 DESIGN**  
WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANS/ITP 1. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.

**ELEVATION KEY NOTES**

- 1/2" 5/8" REG. GALV. GROVED PLYWOOD (4x8)
- ADHERED SHINGLE VENEER AS SELECTED BY BUILDER HEIGHT AS NOTED. SEE DETAILS.
- WINDOW/DOOR VENEER AS SELECTED BY BUILDER HEIGHT AS NOTED. SEE DETAILS.
- STUCCO OVER FORM TRIM. SIZE AS NOTED. SEE ELEVATION.
- REG. SAWN WOOD TRIM. SIZE AS NOTED. SEE ELEVATION.
- IF WINDOW/DOOR LAY BEING PER GENERAL NOTES WITH OUTSIDE METAL CORNERS.
- 5/8" REG. SAWN PLYWOOD W/ NO BUTTS AT 16" O.C. SEE DETAILS.
- CORROSION RESISTANT SCREWS COVERED W/ PVC. SEE ROOF PLAN FOR SIZE.
- CORROSION RESISTANT DECK HANGERS & SPINDLES MAX # SPACING BETWEEN FLOORS.
- CORROSION RESISTANT ROOF TOE WALL FLASHING. SEE ROOF DETAILS.
- FALSE FORM SHOUTERS. SIZE AS NOTED.



**EXTERIOR STAIRS FRONT VIEW SECTION**



**EXTERIOR STAIRS SIDE VIEW SECTION**

**KC1 DESIGN-DRAFTING PROCESSING**

**DRAFTSMAN**

KC1 PROPERTIES LLC  
(916) 379 2907  
KENDRICK@PROPERTIES.COM  
WWW.KC1PROPERTIES.COM

*K. E. O.*

**LEGEND**

SITE Plan - SHT - T-1  
PLAN- SHTs - A-1,AA-1, AA-2,AA-3,AA-4,AA-5, AA-6, AD-5

FOUNDATION SYSTEMS- SHTs -A1,D1,F1,F3, S-1, S-2, S-3, S-4, S-5.

REVISION ISSUE | DATE

REVISION	ISSUE	DATE

SECTIONS P L A N

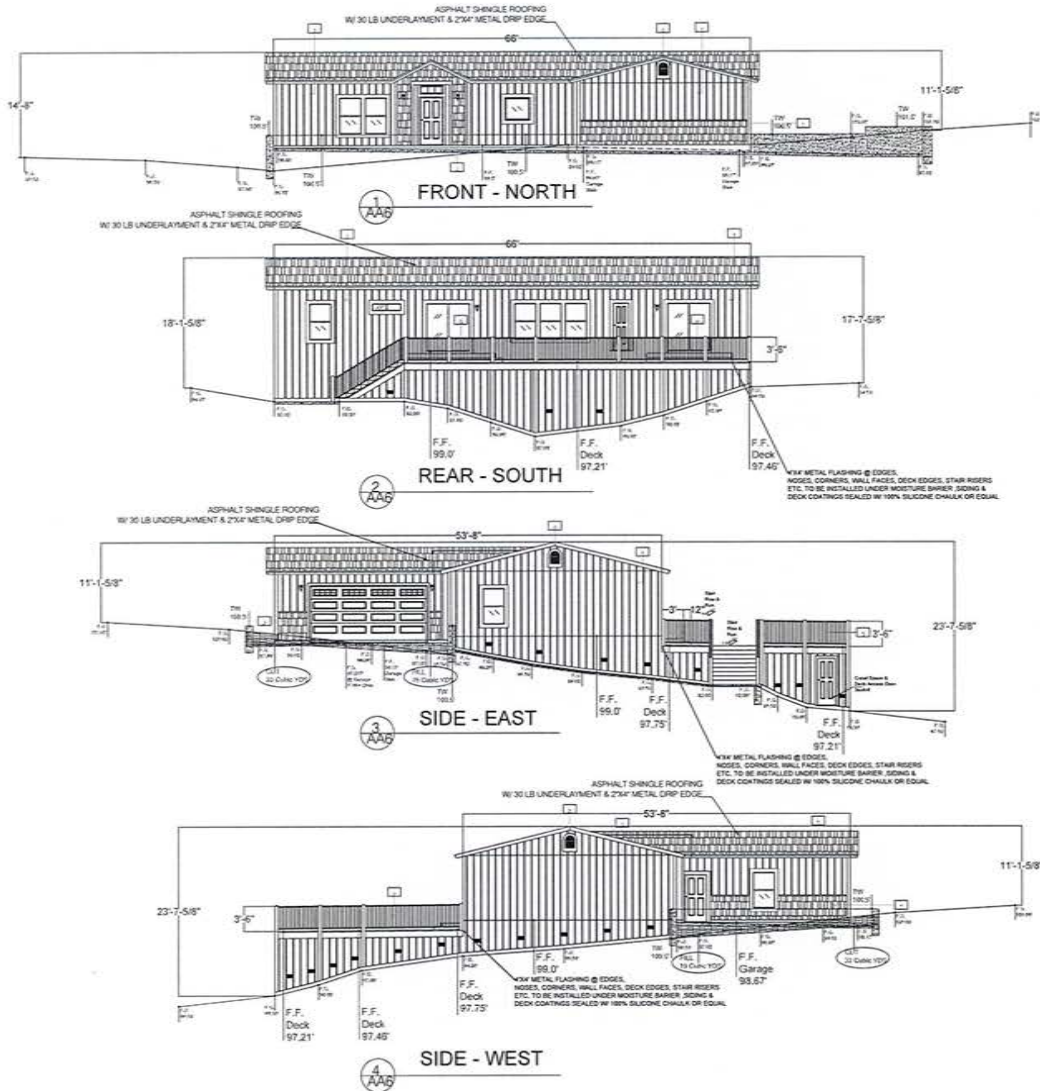
S H E E T

**AA4**

SCALE: 1/4" = 1'

# ELEVATIONS PLAN

DIAS RESIDENCE 38950 S. HWY 1 GUALALA, CA 94558 APN: 145-183-03-00



## VENTILATION REQUIREMENTS

For Prescriptive Compliance: The attic shall be ventilated to provide a minimum free ventilation area of not less than one square foot of vent area for each 300 sq ft of attic floor area. Provide no less than 30 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the venting. The product shall meet all requirements for, California certified insulation materials, [radiant barriers] of the Department of Consumer Affairs, Bureau of Home Furnishings and Thermal Insulation, as specified by CCR, Title 24, Part 12, Chapter 12-13, Standards for Insulating Material. The use of a radiant barrier shall be listed in the Special Features and Modeling. Assumptions listings of the Certificate of Compliance, and described in detail in the Residential ACM Manual Conform, to the radiant barrier manufacturer's instructions

ATTIC & SUB FLOOR VENTILATION		
NEW ATTIC & FLOOR AREA (SQ FT)		TYPICAL VENT NET FREE AREA
GARAGE ATTIC AREA	576	
SUB FLOOR - HOUSE & DECK	2990	
1/32"IN FREQD SQ. IN. EXHAUST	856	GALE VENT
1/32"IN FREQD SQ. IN. INTAKE	856	12" X 16"
TOTAL (FREQD VENT SQ. IN.)	1712	EAVE VENT
(11 12" X 16" GALE VENT)	216	3.5' X 12" SCREEN
(8 3'0" X 22" EAVE SCREEN VENTS)	-52	12" X 24" ROOF CORNER VENT
(18 6" X 14" FOUNDATION VENTS)	1-52	6" X 14" SCREEN FOUNDATION VENT
		288
		84

## ELEVATION KEY NOTES

- THE SF-60 GRAIN (GRAINED) PLUMBOOD (PF)
- ADHESED SHINGLE VENER AS SELECTED BY BALDWIN HEIGHT AS NOTED. SEE DETAILS
- WOODSHY BRICK VENER AS SELECTED BY BALDWIN HEIGHT AS NOTED. SEE DETAILS
- STUCCO OVER FORM TRIM. SEE AS NOTED. SEE ELEVATION
- REPAIR WOOD TRIM. SEE AS NOTED. SEE ELEVATION
- 4" HARDBOARD LAP SOING PER GENERAL NOTES WITH OUTSIDE METAL CORNERS
- SF-60 GRAIN PLUMBOOD IN 1/2" GYP BOARD AT 9" O.C. SEE DETAILS
- CORROSION RESISTANT SCREEN LOADED VENT. SEE ROOF PLAN FOR SIZE.
- CORROSION RESISTANT DECK BRAGING & SPINDLES
- CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS
- FALSE FORM SHAPERS. SEE AS NOTED.

## ELEVATION NOTES

- A. REFER TO MANUFACTURER'S MANUAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC IDENTIFICATION
- B. WINDOW HEAD HEIGHTS - 1/8" FLOOR TO 4" KING ON EXT. ELEVATIONS
- C. ELEVATIONS - DOOR HEIGHTS AS NOTED ON PLANS. WINDOW HEADS OF WINDOW HEADS HEIGHT WITH DOOR HEADERS
- X. EXTERIOR WALLS - CHECK PER GENERAL NOTES. CORROSION RESISTANT MEET SCREEN AT BASE. STUCCO OVER FORM OVER 1/2" GYP BOARD PER GENERAL NOTES. CORROSION RESISTANT MEET SCREEN AT BASE. 4" HARDBOARD LAP SOING PER GENERAL NOTES. MANUFACTURED BY SACRAMENTO STUCCO COMPANY, INC. STUCCOING, SPECIFICATIONS AND CODES. WHITE GYPSUM FORM FINISH. FEDERAL SPECIFICATION 95-0-10404. (MAY 20TH 2014)
- D. EXTERIOR LIGHTS TO MATCH EXTERIOR SOING
- E. ROOFING - DIMENSIONAL ASPHALT SHINGLES 30 YEAR WELFE SPAN. ALL ELEVATIONS - DIMENSIONAL ASPHALT SHINGLES PER MANUFACTURE SPECIFICATIONS. SEE ROOFING DETAILS

**KC1 DESIGN-DRAFTING PROCESSING**

## DRAFTSMAN

KC1 PROPERTIES LLC  
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 KC1@KC1PROPERTIES.COM  
 WWW.KC1PROPERTIES.COM

## LEGEND

SITE Plan - SHT - T-1  
 PLAN- SHTs - A-1A,AA-1, AA-2,AA-3,AA-4,AA-5, AA-6, AD-5  
 FOUNDATION SYSTEMS- SHTs- A1,D1,F1,F3, S.1, S-2, S-3, S-4, S-5.

REVISION	ISSUE	DATE

## SITE PLAN

## SHEET

**AA6**

SCALE: 1/8" = 1'



CAL FIRE FILE #	Project Type:	Battalion #	Date:
48-21	New Build	5	February 11, 2021

**CONDITIONS OF APPROVAL OF STATE FIRE SAFE REGULATIONS**

With reference to this file number, The California Department of Forestry and Fire Protection requires the following MINIMUM standards as set forth in 14CCR, Natural Resources; DIV 1.5, be adhered to in order to gain "Final Clearance" from this department. Local agencies may have more restrictive requirements. These conditions are a summary of the 2016 SRA Fire Safe Regulations. To see the complete listing visit [www.fire.ca.gov](http://www.fire.ca.gov).

Building / Project Site Information	
Address: 38750 State Highway 1	APN:
City: Gualala	Zip Code: 95445
Property Owner	
Name: Joseph & Jacki Dias	
Mailing Address: 450 Hawkcrest Circle	
City: Sacramento	State: CA
Zip Code: 95835	Phone: (916) 600-9800/ (916) 616-5760
Email: <a href="mailto:Joedias@yahoo.com">Joedias@yahoo.com</a> / <a href="mailto:Jackid1001@gmail.com">Jackid1001@gmail.com</a>	
Agent Representing Property Owner	
Name: Ken Eaton	
Mailing Address: 6241 Clausen Way	
City: North Highlands	State: CA
Zip Code: 95660	Phone: (916) 370-3907
Email: <a href="mailto:Keproperties510@gmail.com">Keproperties510@gmail.com</a>	
Mail Correspondence to:	
<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Agent
<input type="checkbox"/> Pick Up at CAL FIRE Howard Forest	

You must comply with the following marked (X) standards below to obtain FINAL CLEARANCE

**X ADDRESS STANDARD**

- Address must be posted at beginning of construction and maintained thereafter.
- Minimum 4" letter height, ½" stroke, reflectorized with contrasting background, visible from both directions of travel.
- Multiple addresses on a single driveway shall be mounted on a single post.
- Address shall be placed at each driveway entrance

**X DRIVEWAY STANDARD**

- Minimum 10' wide with 14' unobstructed horizontal clearance and 15' unobstructed vertical clearance.
- Driveway shall have an all-weather surface, with no more than 16% grade, and minimum 50' radius inside curvature on all turns.
- Driveways exceeding 150' but less than 800' require a turnout near the midpoint, driveways exceeding 800' shall provide turnouts no more than 400' apart. Turnout shall be a minimum of 12' wide, 30' long with 25' tapers on each end.
- A turnaround shall be provided to all building sites on driveways more than 300' in length and shall be within 50' of the building, a 40' radius turnaround or 60' hammerhead "T" shall be utilized.
- Gates shall be a minimum 14' wide, all gates providing access shall be located at least 30' from the roadway. Security gates shall have an approved means of emergency operation.



**X MAINTAIN DEFENSIBLE SPACE AND FUELS MODIFICATION STANDARD**

- All parcels 1 acre and larger shall provide a minimum 30' setback for all buildings from property lines and/ or the center of the road.
- All parcels less than 1 acre, the local jurisdiction shall provide for the same practical effect.
- Fuel modification and disposal of flammable vegetation and fuels caused by site development and construction, shall be completed prior to road construction or final inspection of building permit.
- Maintain defensible space 100' from each side and front and rear of the structure(s), but not beyond the property line. The intensity of fuels management may vary within the 100' perimeter of the structure, the most intense being within 30' of the structure.
- Remove that portion of a tree that extends within 10 feet of a chimney or stovepipe.
- Maintain a tree, shrub or other plant adjacent to or overhanging a structure.
- Maintain the roof structure free of leaves, needles, or other vegetative materials.

**EMERGENCY WATER STANDARD** \_\_\_\_\_ gallon minimum dedicated emergency water storage

- Water systems equaling or exceeding the National Fire Protection Association (NFPA) 1142, 2012 Edition and California Fire Code CCR 24 part 9, shall be accepted as meeting the requirements of this article.
- The hydrant or fire valve shall be 18" above grade, 8' from flammable vegetation, no closer than 4' and no further than 12' from roadway, and in a location apparatus using it will not block the roadway.
- The hydrant shall be not less than 50' nor more than ½ mile from the building it is to serve, shall be located at a turnout or turnaround along the driveway to that building or along a road that intersects with driveway.
- The hydrant head shall be 2 ½" National Hose male thread with cap for pressure and gravity flow systems, and 4 ½" for draft systems. They shall have suitable crash protection.
- A reflectorized blue marker minimum of 3" diameter shall be mounted on a fire-retardant post within 3' of the hydrant. The marker shall be no less than 3' or more than 5' above grade.

**ROAD STANDARD**

- All roads shall be constructed to provide two 10' traffic lanes, not including shoulder and striping.
- Roadway shall be designed and maintained to support 75,000lb and provide an aggregate base. Project applicant shall provide engineering specifications to support design if requested.
- The grades for all roads, streets, private lanes, and driveways shall not exceed 16%.
- No roadway shall have an inside radius curvature of less than 50' and additional width of 4' shall be added to curves of 50-100'.
- Turnarounds are required on driveways and dead end roads. The minimum turning radius shall be 40 feet not including parking. If a hammerhead "T" is used the top of the "T" shall be a minimum of 60' in length.
- Turnouts shall be a minimum of 12' wide by 30' long and 25' tapers on each end.
- All one-way roads shall provide a minimum 12' traffic lane, not including shoulders. All one-way roads shall connect to a two-lane road at both ends. In no case shall it exceed 2640' in length and a turnout shall be placed at the approximate midpoint.
- Maximum lengths for dead end roads: Parcels zoned less than 1 acre- 800', parcels zoned 1-4.99 acres-1320', parcels zoned 5-19.99 acres-2640', parcels zoned 20 acres or larger- 5280'. Where parcels are zoned 5 acres or larger turnarounds shall be provided at maximum 1320' intervals. Each dead-end road shall have turn around constructed at its a terminus.

**SIGN STANDARD**

- Size of letters, numbers, and symbols for street and road signs shall be a minimum 4" letter height, ½" stroke, reflectorized, and contrasting with background color of sign. Visible from both directions of travel for at least 100'.
- Height of street and road signs shall be uniform county wide, newly constructed or approved public and private roads must be identified by a name or number through a consistent countywide system. Signs shall be placed at the intersection of those roads streets or private lanes.
- A sign identifying traffic access or flow limitations, including but not limited to weight or vertical clearance limitations, dead end road, one way road, or single lane conditions shall be placed at the intersection preceding the access limitation and no more than 100' before such access limitation.





BRIDGE STANDARD

- All roadway structures shall be constructed to carry at least the maximum load and minimum vertical clearance as required by Vehicle Code Sections 35250, 35550, and 35750.
- The bridge shall be constructed and maintained in accordance with the American Association of State and Highway Transportation Officials Standard Specifications for Highway Bridges, 17th Edition. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus.
- Vehicle load limits shall be posted at both entrances to bridges.
- A bridge with only one lane shall provide for unobstructed view from one end to the other with turnouts at both ends.

CAL FIRE ADDITIONAL CONDITIONS OR COMMENTS:

EXCPTION REQUEST GRANTED

- See attached letter

EXCEPTION REQUEST DENIED

- See attached letter

Project review and approval by: *Chris Vallerga*  
Mendocino Unit - Fire Prevention Bureau

**CONDITIONS OF APPROVAL INSTRUCTIONS**

Review the specific standards marked (X) above that CAL FIRE has mandated for your project. Once you have completed your project and complied with all the marked standards above, contact CAL FIRE at (707) 459-7414 to request a final inspection. A CAL FIRE final inspection must be completed before Mendocino County Planning and Building Services staff will complete their final for your project. Allow two weeks for the final inspection to occur. The most common delays in obtaining a FINAL CLEARANCE from CAL FIRE is improperly addressed properties.



## TREE REMOVAL REQUIREMENTS

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In addition to the State Fire Safe Regulations there are other regulations regarding tree removal that may apply to your project that are under the jurisdiction of CAL FIRE. Other state and local agencies may have additional requirements pertaining to grading and vegetation removal.

These regulations may apply if you are permanently removing any of the following species or if you are going to sell or trade any timber, firewood, or other solid wood forest products that came from construction of your project.

### Conifers:

Coast redwood (*Sequoia sempervirens*)  
Douglas-fir (*Pseudotsuga menziesii*)  
Grand fir (*Abies grandis*)  
Western hemlock (*Tsuga heterophylla*)  
Western redcedar (*Thuja plicata*)  
Bshop pine (*Pinus muricata*)  
Monterey pine (*Pinus radiata*)  
Sitka spruce (*Picea sitchensis*)  
Incense cedar (*Calocedrus decurrens*)  
Port-Orford cedar (*Chamaecyparis lawsoniana*)  
California red fir (*Abies magnifica*)  
White fir (*Abies concolor*)  
Jeffrey pine (*Pinus jeffreyi*)  
Ponderosa pine (*Pinus ponderosa*)  
Sugar pine (*Pinus lambertiana*)  
Western white pine (*Pinus monticola*)  
Lodgepole pine (*Pinus contorta*)  
Noble fir (*Abies procera*)  
Knobcone pine (*Pinus attenua*)

Gray pine (*Pinus sabiniana*)  
Mountain hemlock (*Tsuga mertensiana*)  
Brewer spruce (*Picea breweriana*)  
Engelmann spruce (*Picea englemanii*)  
Sierra redwood (*Sequoiadendron giganteum*)  
Foxtail pine (*Pinus balfouriana*)  
Western juniper (*Juniperus occidentalis*)

### Hardwoods:

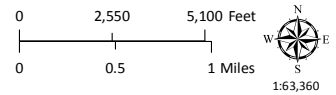
Tannoak (*Notholithocarpus densiflorus*)  
Red alder (*Alnus rubra*)  
White alder (*Alnus rhombifolia*)  
Pacific madrone (*Arbutus menziesii*)  
Golden chinkapin (*Castanopsis chrysophylla*)  
Pepperwood (*Umbellularia californica*)  
Oregon white oak (*Quercus garryana*)  
California black oak (*Quercus kelloggii*)

For more information and assistance related to tree removal contact the Mendocino Unit CAL FIRE Resource Management Office at (707) 459-7440.



CASE: CDP 2021-0008  
 OWNER: DIAS, Joseph & Jacki  
 APN: 145-183-03  
 APLCT: Joseph & Jacki Dias  
 AGENT: Ken Eaton  
 ADDRESS: 38950 S. Highway 1, Gualala

- Major Towns & Places
- Major Roads
- Highways
- California Counties

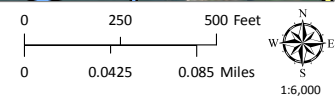


LOCATION MAP



CASE: CDP 2021-0008  
OWNER: DIAS, Joseph & Jacki  
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- Named Rivers
- Public Roads

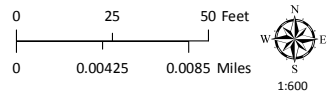


AERIAL IMAGERY



CASE: CDP 2021-0008  
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Public Roads

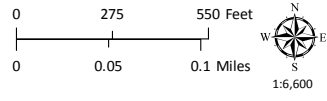


AERIAL IMAGERY



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 Major Towns & Places





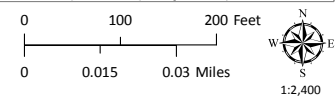
**TOPOGRAPHIC MAP**  
 CONTOUR INTERVAL IS 40 FEET

HENDEKING COUNTY PLANNING DEPARTMENT - 9/21/2021

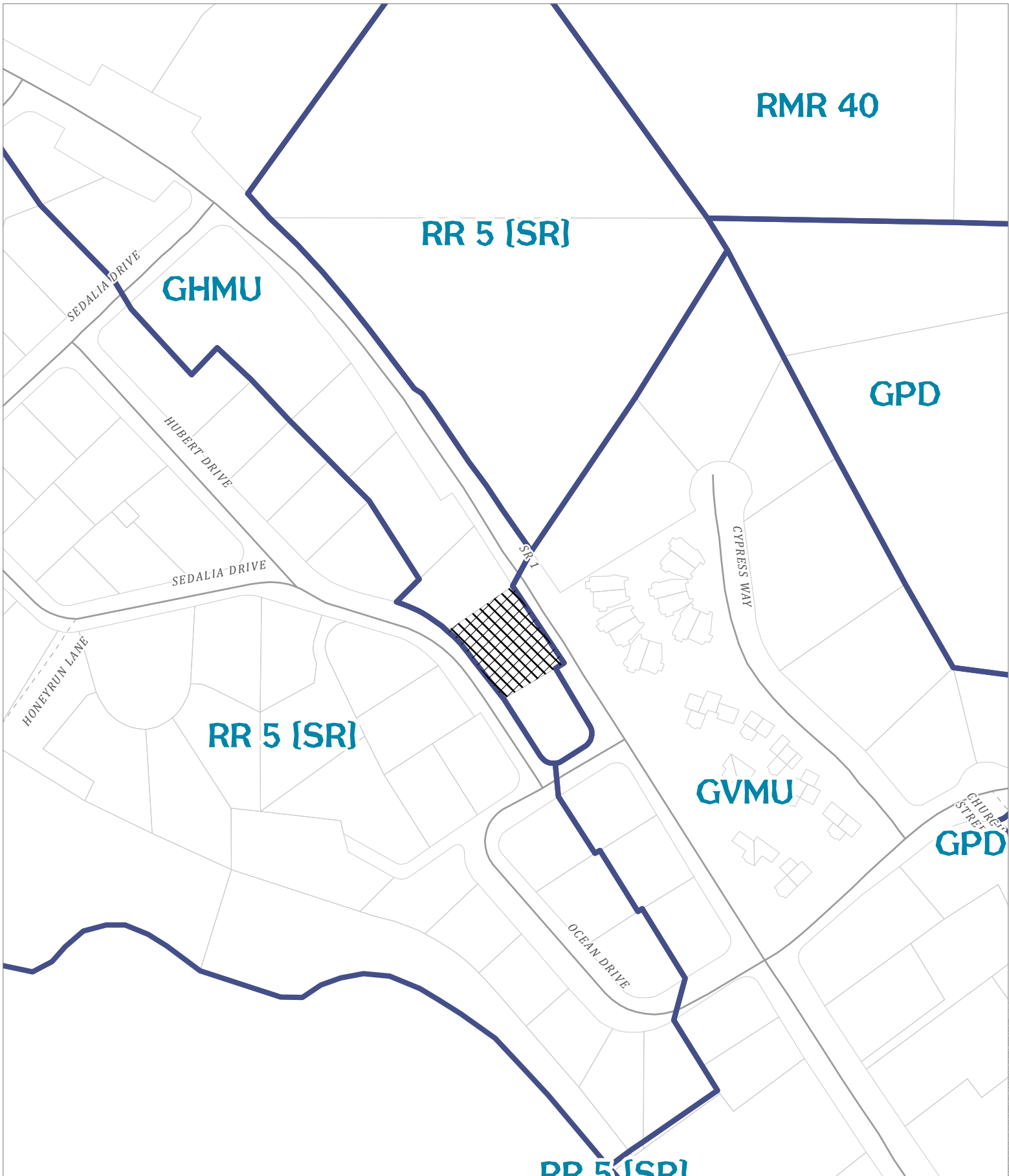


CASE: CDP 2021-0008  
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 ADDRESS: 38950 S. Highway 1, Gualala



 Zoning Districts  
 Public Roads

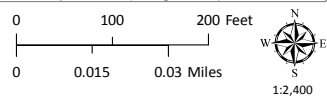


MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2021

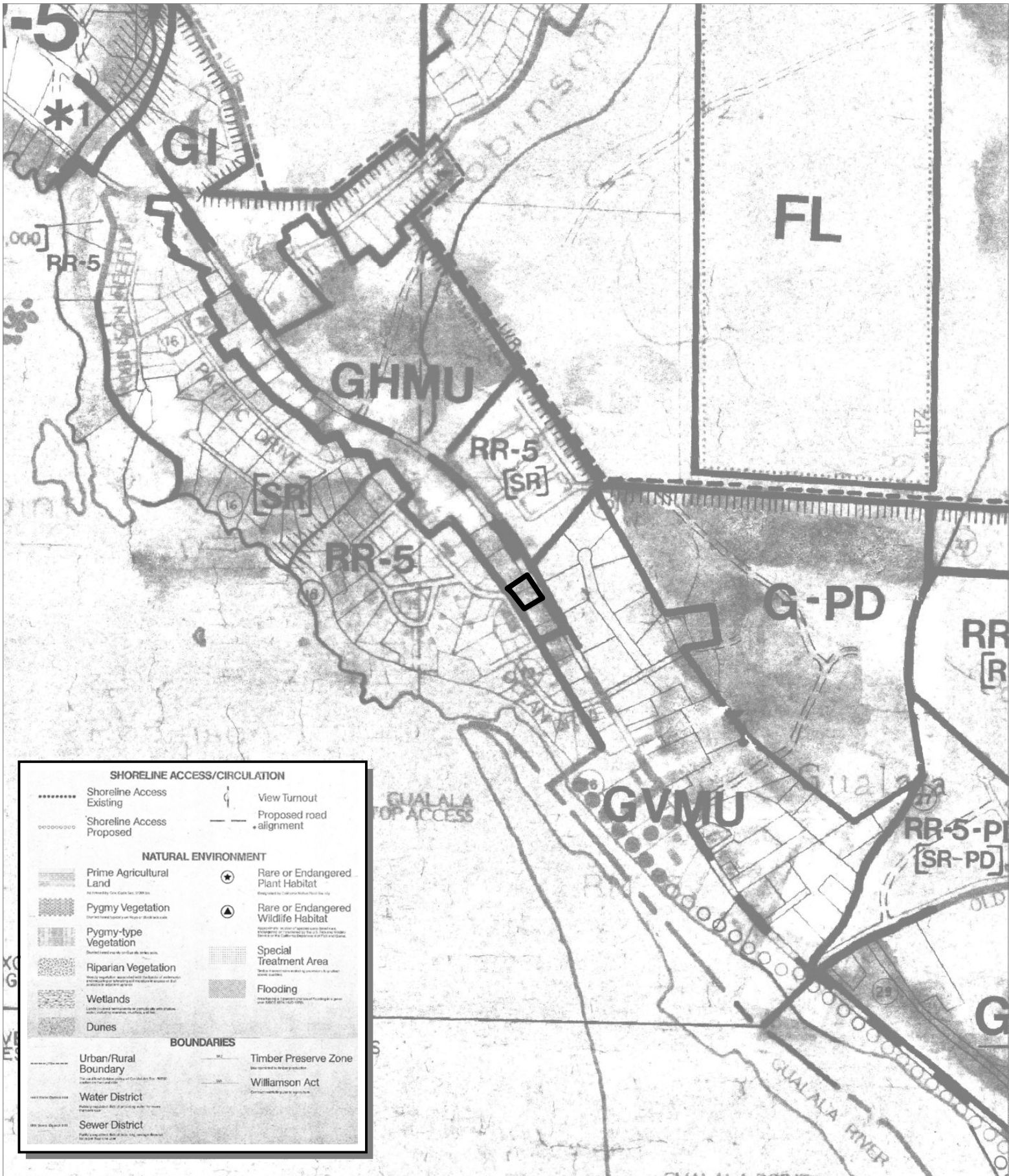


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 General Plan Classes  
 Public Roads

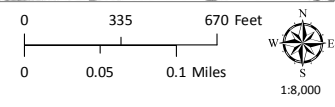


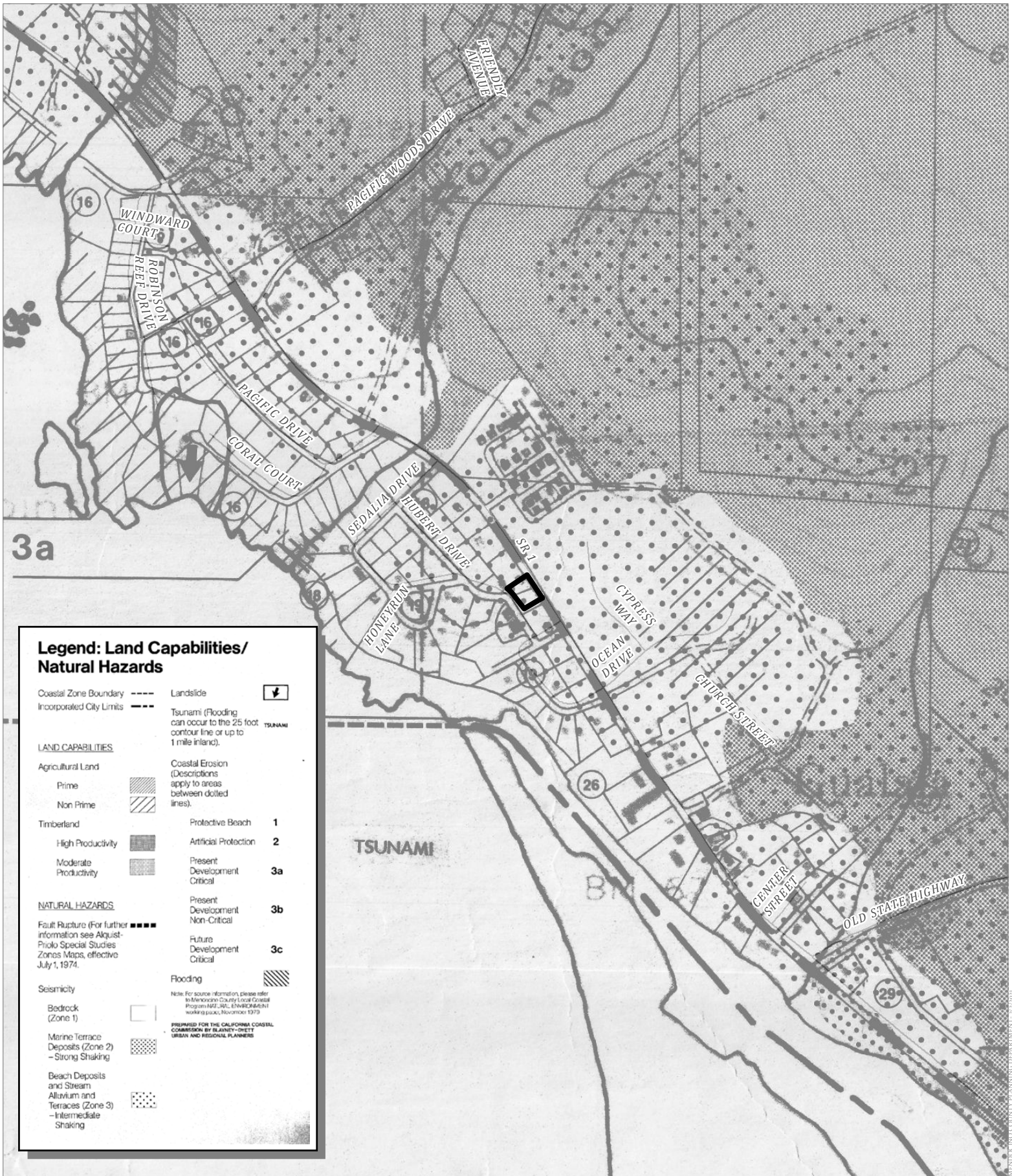




SHORELINE ACCESS/CIRCULATION	
-----	Shoreline Access Existing
-----	Shoreline Access Proposed
⤵	View Turnout
---	Proposed road alignment
NATURAL ENVIRONMENT	
[Pattern]	Prime Agricultural Land <small>All Intensity One, Class Six, URM Six</small>
[Pattern]	Pygmy Vegetation <small>Dark forest types on steep or rocky slopes</small>
[Pattern]	Pygmy-type Vegetation <small>Dark forest types on steep or rocky slopes</small>
[Pattern]	Riparian Vegetation <small>Wetlands associated with the riparian zone and adjacent to water bodies</small>
[Pattern]	Wetlands <small>Wetlands associated with the riparian zone and adjacent to water bodies</small>
[Pattern]	Dunes
[Symbol]	Rare or Endangered Plant Habitat <small>Designated by California Native Plant Society</small>
[Symbol]	Rare or Endangered Wildlife Habitat <small>Designated by California Native Plant Society</small>
[Pattern]	Special Treatment Area <small>Wetlands associated with the riparian zone and adjacent to water bodies</small>
[Pattern]	Flooding <small>Wetlands associated with the riparian zone and adjacent to water bodies</small>
BOUNDARIES	
---	Urban/Rural Boundary
---	Water District
---	Sewer District
---	Timber Preserve Zone
---	Williamson Act

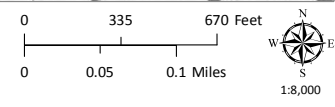
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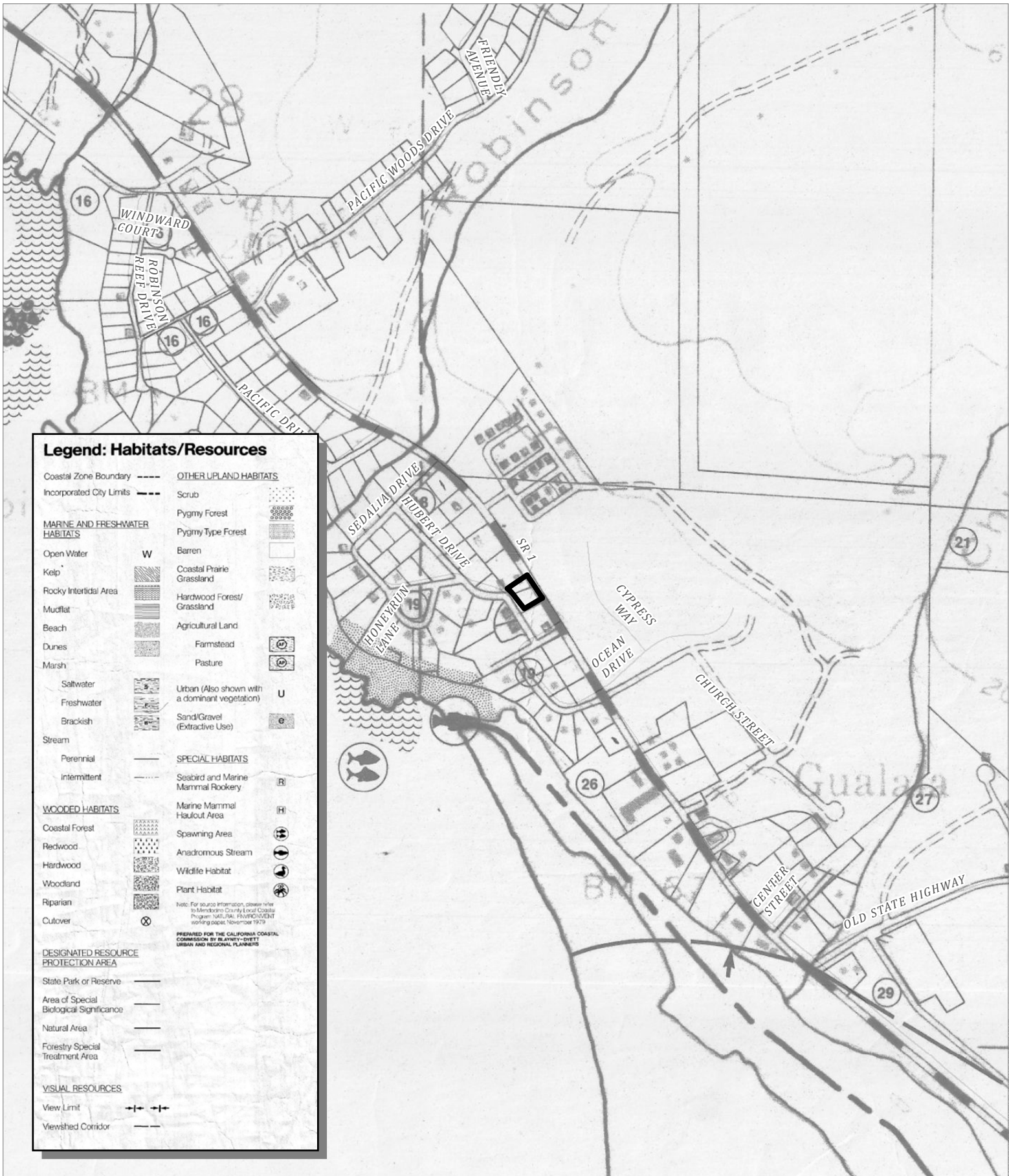




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Public Roads



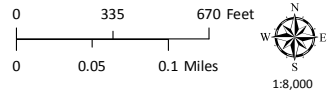


**Legend: Habitats/Resources**

- Coastal Zone Boundary - - - -
- Incorporated City Limits - - - -
- MARINE AND FRESHWATER HABITATS**
- Open Water **W**
- Kelp
- Rocky Intertidal Area
- Mudflat
- Beach
- Dunes
- Marsh
- Saltwater
- Freshwater
- Brackish
- Stream
- Perennial
- Intermittent
- WOODED HABITATS**
- Coastal Forest
- Redwood
- Hardwood
- Woodland
- Riparian
- Cultiver
- DESIGNATED RESOURCE PROTECTION AREA**
- State Park or Reserve
- Area of Special Biological Significance
- Natural Area
- Forestry Special Treatment Area
- VISUAL RESOURCES**
- View Limit
- Viewshed Corridor
- OTHER UPLAND HABITATS**
- Scrub
- Pygmy Forest
- Pygmy Type Forest
- Barren
- Coastal Prairie Grassland
- Hardwood Forest/Grassland
- Agricultural Land
- Farmstead
- Pasture
- Urban (Also shown with a dominant vegetation) **U**
- Sand/Gravel (Extractive Use) **e**
- SPECIAL HABITATS**
- Seabird and Marine Mammal Rookery **B**
- Marine Mammal Haulout Area **H**
- Spawning Area
- Anadromous Stream
- Wildlife Habitat
- Plant Habitat

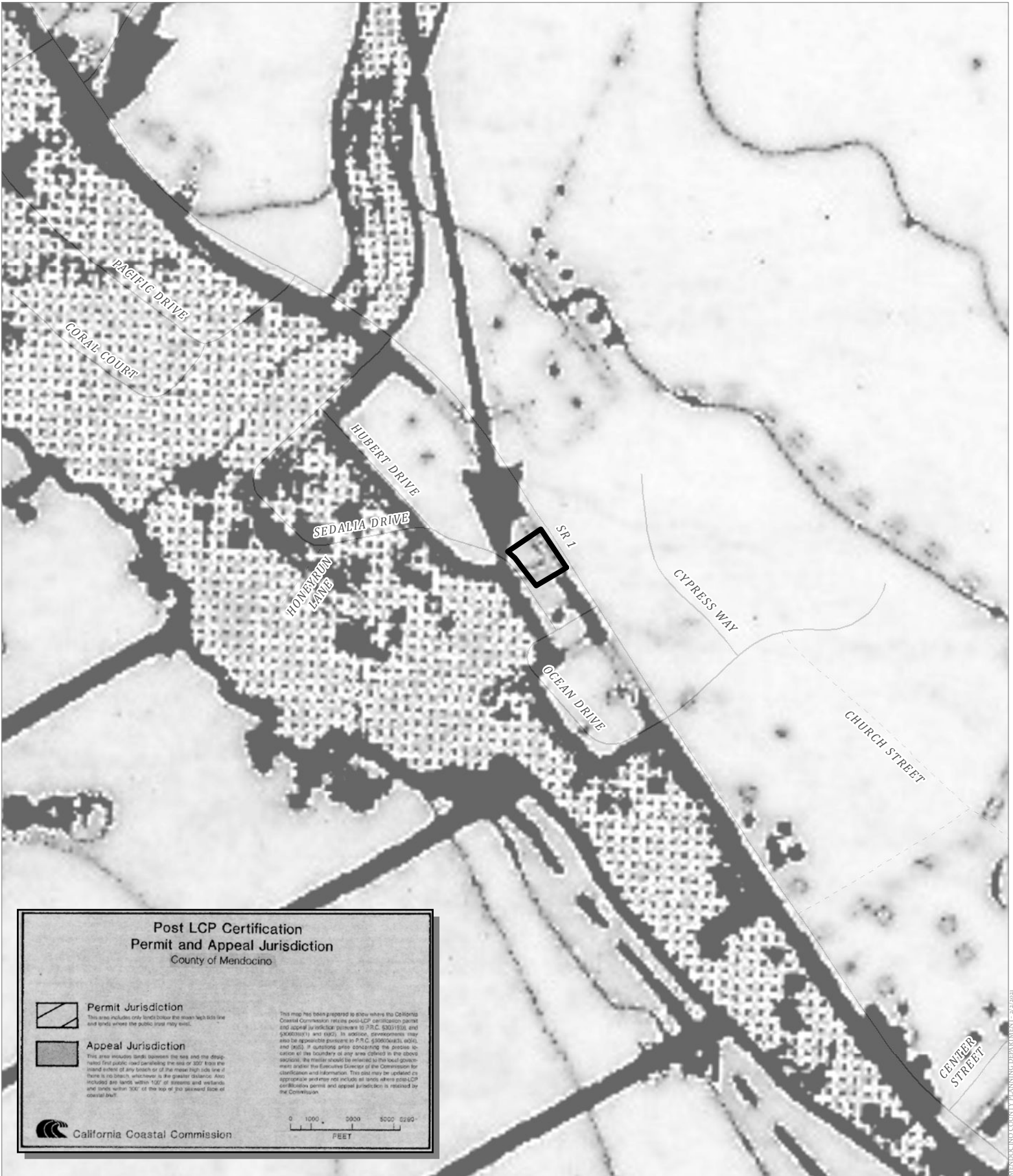
NOTE: For source information, please refer to Mendocino County Local Coastal Program NATURAL ENVIRONMENT working paper, November 1979.  
 PREPARED FOR THE CALIFORNIA COASTAL COMMISSION BY BLANEY-DUETT URBAN AND REGIONAL PLANNERS

— Public Roads



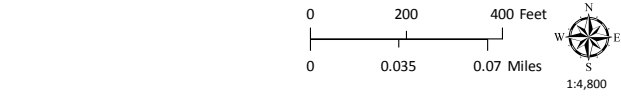
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MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2021



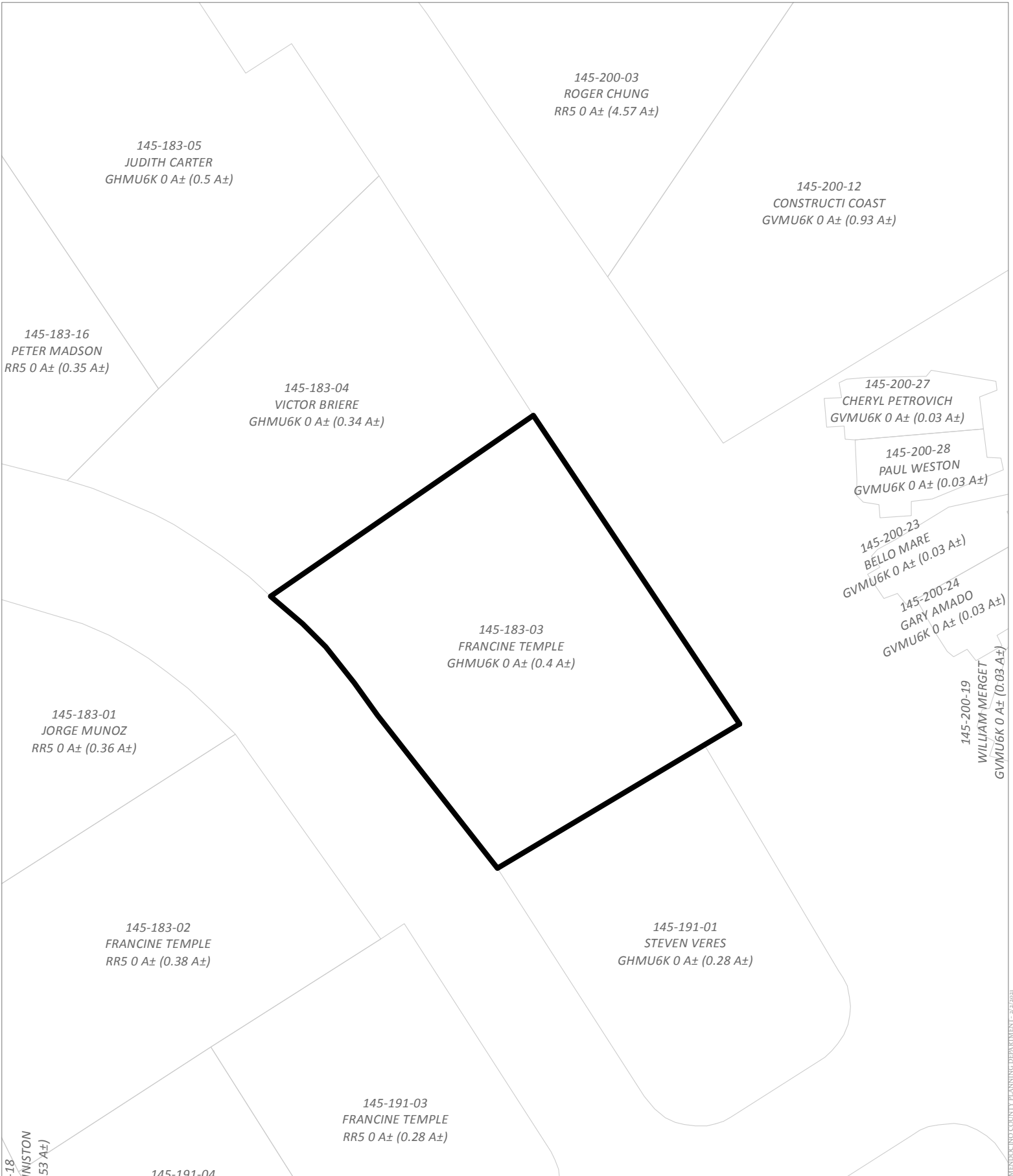
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Public Roads

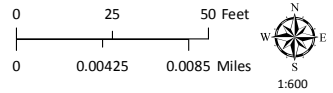


POST LCP CERTIFICATION & APPEAL JURISDICTION

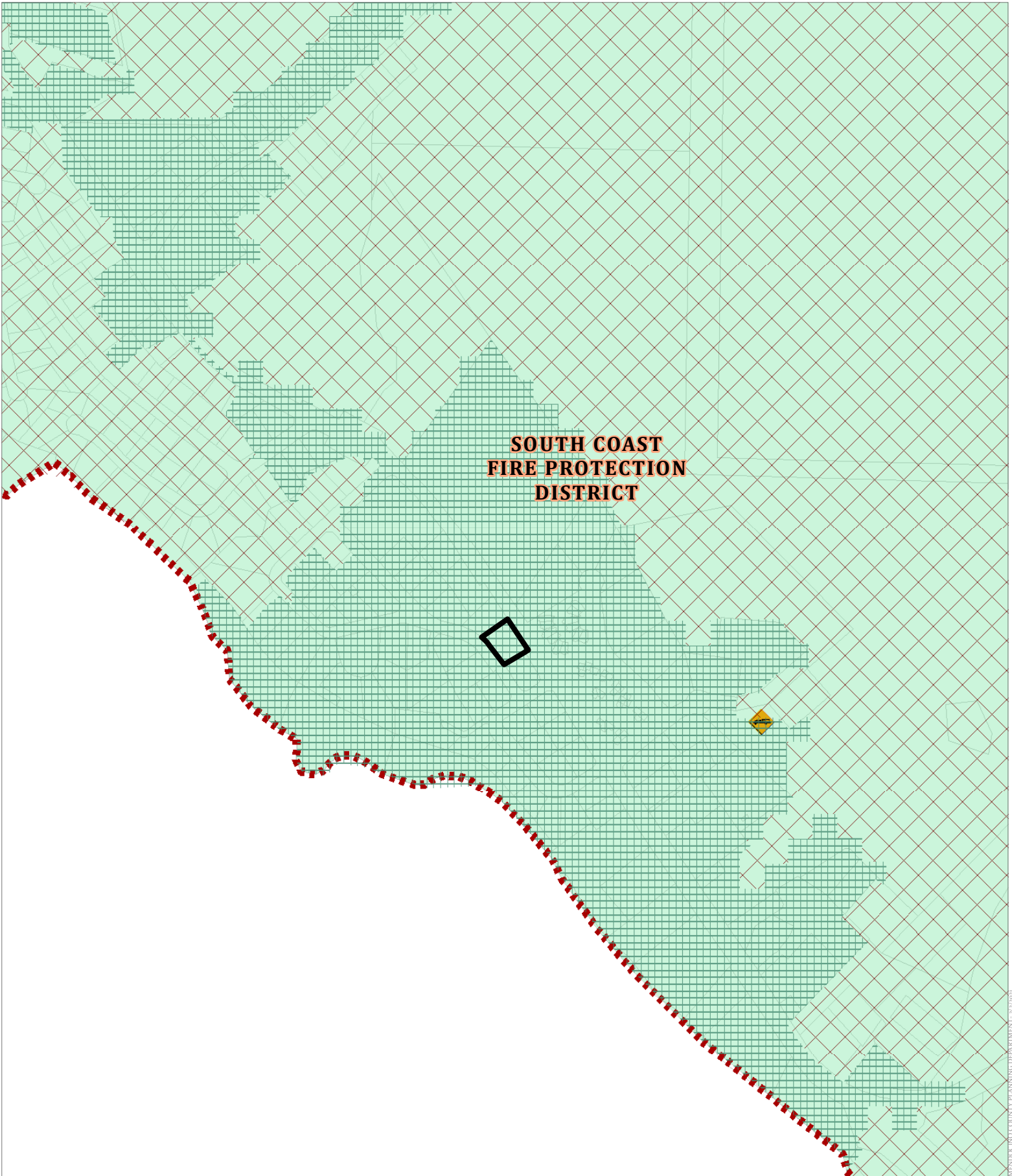
MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2024



CASE: CDP 2021-0008  
 OWNER: DIAS, Joseph & Jacki  
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 AGENT: Ken Eaton  
 ADDRESS: 38950 S. Highway 1, Gualala




ADJACENT PARCELS




**SOUTH COAST  
FIRE PROTECTION  
DISTRICT**

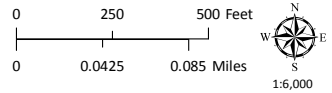
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 High Fire Hazard

 Moderate Fire Hazard

 Fire Stations

 County Fire Districts

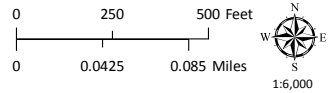


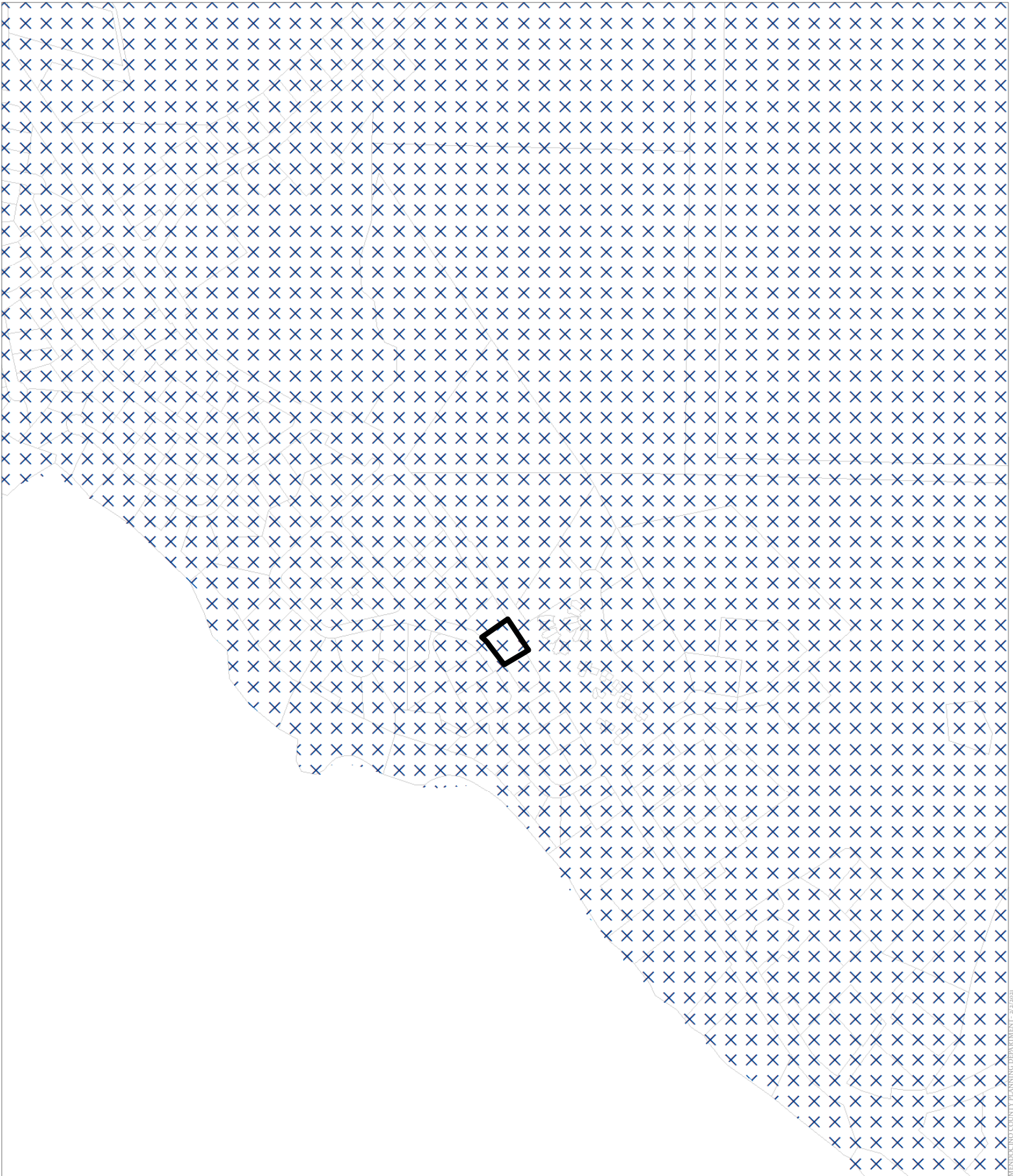
**FIRE HAZARD ZONES & RESPONSIBILITY AREAS**  
 STATE RESPONSIBILITY AREA



CASE: CDP 2021-0008  
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 Water

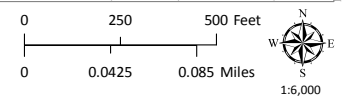




MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2021

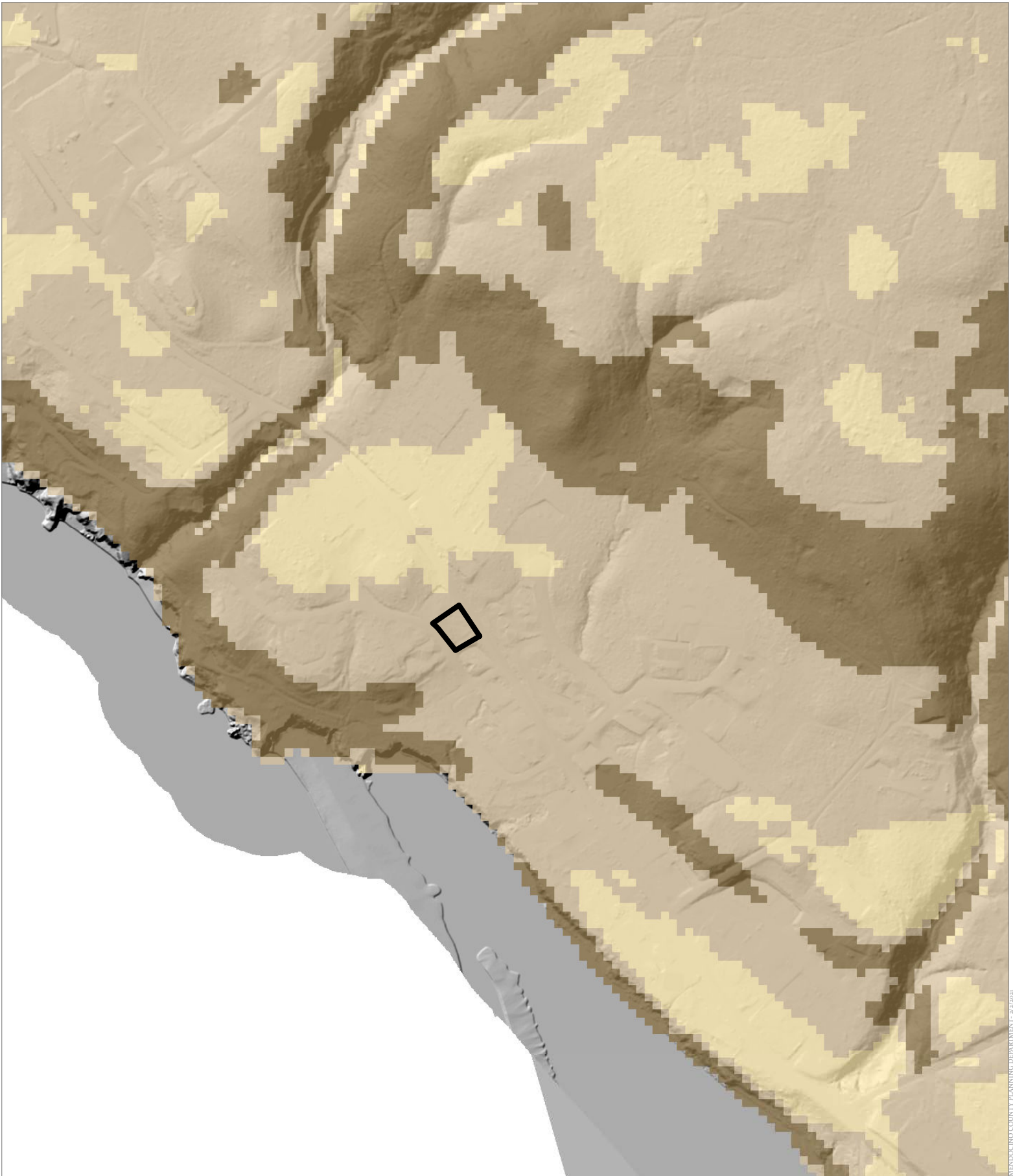
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 Critical Water Areas



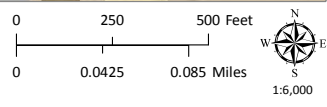
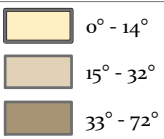
GROUND WATER RESOURCES



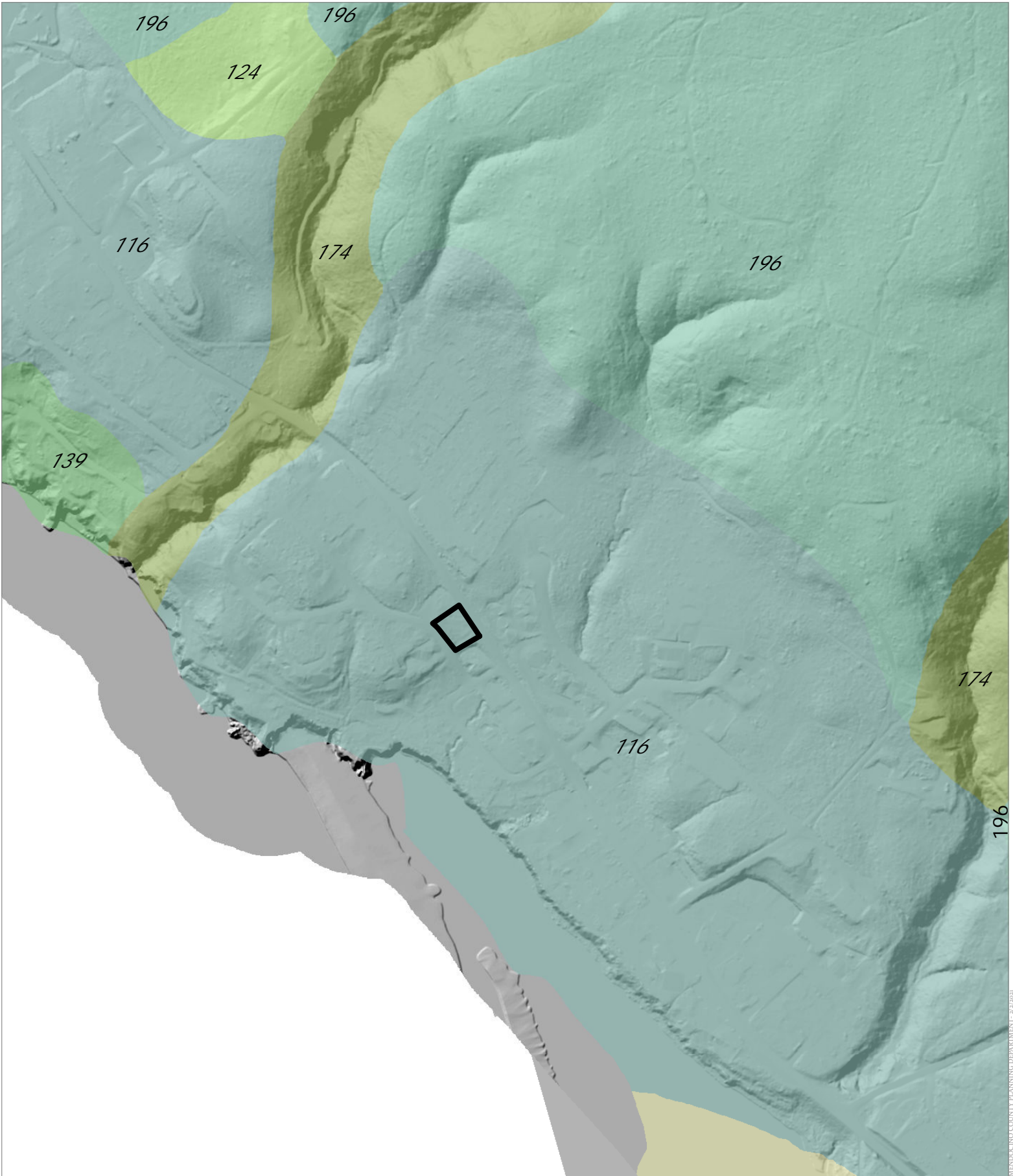


MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2021

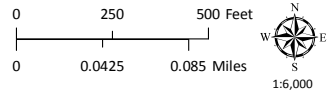
CASE: **CDP 2021-0008**  
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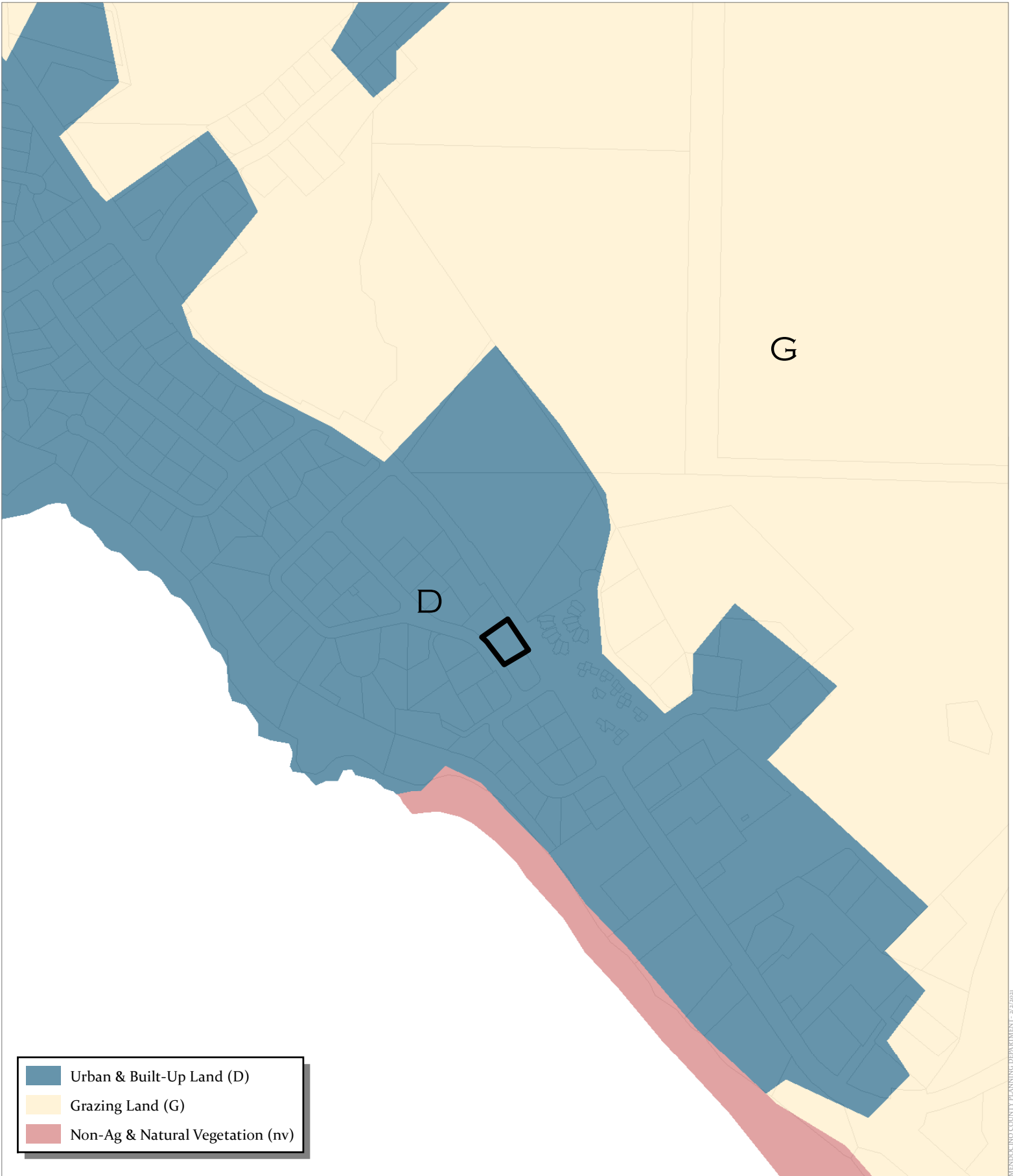
**ESTIMATED SLOPE**






CASE: CDP 2021-0008  
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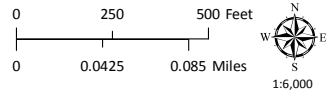


WESTERN SOIL CLASSES



	Urban & Built-Up Land (D)
	Grazing Land (G)
	Non-Ag & Natural Vegetation (nv)

CASE: **CDP 2021-0008**  
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MENDOCINO COUNTY PLANNING DEPARTMENT - 2/2/2021