



**COUNTY OF MENDOCINO**  
**DEPARTMENT OF PLANNING AND BUILDING SERVICES**

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482  
120 WEST FIR STREET • FT. BRAGG • CALIFORNIA • 95437

BRENT SCHULTZ, DIRECTOR  
TELEPHONE: 707-234-6650  
FAX: 707-463-5709  
FB PHONE: 707-964-5379  
FB FAX: 707-961-2427  
pbs@mendocinocounty.org  
www.mendocinocounty.org/pbs

July 7, 2020

**PUBLIC NOTICE OF PENDING ACTION**  
**MENDOCINO HISTORICAL REVIEW BOARD PERMIT**

NOTICE IS HEREBY GIVEN THAT the Mendocino Historical Review Board at its special meeting on Monday, July 20, 2020 at 2:00 p.m. will conduct a public hearing on the following project(s) at the time listed or as soon thereafter as the item may be heard. This meeting will be conducted virtually and not available for in person public participation (pursuant to State Executive Order N-29-20). In order to minimize the risk of exposure during this time of emergency, the public may participate digitally or via telecomment in meetings by sending comments to [pbscommissions@mendocinocounty.org](mailto:pbscommissions@mendocinocounty.org) and is available for viewing on the Mendocino County YouTube page, at <https://www.youtube.com/MendocinoCountyVideo>

**CASE#:** MHRB\_2020-0006

**DATE FILED:** 3/4/2020

**OWNER/APPLICANT:** ANDREA SHEPARD

**AGENT:** SCHLOSSER NEWBERGER ARCHITECTS

**REQUEST:** Mendocino Historical Review Board permit request to reframe front door and install custom wood four-panel door, infill existing transom, and install wood trim and paint to match existing; on the first floor, south elevation remove a window and install a custom wood window frame to match existing but aligned with adjacent windows, patch and paint siding to match existing; construct and install fencing and gutters; and repair the pump house roof and repaint its exterior a brown color. (Note: The site is listed as a Category I historic resource in Appendix 1 of the Mendocino Town Plan.)

**ENVIRONMENTAL DETERMINATION:** Categorically Exempt

**LOCATION:** 44901 Pine St, Mendocino (APN 119-150-21)

**SUPERVISORIAL DISTRICT:** 5

**STAFF PLANNER:** JULIANA CHERRY

The staff report and notice will be available 10 days before hearing on the Department of Planning and Building Services website at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>

Your comments regarding the above project are invited. Written comments should be submitted by mail to the Department of Planning and Building Services Commission Staff, at 860 North Bush Street, Ukiah, or 120 West Fir Street, Fort Bragg, California. In order to minimize the risk of exposure during this time of emergency, the public may participate digitally in meetings by sending comments to [pbscommissions@mendocinocounty.org](mailto:pbscommissions@mendocinocounty.org) by July 19, 2020 or orally via telecomment in lieu of personal attendance. All public comment will be made immediately available to the Board, staff, and the general public as they are received and processed by staff, and can be viewed as attachments to this meeting agenda at <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>

To submit public comments via telecomment: A request form must be received by 10:00 a.m. the morning of the meeting. The telecomment form may be found at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas>

The decision of the Mendocino Historical Review Board shall be final unless a written appeal is submitted to the Board of Supervisors with a filing fee within 10 calendar days thereafter. If appealed, the decision of the Board of Supervisors to approve the project shall be final.

If you challenge the above case in court, you may be limited to raising only those issues described in this notice or that you or someone else raised at the public hearing, or in written correspondence delivered to the Mendocino Historical Review Board Secretary at or prior to, the public hearing.

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE. Mendocino County complies with ADA requirements and upon request, will attempt to reasonably accommodate individuals with disabilities by making meeting material available in appropriate alternate formats (pursuant to Government Code Section 54953.2). Anyone requiring reasonable accommodation to participate in the meeting should contact the Department of Planning and Building Services by calling (707) 234-6650 at least five days prior to the meeting.

Additional information regarding the above noted case may be obtained by calling the Planning and Building Services Department at 964-5379, Monday through Friday.

BRENT SCHULTZ, Director of Planning and Building Services



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[www.mendocinocounty.org/pbs](http://www.mendocinocounty.org/pbs)

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**MEMORANDUM**

DATE: JULY 20, 2020

TO: MENDOCINO HISTORICAL REVIEW BOARD MEMBERS

FROM: JULIANA CHERRY, PLANNER III

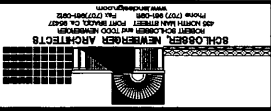
**SUBJECT: MHRB 2020-0006 EXTERIOR COLORS**

On July 7, 2020, staff received a request to revise the proposed exterior colors. The applicant requests to paint the entire residence, body color, Benjamin Moore "Sandy Hook Gray" (e.g. HC-108). The proposed trim color is Benjamin Moore "Clinton Brown" (e.g. HC-67). Both colors are part of the Benjamin Moore Historic Collection. See notes on revised Sheet A3.1 (See Attachment A). Attached are color samples from the Benjamin Moore website (Attachment B).

With the proposed color changes, minor changes to conditions are recommended (See Attachment C).

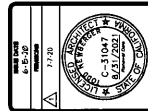
**ATTACHMENTS:**

- A. Sheet A3.1 Exterior Elevations
- B. Exterior base and trim color samples
- C. Revised recommended conditions

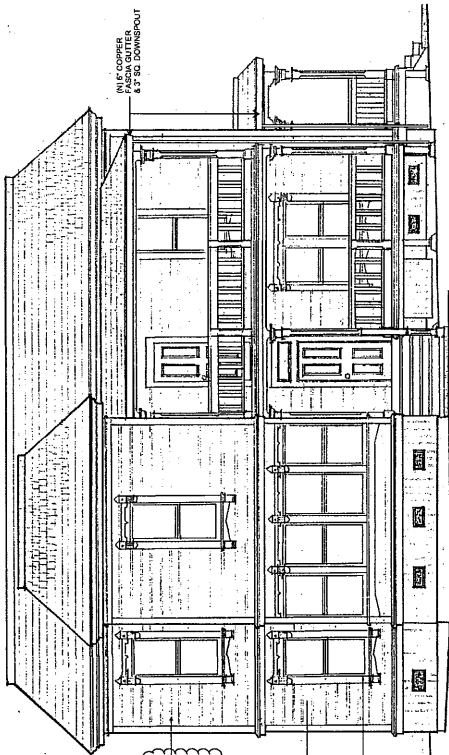


EXTERIOR ELEVATIONS

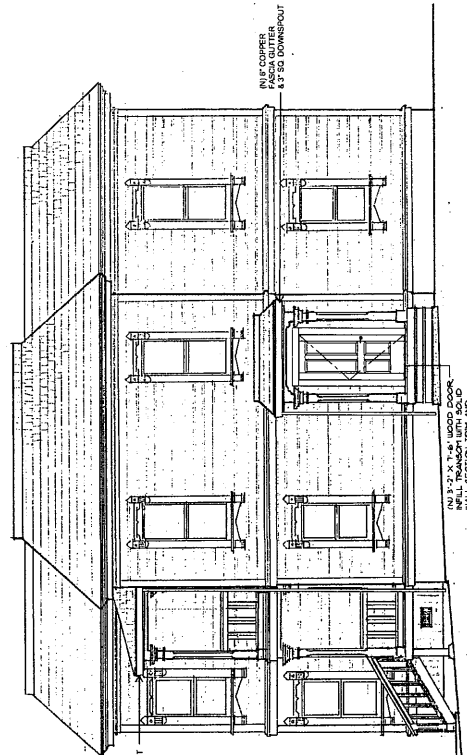
REMODEL SINGLE FAMILY RESIDENCE FOR ANDREA SHEPARD  
44901 PINE STREET  
MENDOCINO, CA 95460



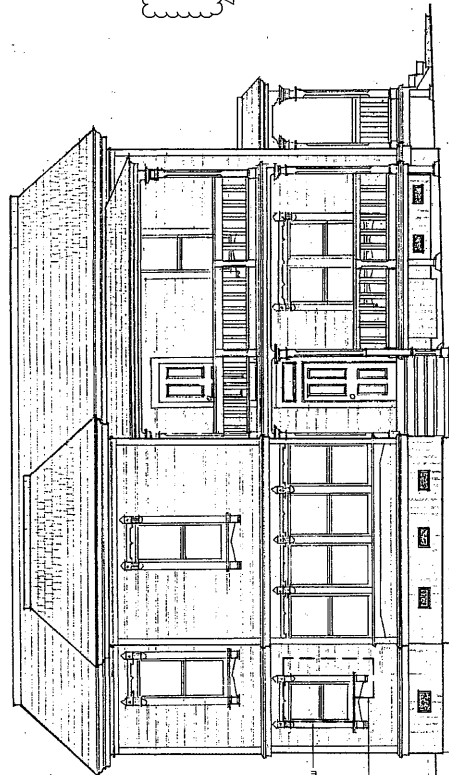
DATE: 11/14/20  
SCALE: AS NOTED  
SHEET: A3.1  
OF: 3



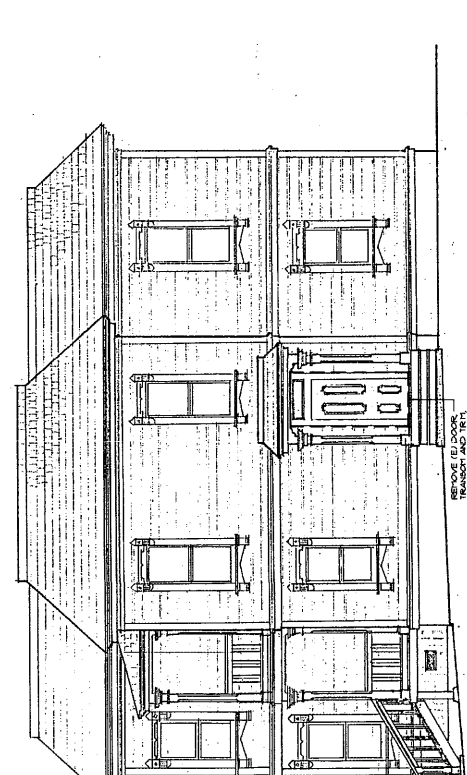
SOUTH - PROPOSED



EAST - PROPOSED



SOUTH - EXISTING



EAST - EXISTING

EXTERIOR ELEVATIONS

IN PAINT ENTIRE RESIDENCE TO BE REFINISHED WITH SANDY BROWN GRAY. MORE RICH SOLUTION BROWN.

WALL WALL SECTION, SIDING AND PAINT.

W/ WINDOW TO ALIGN WITH ADJACENT WINDOW. W/ PAINTED WOOD TRIM.

W/ 2" X 4" W/ WOOD TRIM. W/ WALL TRIM WITH 1/2" O.D. SECTION, TRIM AND PAINT.

RENOVATE (SLO. TRIM), REPAIR/REPLACE DOOR, CRISING, TRIM, W/ UP (SLO. TRIM).

**ATTACHMENT B. EXTERIOR BASE AND TRIM COLOR SAMPLES**



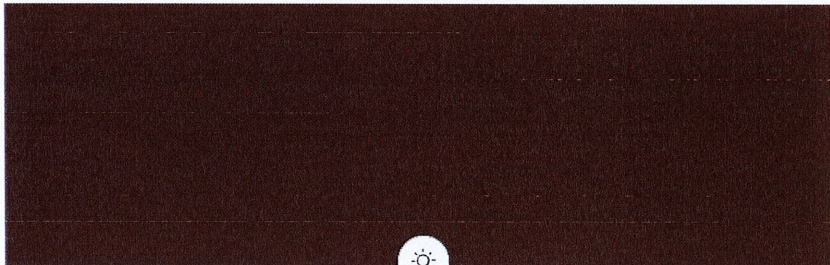
TH

SHADES

**Sandy Hook Gray**

LRV: 38.79 

This color is part of the Historic Color collection. A collection of 191 time-honored hues comprises our most popular palette. Steeped in tradition, the refined, elegant colors of the Historical Collection deliver timeless color that can be used in traditional as well as contemporary spaces. Unveiled in 1976 to celebrate the US bicentennial, a collection of 191 colors inspired by America's historic landmarks.



TH

SHADES

**Clinton Brown**

LRV: 8.22 

A childhood favorite treat matures into adult style chic in this perfectly balanced chocolate candy bar brown. Delicious with no added fat or calories.

**ATTACHMENT C. REVISED RECOMMENDED CONDITIONS**

1. This action shall become final and effective on the 11<sup>th</sup> day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit have been completed prior to its expiration.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
  - a. That such permit was obtained or extended by fraud.
  - b. That one or more of the conditions upon which such permit was granted have been violated.
  - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2020-0006 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2020-0006 have been satisfied.
6. Any Building Permit request shall include MHRB Permit 2020-0006 (attached to or printed on the plans submitted).
7. Outdoor lighting shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend beyond the property boundaries.
8. ~~Exterior base and trim colors shall match the existing, exterior green base color and white trim color.~~ Exterior base color shall be Sandy Hook Grey, a Benjamin Moore Historical Collection color HC-108 or similar. Exterior trim color shall be Clinton Brown, a Benjamin Moore Historical Collection color HC-67 or similar.
9. All new or replaced exterior doors and window frames shall be made from wood. New or replacement exterior building materials shall not include use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick, plastic laminated beams, concrete block or boards, stucco or asbestos shingles or panels, or plywood panels.



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**MENDOCINO HISTORICAL REVIEW BOARD  
STAFF REPORT**

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**JULY 20, 2020  
MHRB\_2020-0006**

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**OWNER/APPLICANT:** ANDREA SHEPARD  
838 DIAMOND ST  
SAN FRANCISCO, CA 94114

**AGENT:** SCHLOSSER NEWBERGER ARCHITECTS  
435 N MAIN ST  
FORT BRAGG, CA 95437

**PROJECT DESCRIPTION:** Mendocino Historical Review Board permit request to reframe front door and install custom wood four-panel door, infill existing transom, and install wood trim and paint to match existing; and on the first floor, south elevation remove a window and install a custom wood-window frame to match existing but aligned with adjacent windows, patch and paint siding to match existing. (Note: The site is listed as a Category I historic resource in Appendix 1 of the Mendocino Town Plan.)

**STREET ADDRESS:** 44901 Pine St, Mendocino (APN: 119-150-21)

**PARCEL SIZE:** 0.52 Acres

**ENVIRONMENTAL DETERMINATION:** Categorically Exempt

**HISTORIC STRUCTURES:** On Site: Category I Flanagan-Escuela House 1889  
North: Category IIa Historic Site  
South: Category IVb Not Historic  
East: Category I Packard-Johnson House  
West: Category IVb Not Historic

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**PAST MHRB PERMITS:** MHRB 84-33 Remodel garage; 99-23 Brick paths, paint, vent; 01-36 arbor, tank screen, paint, temporary tent; and 2013-17 exterior paint.

**HISTORIC ORDINANCE STANDARDS:** The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing applications (See MCC Section 20.760.050).

**APPLICABLE SECTIONS OF MHRB GUIDELINES:** Design Guidelines page 8, #4 Windows and Doors.

Building Size, Height, Proportions and Form	Roof Shape
Relationship of Building Masses and Open Spaces	Color(s)
Relationship to Surrounding Structures	Sign Size
✓ Materials and Textures	Number of Signs
Architectural Details and Style	✓ Placement/Location
Facade Treatment	Lighting
✓ Proportions of Windows and Doors	Paving/Grading
Landscaping	

**APPLICANT'S STATEMENT:** 1. Remove existing wood entry door, transom and trim. Reframe door opening from 2'-9" wide to 3'-0" wide x 7'-6" high. Install new custom wood four panel door. Infill transom with solid wall section. Install wood trim and paint to match existing. 2. Remove existing wood window at first floor South elevation and existing wall section. Install new custom wood window to match existing,

aligning with existing adjacent windows and window above. Infill wall section, patch back wood siding to match existing and paint to match existing.

**REQUIRED FINDINGS:** The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (A) Pursuant with MCC Sec. 20.760.065(A), the wood-panel door and wood-framed window would have a negligible effect on existing historic resources and the District's architecture.
- (B) Pursuant with MCC Sec. 20.760.065(B), the proposed wood-panel door and wood-framed window will not detract from the appearance of other property within the District.

**STANDARD CONDITIONS:**

1. This action shall become final and effective on the 11<sup>th</sup> day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit have been completed prior to its expiration.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
  - a. That such permit was obtained or extended by fraud.
  - b. That one or more of the conditions upon which such permit was granted have been violated.
  - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2020-0006 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2020-0006 have been satisfied.
6. Any Building Permit request shall include MHRB Permit 2020-0006 (attached to or printed on the plans submitted).
7. All new or replaced exterior doors and window frames shall be made from wood. New or replacement exterior building materials shall not include use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick, plastic laminated beams, concrete block or boards, stucco or asbestos shingles or panels, or plywood panels.
8. Exterior base and trim colors shall match existing, exterior building colors.



9. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction, including Coastal Development Permits or Permit amendments.
10. Outdoor lighting shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend beyond the property boundaries.

**ATTACHMENTS:**

- A. Application MHRB\_2020-0006
- B. Sverko historical information for APN: 119-150-21

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The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$1,616.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

**COUNTY OF MENDOCINO  
DEPT. OF PLANNING & BUILDING  
SERVICES**

**120 WEST FIR STREET  
FORT BRAGG, CA 95437  
Telephone: 707-964-5379  
Fax: 707-961-2427**

Case No(s) MHRB-2020-0006  
Date Filed 3/4/2020  
Fee \$ \$ 718.78  
Receipt No. PRJ-033853  
Received by Tia Sar

Office Use Only

**MHRB APPLICATION FORM**

Name of Applicant Andrea Shepard	Name of Property Owner(s) Andrea Shepard	Name of Agent Schlosser Newberger Architects
Mailing Address 838 Diamond St. San Francisco, CA 94114	Mailing Address 838 Diamond St. San Francisco, CA 94114	Mailing Address 435 N Main St. Fort Bragg, CA 95437
Telephone Number 415-269-1996	Telephone Number 415-269-1996	Telephone Number 707-961-0911
Assessor's Parcel Number(s) 119-15-021		
Parcel Size 0.52 <input type="checkbox"/> Square Feet <input checked="" type="checkbox"/> Acres	Street Address of Project 44901 Pine St. Mendocino, CA 95460	

**TYPE OF DEVELOPMENT**  
(Check appropriate boxes)

- Demolition. Please indicate the type and extent of demolition. (see next page)
- Construction of a structure.
- Addition to a structure.
- Alteration of exterior of structure.
- Construction, installation, relocation or alteration of outdoor advertising sign.
- Outdoor lighting.
- Walkways, driveways, parking areas, and grading.
- Exterior painting of a structure.
- Other.

## PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

### 1. Describe your project in detail.

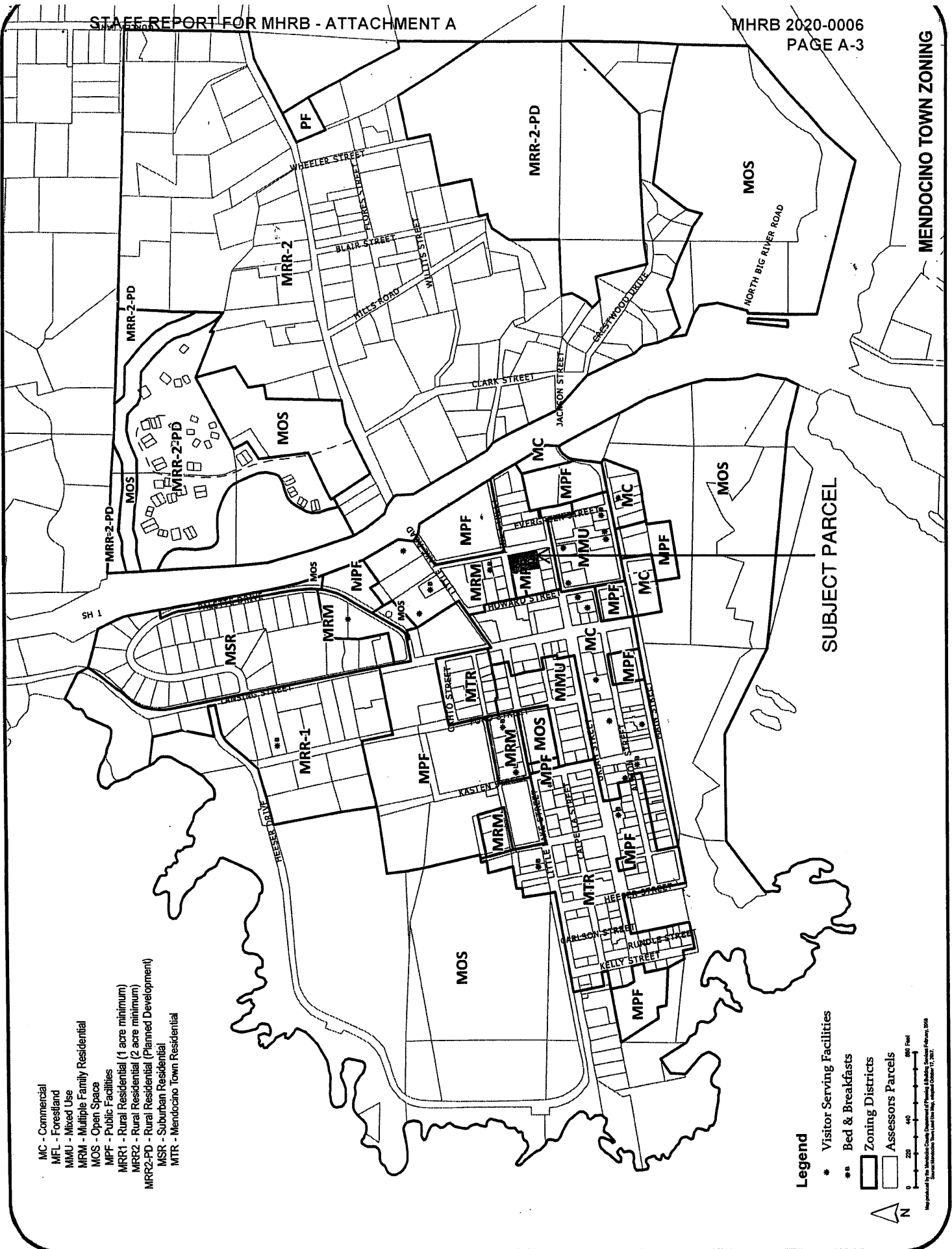
- **For demolition**, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- **For new signs**, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- **For new copy on existing signs**, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- **For exterior painting**, describe existing and proposed colors. Provide paint chips for proposed colors.
- **For exterior lighting**, include description/detail of fixtures and indicate locations on the site plan.
- **For new construction**, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- **For walkways, driveways, paving and grading**, provide dimensions, location and materials.

1. Remove existing wood entry door, transom and trim. Reframe door opening from 2'-9" wide to 3'-0" wide x 7'-6" high. Install new custom wood four panel door. Infill transom with solid wall section. Install wood trim and paint to match existing.
2. Remove existing wood window at first floor South elevation and existing wall section. Install new custom wood window to match existing, aligning with existing adjacent windows and window above. Infill wall section, patch back wood siding to match existing and paint to match existing.

### 2. If the project includes new construction, please provide the following information:

- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? \_\_\_\_\_ sq. ft.
- What is the total floor area (internal) of all structures on the property? \_\_\_\_\_ sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? \_\_\_\_\_ sq. ft.

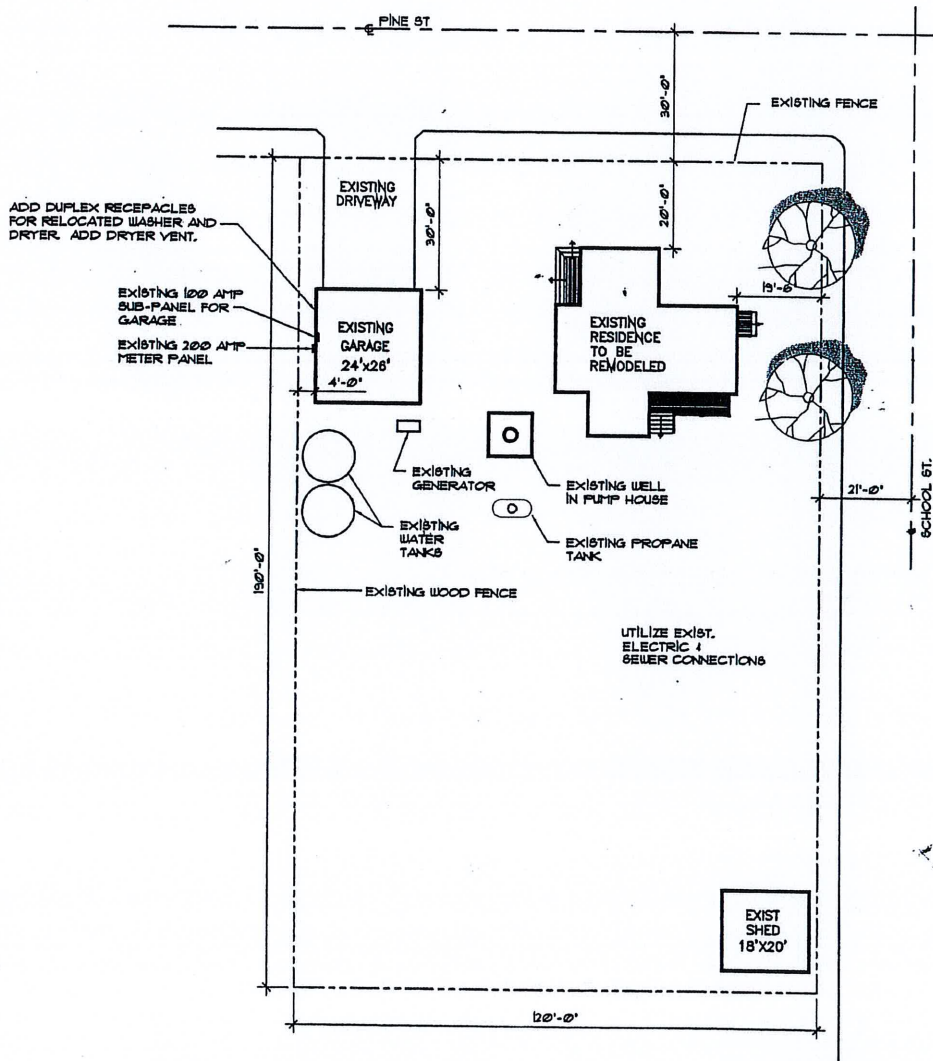
*If you need more room to answer any question, please attach additional sheets*



- MC - Commercial
- MFL - Forestland
- MMU - Mixed Use
- MRRM - Multiple Family Residential
- MOS - Open Space
- MPF - Public Facilities
- MRR1 - Rural Residential (1 acre minimum)
- MRR2 - Rural Residential (2 acre minimum)
- MRR2-PD - Rural Residential (Planned Development)
- MSR - Suburban Residential
- MTR - Mendocino Town Residential

- Legend**
- \* Visitor Serving Facilities
  - \*\* Bed & Breakfasts
  - [Symbol] Zoning Districts
  - [Symbol] Assessor's Parcels

**SUPERSEDED 6-22-2020**



# SITE PLAN

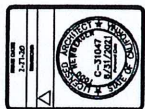
1" = 40'-0"

PROJECT: ANDREA SHEPARD  
SINGLE FAMILY RESIDENCE REMODEL  
ADDRESS: 44301 PINE STREET  
MENDOCINO, California, 95460  
ASSESSOR'S PARCEL NO: 119-15-021



TITLE SHEET

44901 PINE STREET  
MENDOCINO, CA 95460  
SHEPARD  
RAYOVEL SINGLE FAMILY RESIDENCE FOR



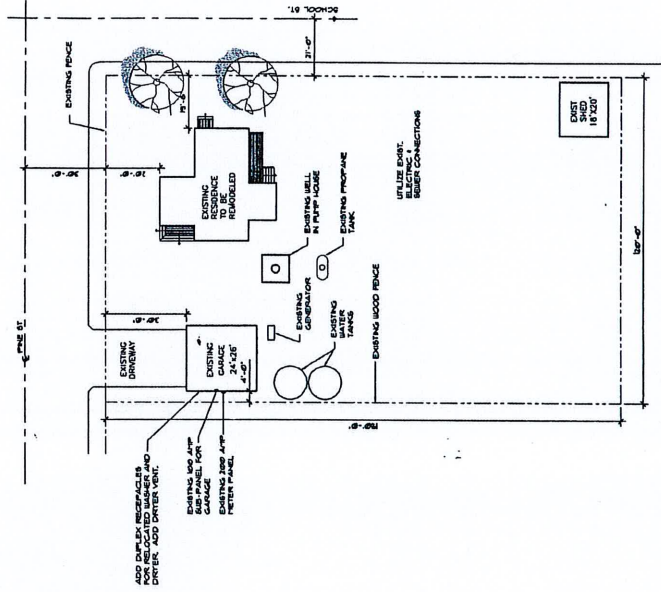
PROJECT NO: A1.1  
SCALE: AS NOTED  
DATE: 10/2019

**SUPERSEDED 6-22-2020**

A SINGLE FAMILY RESIDENTIAL REMODEL FOR:  
**ANDREA SHEPARD**  
44901 PINE STREET  
MENDOCINO, California 95460

**SYMBOLS**  
VICINITY MAP  
DRAWING INDEX

**ABBREVIATIONS**



**SITE PLAN**

**CODE ANALYSIS**

PROJECT: SINGLE FAMILY RESIDENTIAL REMODEL  
ADDRESS: 44901 PINE STREET  
APPLICABLE ORDINANCES: LOCAL ORDINANCES AND THE CALIFORNIA BUILDING CODE (CBC) AND CALIFORNIA ENERGY EFFICIENT BATTERY ACT (CEEBA)  
CONSTRUCTION TYPE: TYPE I-V  
PARCEL SIZE: 653 SQUARE FEET

AREA ANALYSIS

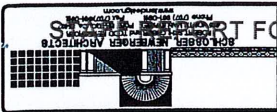
PERFORMANCE AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA
PERFORMANCE AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA
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LOT COVERAGE ANALYSIS

PERFORMANCE AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA
PERFORMANCE AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA
PERFORMANCE AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA	PERFORMANCE LINES AREA

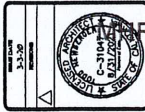
CALCULATED AREAS SHOWN ARE FOR THE BUILDING DEPARTMENT USE ONLY. THE FIGURES ARE NOT TO BE CONSIDERED AS A BUILDING AREA OR PERMITS CONSTRUCTION.

**SUPERSEDED 6-22-2020**

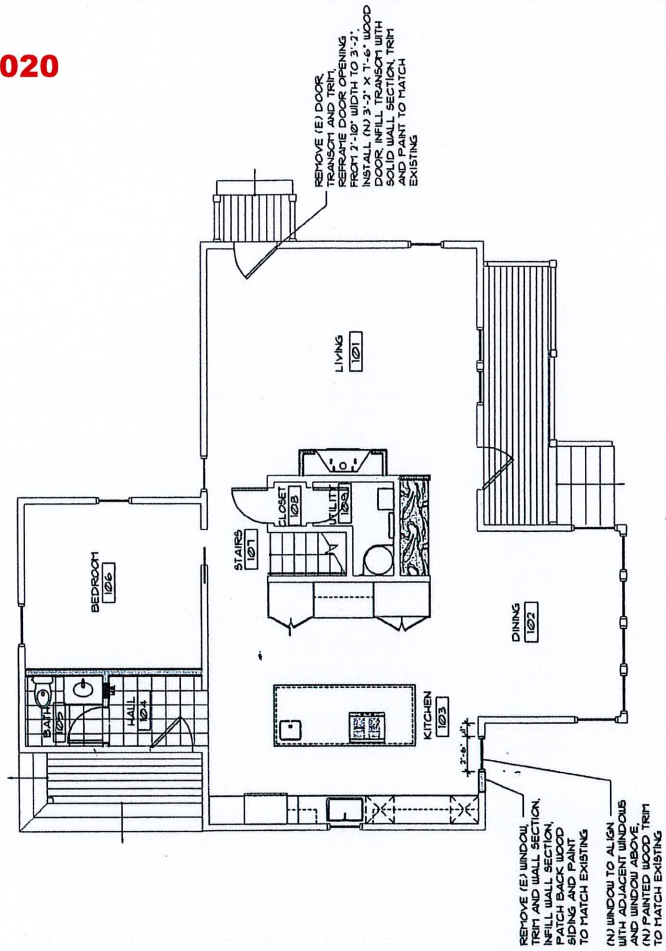


CONTRACT FOR MHRB - ATTACHMENT A  
**FLOOR PLAN**  
**REMODEL**

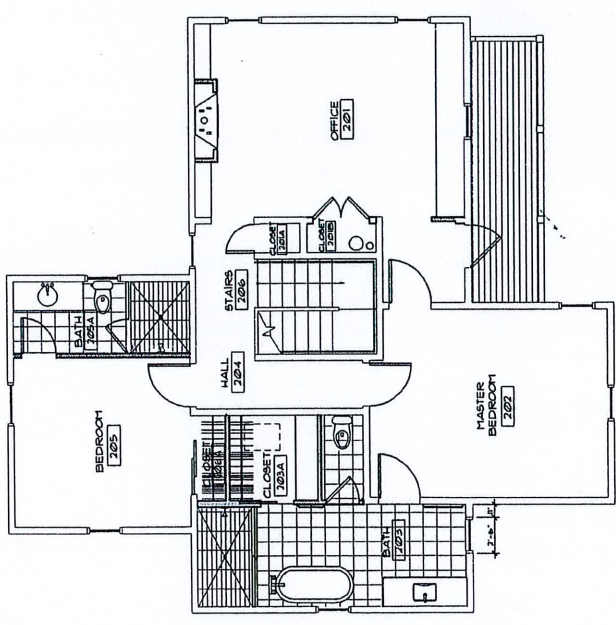
**STUFF**  
 REMODEL SINGLE FAMILY RESIDENCE FOR:  
**APR 11 2020**  
 44901 PINE STREET  
 MENOCINGO, CA 95460



PROJECT NO. 2020-020  
**A211**



1ST FLOOR PLAN



2ND FLOOR PLAN

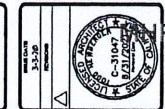
**FLOOR PLANS - REMODEL**





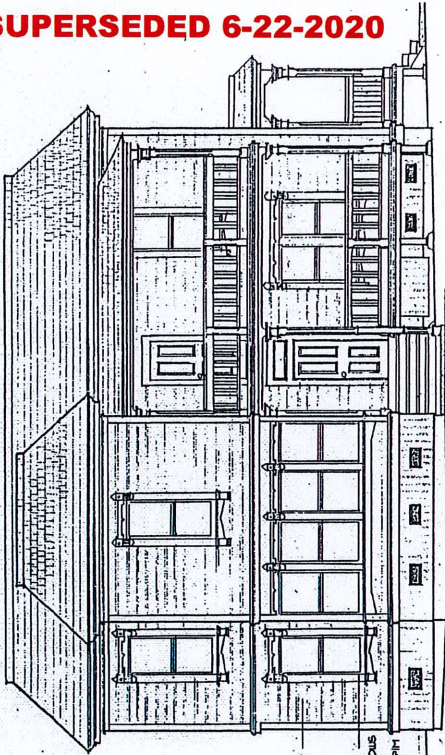
EXTERIOR ELEVATIONS  
 REPORT FOR MHRB - ATTACHMENT A

ANDREA SHEPARD  
 REMODEL SINGLE FAMILY RESIDENCE FOR  
 44901 PINE STREET  
 MENDOCINO, CA 95460



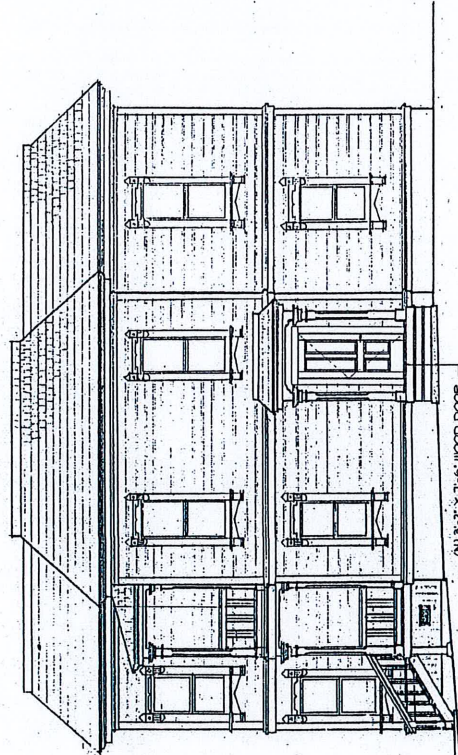
APR 2020  
 9000-0201  
 A31

**SUPERSEDED 6-22-2020**



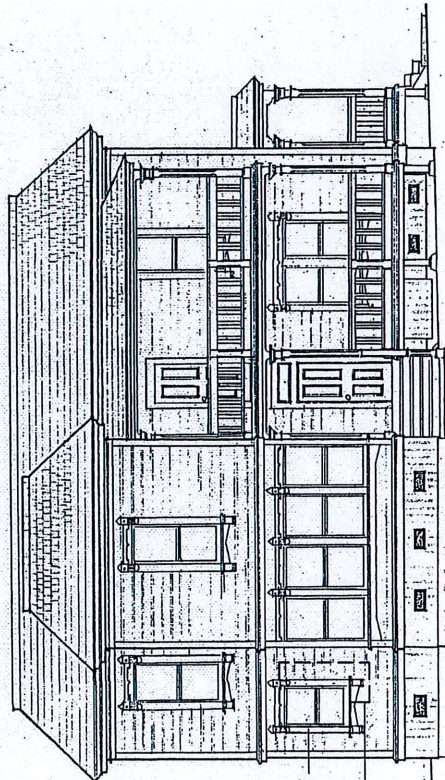
NEILL WALL SECTION  
 PATCH BACK WOOD  
 TO MATCH EXISTING  
 (N) WOOD TO ALIGNS  
 AND WINDOW ABOVE  
 (N) PAINTED WOOD TRIM  
 TO MATCH EXISTING

SOUTH - PROPOSED



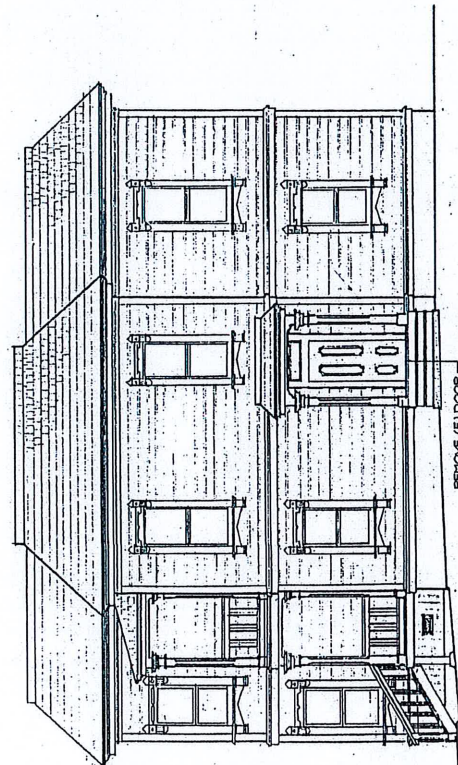
(N) 3'-7" X 1'-6" WOOD DOOR  
 NEILL TRANSPORT WITH SOLID  
 CORE AND FINISH  
 PAINT TO MATCH EXISTING

EAST - PROPOSED



REMOVE (E) WINDOW  
 AND TRIM  
 REMOVE (E) WALL  
 SECTION

SOUTH - EXISTING



REMOVE (E) DOOR,  
 TRANSPORT AND TRIM  
 SECTION  
 FROM 2'-10" WIDTH TO 3'-7"

EAST - EXISTING

EXTERIOR ELEVATIONS

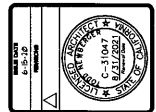




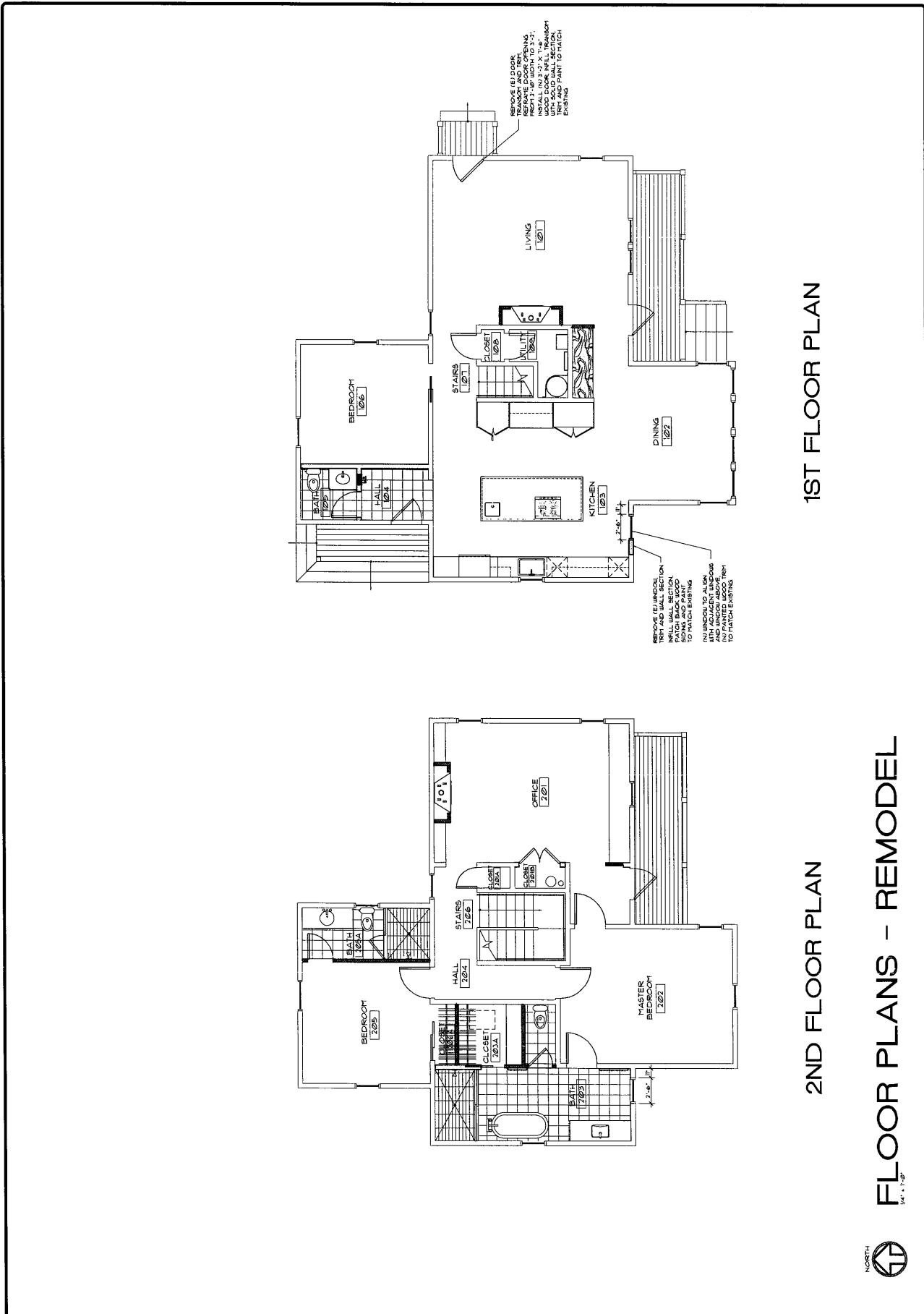


FLOOR PLAN  
REMODEL

REMODEL, SINGLE FAMILY RESIDENCE FOR  
STEPH A RD  
44901 PINE STREET  
MENDOCINO, CA 95460



ISSUED IN  
DESIGNED IN  
ALNOTED SHEET  
**A2.1**

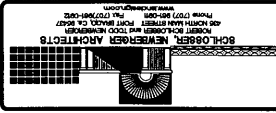


1ST FLOOR PLAN

2ND FLOOR PLAN

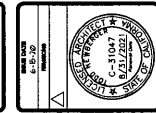
FLOOR PLANS - REMODEL



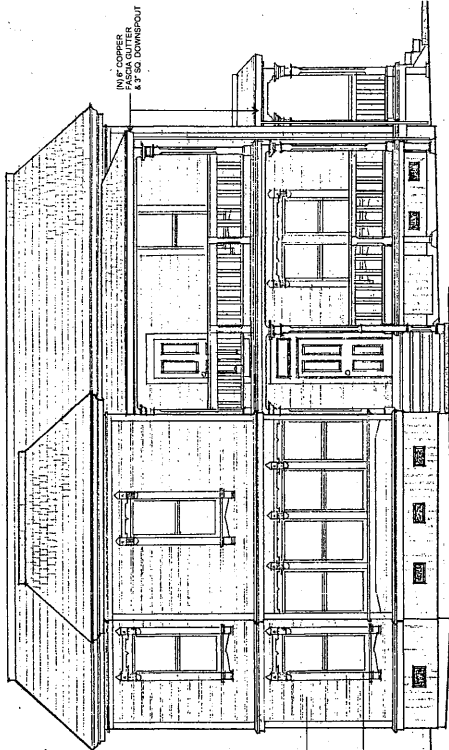


EXTERIOR ELEVATIONS

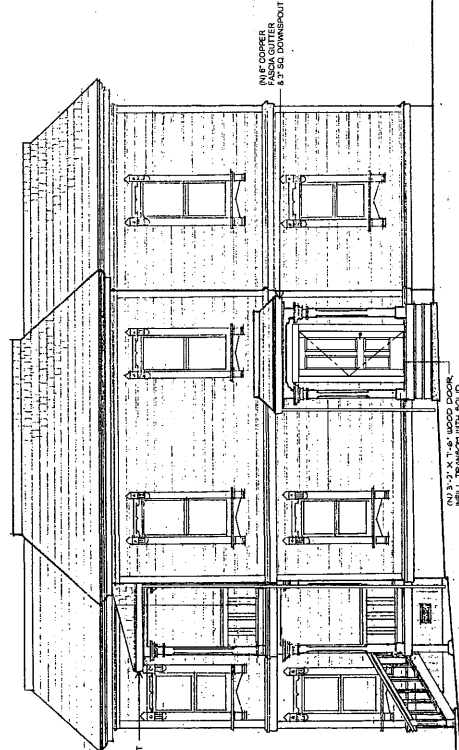
REMODEL SINGLE FAMILY RESIDENCE FOR ANDREA SHEPARD  
44901 PINE STREET  
MENDOCINO, CA 95460



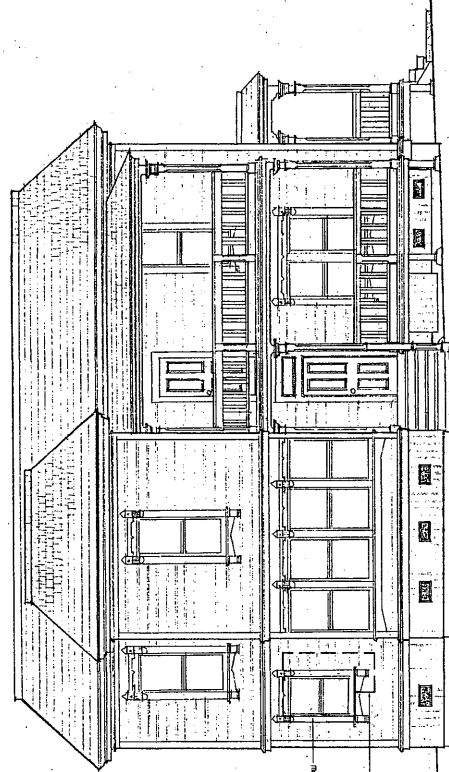
PAGE 11 OF 16  
A3.1  
DRAWN: [blank]  
CHECKED: [blank]  
SCALE: AS NOTED  
SHEET



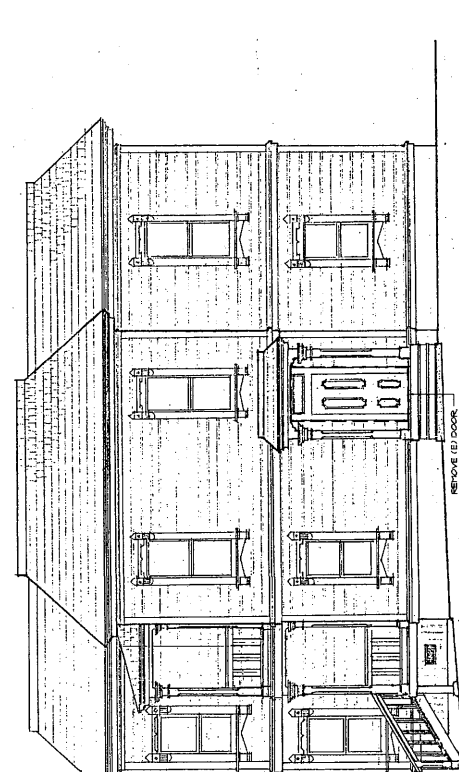
SOUTH - EXISTING



SOUTH - PROPOSED

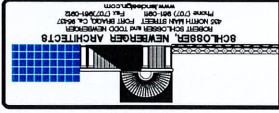


EAST - EXISTING



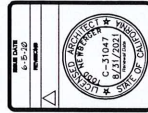
EAST - PROPOSED

EXTERIOR ELEVATIONS

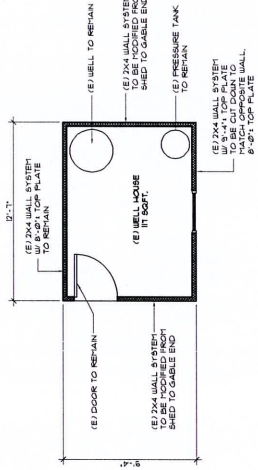


PUMP HOUSE  
REMODEL

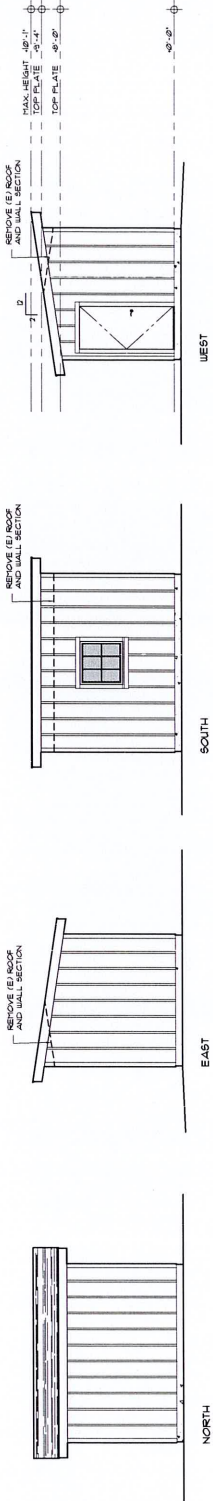
REMDEL SINGLE FAMILY RESIDENCE FOR  
**STEPHARD**  
MENDOCINO, CA 95460  
44901 PINE STREET



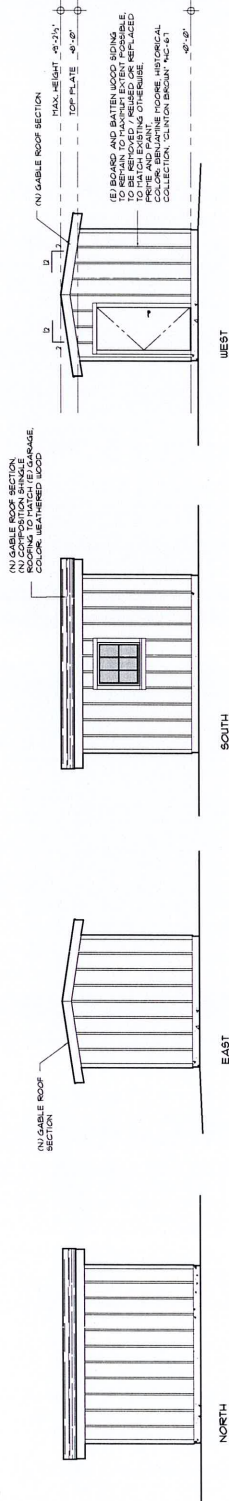
**A3.2**



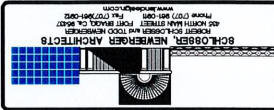
**FLOOR PLAN**  
1/4" = 1'-0"



**EXISTING EXTERIOR ELEVATIONS**  
1/4" = 1'-0"

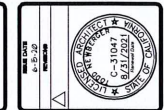


**PUMP HOUSE**  
**PROPOSED EXTERIOR ELEVATIONS**  
1/4" = 1'-0"



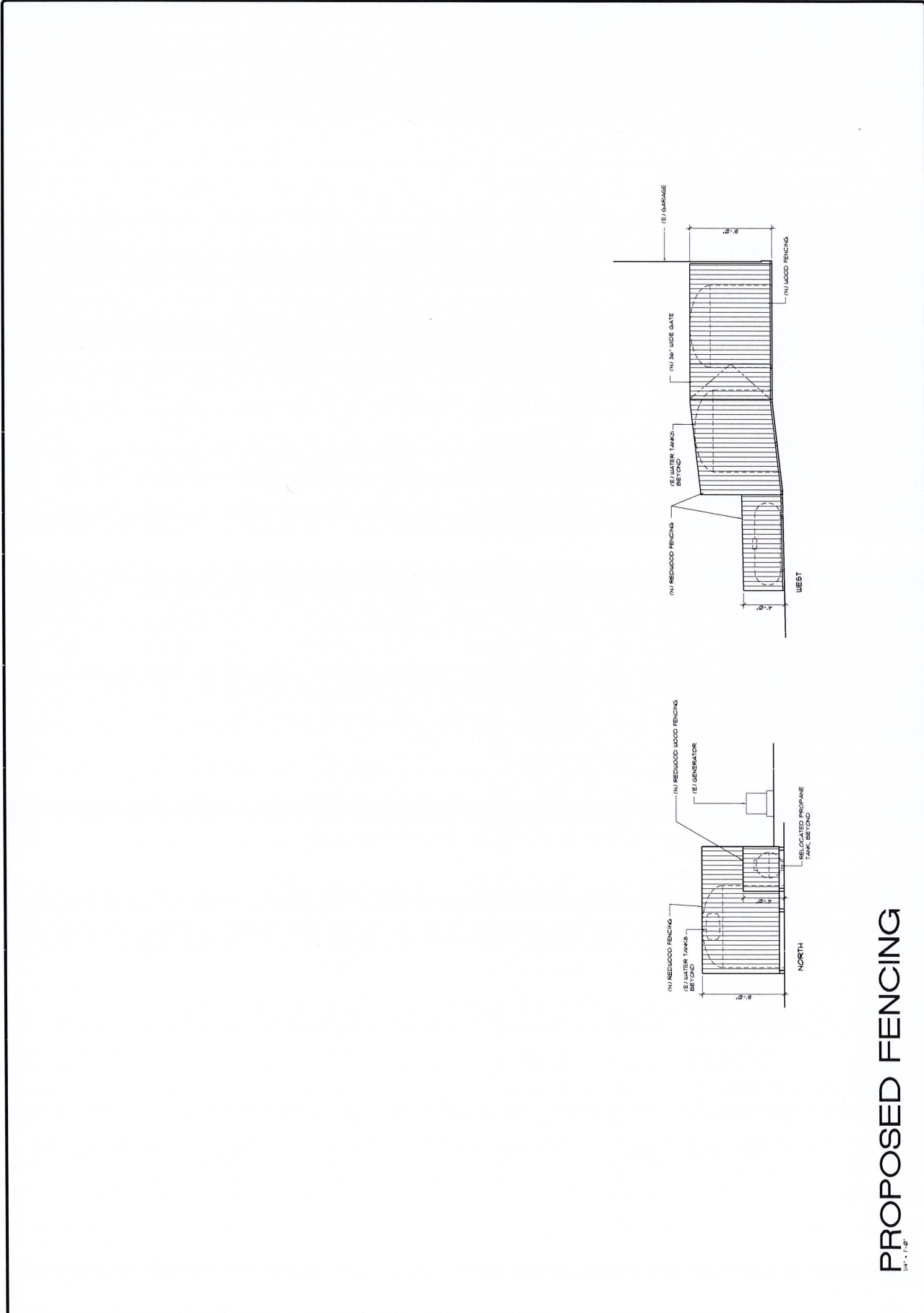
PROPOSED  
FENCING

REMDEL SINGLE FAMILY RESIDENCE FOR  
ANDREA  
SHEPARD  
44901 PINE STREET  
MENDOCINO, CA 95460



DATE	BY	CHECKED	BY
		APPROVED	DAVID A. JOHNSON
		DATE	8/21/2020

**A3.3**



**PROPOSED FENCING**  
1/4" = 1'-0"

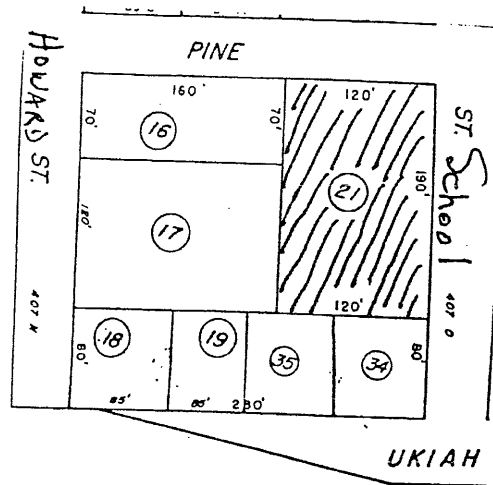
Per Eleanor F. Sverko Oct. 27, 1997

APN; 119-150-21  
MHR: E-44 Was Landmark No. 1  
May now be subject to change.  
44901 Pine St. (SW corner Pine & School)

**FLANAGAN-ESCOLA HOUSE**

*This home was surveyed by the writer, with limited information, for the State Office of Historic Preservation in 1987.*

This property was purchased by John Flanagan, from H. L. Lansing, County Deeds Bk 33, pg 286, before Pine St. And School Street had been established. Hence the following legal description:  
*Point of Beginning: Howard Street, nw corner of land of Ira C. Perry, running south and east of Howard street, 60 ft to sw corner of a new street to run east from Howard, and 40 ft wide, then south of new street and parallel with north of Perry lot, 280 ft to the sw corner of new street, running south from Ukiah St to Big River/ Little Lake Wagon road & new street, then south and west line of street from Ukiah Street/Big River Little Lake Wagon Road, 180 ft to ne corner of lot of land conveyd by parties to G. H. Bowman, then west and north of Bowman lot, 120 ft to southeast corner of Perry lot, then north along east line of Perry lot, 120 ft to ne corner, then west along north line of Perry lot to nw corner to POB on Howard Street. (Dated 5/26/1884), (\$750.00).*



5/29/1886: John Flanagan is about to have a residence erected on his property on the corner of Howard & Pine Streets.

7/19/1886, Bk 39, Pg 3, Julia W. Morrow and Helen F. Huff, to Kate A. Flanagan, \$1.00 describes a strip of land 10' x 280' on the south line of Pine St. to sw corner of School & Pine Streets.

**9/4/1886: Julia W. Morrow to Kate Flanagan, lot in Mendocino City. NOT YET RESEARCHED.**

**2/23/1889: John Flanagan has returned from the city where he had been to purchase furnishings for his new house which is almost completed.**

**3/23/1889: John Flanagan has completed his new home and is preparing to move in.**

**August, 1914, *this house was rented out to a Robert Gurley, (see obit, Beacon, 8/1/1914, on mother, Mrs. Lucy Alice Gurley).***

**4/24/1915: Mr. and Mrs. George Pease have moved into the Flanagan residence recently occupied by Robert Gurley and family.**

**4/27/1918: Tenant is A. J. Scott, moved into Flanagan house.**

**Oct. 6, 1922: Jennie F. Anderson to John Seth Escola, lot in Mendocino. NOT YET RESEARCHED. However, Beacon issue, 10/21/1922 notes John Escola has purchased from Mrs. Flossie Anderson of Albion, the former John Flanagan home on the south side of Pine Street, and will move in shortly. (Escola had been living in Paddleford/F. Fraga home on Calpella Street until this time).**

**This was the home of Mrs. Nannie Escola, Mendocino historian, for many years.**

**Following her passing, it was sold by her heirs to Robert and Amanda Avery.**

**The Avery's, in late 1984, early 1985, undertook to raise the ground floor of this single story house to two stories, building a new story under the original house, raised to accomodate this change.**

**Classified a Landmark No. I by MHR, Inc., in 1979, this substantial change now merits review and possible reclassification. Architectural details of changes appears in Real Estate Magazine, Vol I. Issue 7, Oct. 8 to Oct 22nd, featuring Leventhal & Schlosser, architects.**

**In 1993, the Avery's announced their intention to move to the state of Virginia.**

**The house is currently owned by the Scott Buckwald's who also own Agate Cove Inn**

<p>TO</p> <ul style="list-style-type: none"> <li>● Robt &amp; Amanda Avery</li> <li>● P. O. Box 288</li> <li>● Mendocino, Calif. 95460 937-0681</li> </ul>	<p>FROM</p> <p>MENDOCINO HISTORICAL REVIEW BOARD P. O. Box 744 Mendocino, California 95460 /</p> <p>APPL.# 85-01</p> <p>Date: 1 / 7 / 85</p>
<p>AP# 119-150-21 Street No. 44901 Pine St.</p>	
<p>REQUEST: ADD, 32" x 24" stained glass window, 1x4 head, jamb &amp; sill casings at n.w. corner, upstairs.</p>	
<p>BOARD ACTION: MOTION, O'Brien/Jones and unanimously carried to approve #85-01 as submitted; finding such window will not detract from the historic structure, nor any other structures in the district.</p>	
<p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p>	
<p>Approved by: <i>Eleanor F. Avery</i> chairman</p>	



STAFF REPORT FOR MHRB - ATTACHMENT B

MHRB 2020-0006

PAGE B-1

119-150-21  
44901 Pine St

The Flanagan-Escola house, 1889

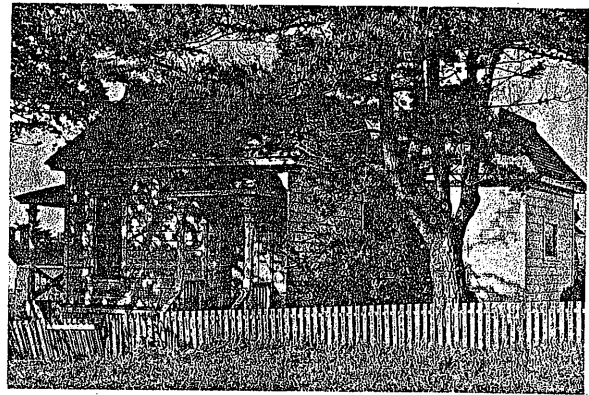
A news item in the Mendocino Beacon of March 23rd, 1889 stated, *John Flanagan has completed his new residence and is preparing to move into it. We had the pleasure of looking thru it the other day. It is a very handsome building both inside and out, and it is very convenient in its appointments.*

An industrious young boy, John started his career in the Mendocino lumber yard, then worked for druggist J. D. Murray, then, by 1874, became owner-operator of the Uncle Sam Saloon; for a number of years he was constable and deputy sheriff and in 1886 he was appointed County Supervisor, after which time he won by election two more terms.

There must have been happy times in the Flanagan house. Besides John and Kate's children there were dozens of cousins: each of John's four sisters lived in Mendocino with their families, Mrs. J. D. Murray, Mrs. George H. Bowman, Mrs. W. H. Norton and Mrs. Charles Hargrave.

After John and Kate Flanagan died, the house was rented. In 1919 the new tenants were John Escola and family; they were so comfortable in the house that in 1924 they decided to buy it.

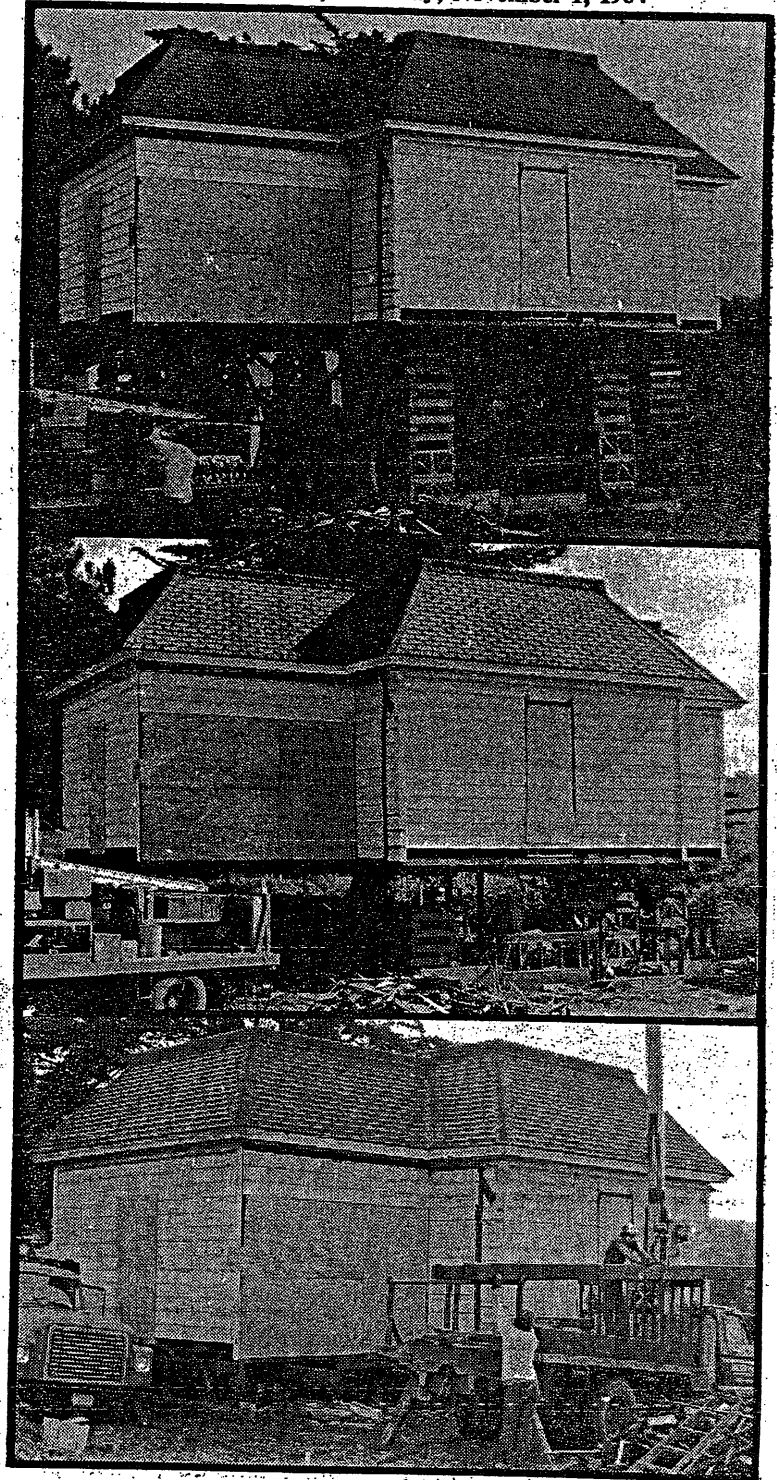
Mrs. Escola was born Nannie Flood, daughter of one of that early group of Maine men who came to Mendocino. She was born in Greenwood, grew up in the Mendocino area and was teaching school in Little River when she and John were married. When John died in 1948, their children being grown, she interested herself in local history. In the years since, she has collected so much lore of the Mendocino coast that she is considered to be one of the best sources of historical information in northern California. And she still lives in their house.



A small house with a flat main roof, a ridge around it and a steep slope of roof to the eaves, a Gambrel roof individual to this house in Mendocino.

How did the early day residents keep the roof from leaking in the torrential winter rains? Undoubtedly there was a plentiful amount of tar mopped on it and the steep sides were redwood shingles.

*Escuela House  
APN 119-150-21  
44901 Pine St*



photograph by Rob Fowler

## Going up

The Flanagan-Escuela-Avery House got a house raising Monday when alterations began on the project to raise the original house to the second story and build a new first floor and foundation underneath. The construction firm of Wacker and Sons from Penngrove took seven hours to raise the first floor of the 1200-square-foot, 28,000-pound house just above its planned 86-inch height. The crew used hydraulic jacks connected to a central pump. About 10 jacks were placed on blocks under beams supporting the bottom floor. When each was touching the level floor, a pump controlled all jacks simultaneously, raised the house 15 inches in about two minutes. Once raised, adjacent blocks were stacked up to the bottom floor.

HISTORIC RESOURCES INVENTORY

HABS	HAER	Ser. No.	NR	SHL	Loc
UTM: A		B			
C		D			

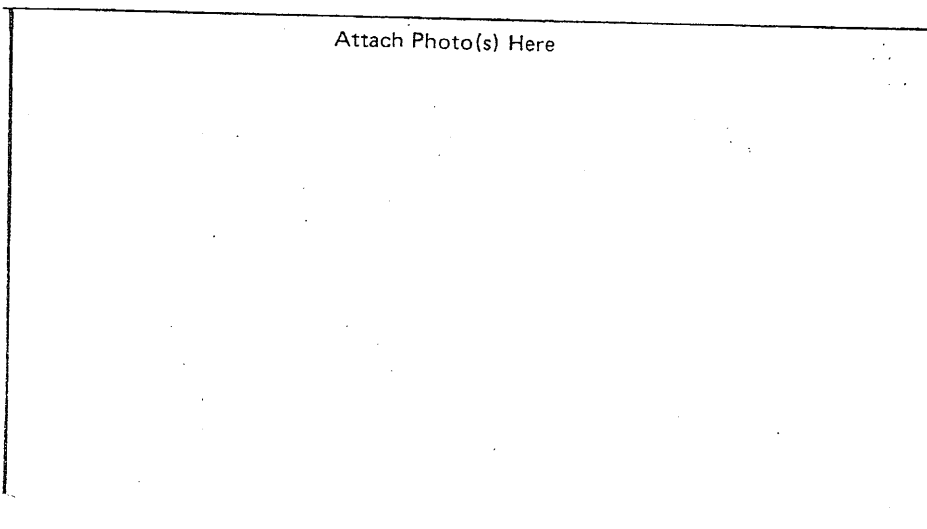
IDENTIFICATION

- Common name: Nannie Escola House
- Historic name: FLANAGAN-ESCOLA HOUSE
- Street or rural address: 44901 Pine St. (se corn Pine & School Sts)  
City Mendocino Zip 95460 County Mendocino
- Parcel number: 119-150-21 MHR # E-44
- Present Owner: Robt N. & Amanda Avery Address: P. O. Box 288  
City Mendocino Zip 95460 Ownership is: Public  Private
- Present Use: Dwelling Original use: Dwelling

DESCRIPTION

- Architectural style:
- Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

1985, new owners Avery, raised the lower floor of this original one story cottage, to a second floor, for enlarged living space. While the roof and second floor (former first floor) have older discernible architecture, Project Committee questions whether or not this should remain a Landmark #I structure, and feels it would be more fitting to re-classify to # III.



- Construction date:  
Estimated \_\_\_\_\_ Factual 1889
- Architect ?
- Builder John Flanagan
- Approx. property size (in feet)  
Frontage 120 Depth 190'  
or approx. acreage \_\_\_\_\_
- Date(s) of enclosed photograph(s)  
July, 1987

**STAFF REPORT FOR MHRB - ATTACHMENT B**

13. Condition: Excellent  Good \_\_\_\_\_ Fair \_\_\_\_\_ Deteriorated \_\_\_\_\_ No longer in existence \_\_\_\_\_
14. Alterations: First floor raised to second floor
15. Surroundings: (Check more than one if necessary) Open land \_\_\_\_\_ Scattered buildings \_\_\_\_\_ Densely built-up   
Residential  Industrial \_\_\_\_\_ Commercial  Other: \_\_\_\_\_
16. Threats to site: None known \_\_\_\_\_ Private development \_\_\_\_\_ Zoning \_\_\_\_\_ Vandalism \_\_\_\_\_  
Public Works project \_\_\_\_\_ Other: Substantial alterations has already occurred.
17. Is the structure: On its original site?  Moved? \_\_\_\_\_ Unknown? \_\_\_\_\_
18. Related features: \_\_\_\_\_

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

John Flanagan had a saloon on Lansing St., but was also a deputy sheriff (Beacon, 8/1/1885) and appointed Deputy U.S. Marshal for Northern District of California (Beacon 9/1/1888).

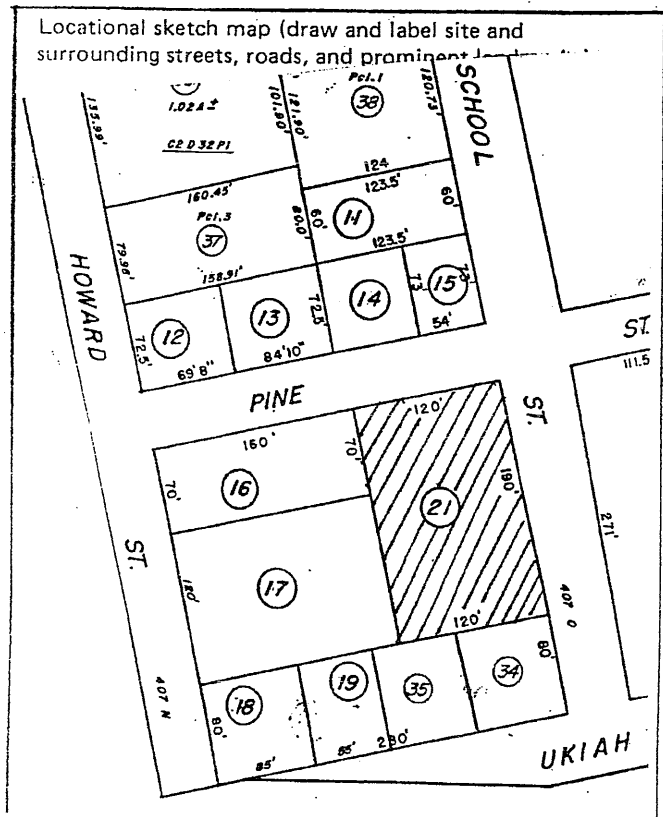
Beacon 12/8/1888 notes John Flanagan is having lumber hauled for his new house. Beacon 2/23/1889 notes Flanagan house is completed.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
 Architecture  Arts & Leisure \_\_\_\_\_  
 Economic/Industrial \_\_\_\_\_ Exploration/Settlement \_\_\_\_\_  
 Government \_\_\_\_\_ Military \_\_\_\_\_  
 Religion \_\_\_\_\_ Social/Education \_\_\_\_\_

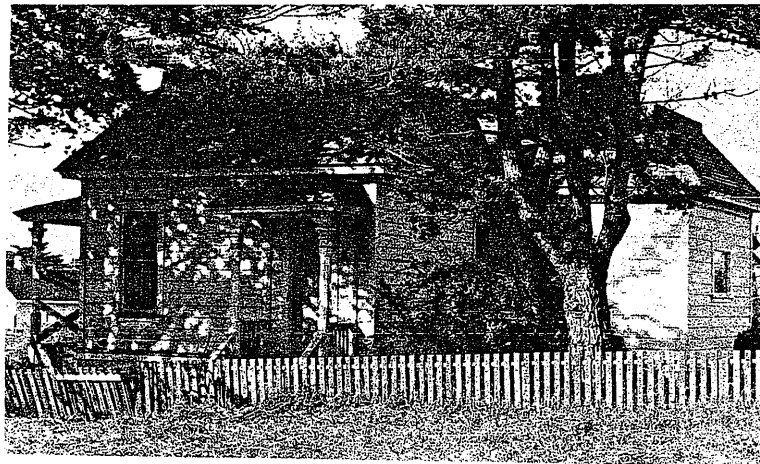
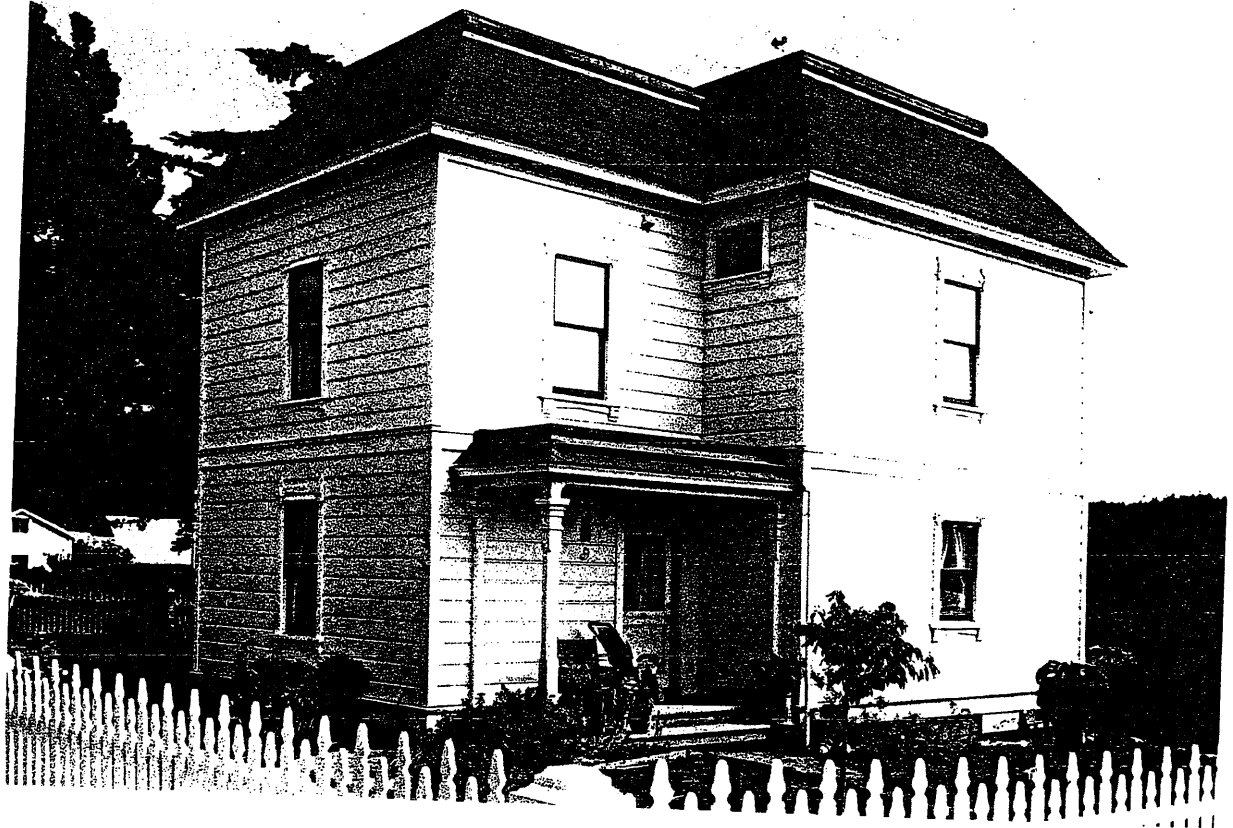
21. Sources (List books, documents, surveys, personal interviews and their dates).

Mendocino Beacon issues as cited

22. Date form prepared Sept. 14, 1987  
 By (name) Eleanor F. Sverko, co-  
 Organization ordinator, Co of Mendo  
 Address: 10511 Wheeler St.  
 City Mendocino Zip 95460  
 Phone: 707-937-5974



E-44 Flanagan-Escola Hse  
1889 - 44901 Pine St.  
one picture only to show  
substantial alteration



A small house with a flat main roof, a ridge around it and a steep slope of roof to the eaves, a Gambrel roof individual to this house in Mendocino.

How did the early day residents keep the roof from leaking in the torrential winter rains? Undoubtedly there was a plentiful amount of tar mopped on it and the steep sides were redwood shingles.

*File 119-150.21*

7/19/1886, Bk 39, Pg 3, 10' strip on Pine St by 280' of ~~119-150-12, 13, 14, 15.~~  
Julia W. Morrow and Helen F. Huff, wife of Bion Huff, to Kate A. Flanagan, \$1.00  
Rec'd 8/28/1886

*-119/150.16*  
POB: 60' from NW corner of I. C. Perry and SW corner of Kate Flanagan being the NW corner of Flanagan  
Then North 10'  
Then East on south line of Pine St. to SW corner of School & Pine Sts, 280'  
Then South on west line of School St., ~~40'~~ 10'  
Then West 280' to POB.

*and who executed the within mentioned  
they duly acknowledged to me that they executed  
the above.*

*I am witness whereof I have hereunto set  
my hand and affixed my official seal at  
my office in the aforesaid County of Mendocino  
the day and year in this certificate first above written*

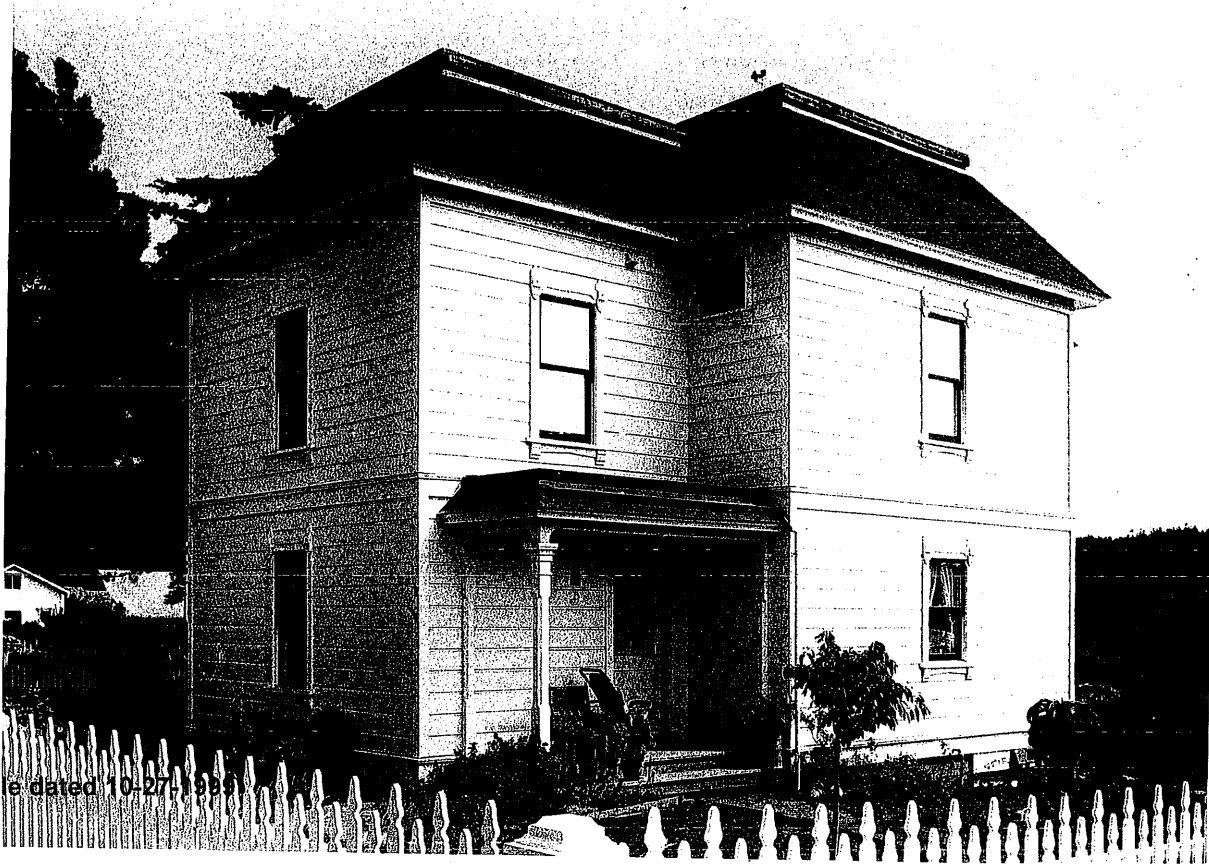
*Geo. R. Hudson  
Notary Public*

*Recorded at the request of Geo. R. Hudson Aug 28  
1886 at 10 minutes past 8 o'clock a.m.*

*W. M. Perry  
County Recorder  
By Jas. Carothers Jr  
Deputy Recorder*

*J. W. Morrow  
and  
H. F. Huff  
to  
Kate A. Flanagan*

*For and in consideration of the sum of one  
dollar to us in hand paid by Kate A. Flanagan  
of Mendocino Mendocino County California We  
Julia W. Morrow and Helen F. Huff of same  
place do hereby grant bargain and sell unto  
the said Kate A. Flanagan that certain lot  
piece or parcel of land situated lying and  
being in or adjacent to the town of Mendocino  
Mendocino County State of California and  
bounded and described as follows to wit:  
Commencing at a point distant fifty (50)  
feet from NW corner of lot of I. C. Perry*



Sverko File dated 10-27-1999

# Renovation hearing Monday

The Mendocino Historical Review Board must decide for itself Monday night if Robert Avery's remodeling project of a longtime Mendocino home conforms with standards of the California Environmental Quality Act, a Mendocino County attorney said last week.

Avery applied for a permit to double the size of the former Escola house, one of about 80 houses registered as a "Landmark 1" status on the local Mendocino Historical Research registers. Avery plans to remodel it into a two story house by lifting the present structure up one flight and building a new 8-foot first story

underneath it.

Last month a majority of board members said they personally approved of the project, but stopped short of authorizing it because they couldn't make findings which, they felt, complied with CEQA guidelines for historical preservation. Instead the item was continued to this month with board Chairwoman Eleanor Sverko directed to consult with county counsel and planners to determine how to proceed.

County attorney Ron Ball said in an interview last week that the CEQA guidelines regarding historic preservation give the review board

Mendocino Beacon, Thursday, May 3, 1984, Page 23

discretion in the case. He said the guidelines refer to "substantial adverse physical changes" to historically significant structures. He said it is up to the board to decide if the structure is historically significant and if the changes are adverse.

The project was opposed at last month's meeting on grounds that approving the alterations would set a dangerous precedent for altering historical buildings. Others argued that the precedent had already been set on such landmarks as the Masonic Building and the Mendocino Hotel, and questioned the propriety of listing the Escola house as so historic it was unable to be altered.

		<h2>MENDOCINO BUSINESS DIRECTORY</h2>			
<p><b>CREATIVE</b> Custom Made Window Coverings Workroom &amp; Showroom Free Estimate In Our Shop or</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);"><b>FABRICATIO</b></p>	<p><b>CONFETTI</b></p>  <p>'A CELEBRATION OF PAPER AND COLOR' Now - MPAC Tickets</p>	<p><b>MENDOCINO LOCKSMITHS</b> certified • bonded</p>  <p>FULL SERVICE PROFESSIONAL LOCKSMITHING Foreign Auto Keys a Specialty <b>027-4420</b></p>	<p> <b>Jim Draper</b> Painting and Wallpapering State License #346042</p>	<p><b>MENDOSA'S</b> Since 1909 General Merchandise and Market</p> <ul style="list-style-type: none"> <li>• HARDWARE</li> <li>• APPLIANCES</li> </ul> <p>*Housewares *Building Supplies</p>	<p><b>MENDOCINO</b></p>  <p><b>BAKERY</b> WHOLESALE &amp; RETAIL</p>



Coast Chamber of Commerce and Supervisor Norman de Vall, it was agreed to accept applications for the committee under the three categories and hold a meeting Wednesday, May 23, 8 a.m. to organize the committee.

Interested persons were asked to send a formal application to the chamber at P.O. Box 1141, Fort Bragg.

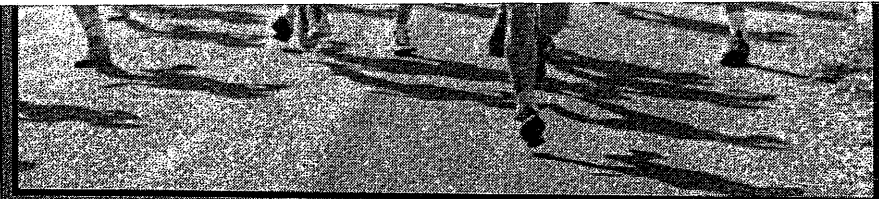
Concerns expressed by business persons included: blockage of their shops by trucks and harassment of both shopkeepers and customers by some (but not all) vendors; patrolling of regulations regarding vendors and consumer protection from faulty sales; financial damage to established shops because vendors seemingly have lower overhead; selectiveness of the ordinance in allowing some, but not all types of vending; traffic hazards created by vending stands and trucks.

Others defended the amendment saying it was a traditional form of commerce in the town; helped to keep the town from becoming a "row of high-priced rents where nothing different is tolerated"; offered producers a chance to sell wares at liveable price; and added that all businesses, not just street vendors, impose on their neighbors.

Suggested solutions ranged from further amending the ordinance to protect shopkeepers, repealing the amendment, and organizing a "farmers' market" somewhere in town where vendors could be located, monitored and kept off the streets.

Adding to the farmers' market idea was a statement by de Vall that he knew of one person hoping to lease an area of town where all types of merchants could sell their wares.

Some disapproved of the idea, saying that it See VENDOR, page 2



### Running the One

More than 100 runners began the first leg of "Run the One" in Elk. For a complete story see coverage on the back page and Charlie Acker's Greenwood column, page 11.

## Escola house permit granted

119-150-21

By ROB FOWLER

In a split vote the Mendocino Historical Review Board approved a controversial renovation project for the historic Escola House.

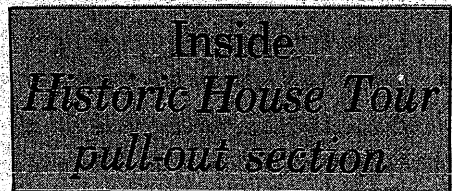
The project, developed by owner Bob Avery, calls for lifting the house up to a second story level and building a new first story underneath.

Last month the board appeared in a dilemma over invoking California Environmental Quality Act procedures because it is called for whenever "significant" changes are made to a historic building. The building is one of about 80 in Mendocino which are labeled as "Landmark I" by the local Mendocino Historical Research Inc. organization.

However, the board also received a letter from county counsel defining "significant" as "a substantial, or potentially substantial, adverse change..." Three of the board members, Ed O'Brien, Mike Beeson and Bob Cancini, decided

the change was not "adverse" and could therefore be allowed.

Two members, Chairwoman Eleanor Sverko and David Jones, said they could not make the same findings and dissented. Sverko said she had discussed the project with county planners and it was their opinion that it was clearly a matter for CEQA. Jones said he felt the project was contrary to the goals of historical ordinance saying, "there will be changes in the community, but we See HISTORY, page 2



14

May 17-23, 1984

## Coast Update

### SNAFU Tangles Indian Projects

(MNS) — Two Mendocino County Indian tribes have filed suit against Interior Secretary William Clark and the Bureau of Indian Affairs (BIA) in an effort to establish their own courts.

Hopland and Coyote Valley Indian tribes contend a 1934 Federal law authorizes tribes to organize their own governments under written constitutions, with drafts to be submitted to the Interior Department for review. The Hopland tribe says it sent a draft to the Interior Department in 1979 and has not yet received approval.

The tribe was recently told by BIA officials it would no longer be eligible for contracts or grants because the tribe does not have a constitution.

The decision threatens a \$200,000 housing project on the Hopland Rancheria.

A similar situation affects the Coyote Valley Indians, displaced from their ancestral home in 1959 when the Army Corps of Engineers built Lake Mendocino. Federal officials contend proposed Indian constitutions conflict with federal law by setting up separate Indian courts and penal systems for lawbreakers. Lester Marston, attorney for the tribes, said proposed laws relate mostly to hunting and fishing and apply only to tribe members.

### Bartenders not Liable

(MNS) — For the fifth time in six years, restaurant and insurance industry lobbies have succeeded in killing legislation in California that

would allow lawsuits against bars serving liquor to "obviously intoxicated" people who cause traffic accidents.

The Assembly Judiciary Committee voted 6-1 to send a bill by Assemblyman Richard Floyd of Hawthorne back for further discussion, effectively killing it for the year. Until 1979 California law allowed persons injured in an accident caused by a drunk driver to sue a bar or restaurant that served liquor to the driver if he or she was already obviously drunk and the drink increased the risk of danger on the road.

The legislature overturned that law in 1979 and the California Trial Lawyers Assn. has been trying to get it reinstated.

### Review Board OK's Addition

(MNS) — The Mendocino Historical Review Board has approved an application to remodel and substantially enlarge one of the older homes in the community.

The Board was acting on a request by Bob Avery, owner of a home at 981 Pine Street, previously occupied by longtime Mendocino resident, Nannie Escola. Avery had requested in April that he be allowed to raise the existing structure eight feet and build a 1,200-square-foot addition beneath it.

The sticky point for the Board was whether substantial alteration of an historic structure should be allowed, regardless of the appropriateness of the design of the new construction. Several residents spoke in favor of the project, commenting that the project constitutes an improvement of the structure and would be an asset to the surrounding neighborhood and the historic district. Opponents say the ~~19-150-21~~ <sup>19-150-21</sup> has a mandate to preserve historic struc-

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# Architects in Houses on the Coast

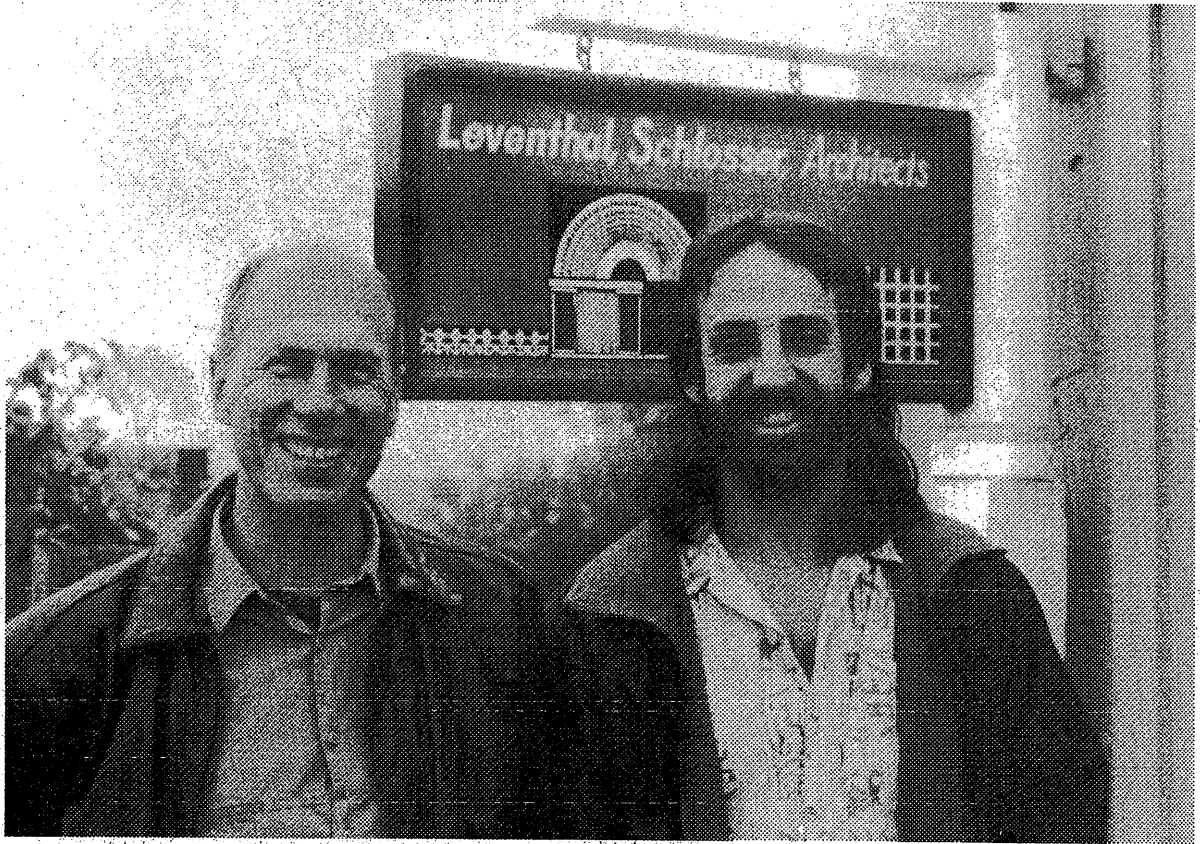
Multiple hours listening to and Mike Leventhal talk general, and these three particular, we realized that even three, interviews involved.

and backgrounds comes encompasses the strong with an obvious mutual one at ease in their company.

with the understanding ing gentlemen are not comfortable with their it also seriously inter- tures that are suitable

ment as well as aesthe- ly pleasing to the eye. ayed for our interview d, Bob and I spent the 'os and discussing the r this issue, including re clients and the spe- ived. As a result, it is ts that you see in this

bove, we'll come back ; more about architec- al and Bob Schlosser.



"The thing about our partnership that we could say is that we're the perfect team. What skills that Michael really excels in are the things that are not really my strong points and my really strong points are the things that are not really Michael's strong points. But the wonderful thing is, sometimes I'll come up with a wonderful idea that is really sort of Michael's bailiwick and a lot of times he'll come up with really good ideas that would kind of be in mine. So we just totally try to share everything. And I've got enough hair for both of us and Michael has that really wonderful smile." Bob.

That's what we excel at—smiling! Mike.

**Real Estate:** The Comptche-Ukiah Road House is built on a very steep slope. Tell us that problem.

**Bob:** That was the most difficult problem that the owner faced. Anytime you try to excavate on a hillside, pour concrete on a hillside, there's a lot of time and effort involved in it and nothing is easy. Just getting the materials to where you need them is difficult. So they wound up stepping the foundation up the hill and bending the steel every time it made a step so it was a really major project.

The owner was his own contractor on this house so he had to tackle that one with his own carpenters and just hope for the best.

**REM:** Tell us about the design features of this house.

**Bob:** The owner had two massive bridge timbers that he wanted to use. And he came to Michael originally. That was when Michael and I first became partners. He said he wanted a very modern house because he loves art and wanted to display it in such a way that it was the focus and stood out from the house itself. Besides the site had a tremendous view and we wanted to take advantage of the panorama.

So we used those two bridge timbers and the original design was to have a barrel vault that ran the whole

*Continued Page 4*

## ***A Country Home Where Art is the Focus***

length of the living room. But we settled on a regular closed vault with some lighting in it because a skylight that was across the whole living room would have been ghastly expensive.

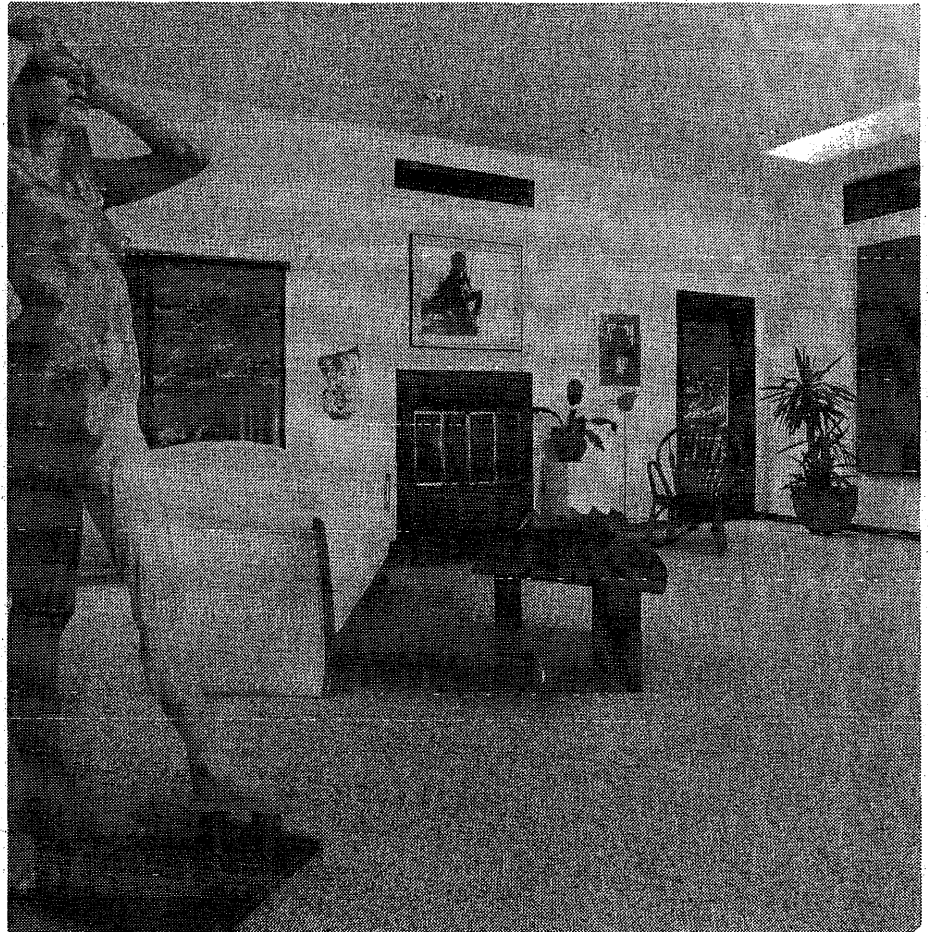
What the design does is make the whole top floor one completely open space with no walls in between that have to support the loads. So that it is all freestanding. That's what makes it modern architecture because technology and materials make it possible to span big distances and make space flexible.

Also, we wanted to take the windows all the way to the corners so that they wrap around the corners so we could take advantage of the panorama.

**REM:** Let's talk a bit about the historical remodel that you two did recently.

**Bob:** That house is an interesting story because it was an existing house that was a remodel. The owners had bought the house and needed a solution about what to do about more space. They had been travelling to the city and they saw that house over in Cloverdale, you know, and they got the idea to do that with theirs.

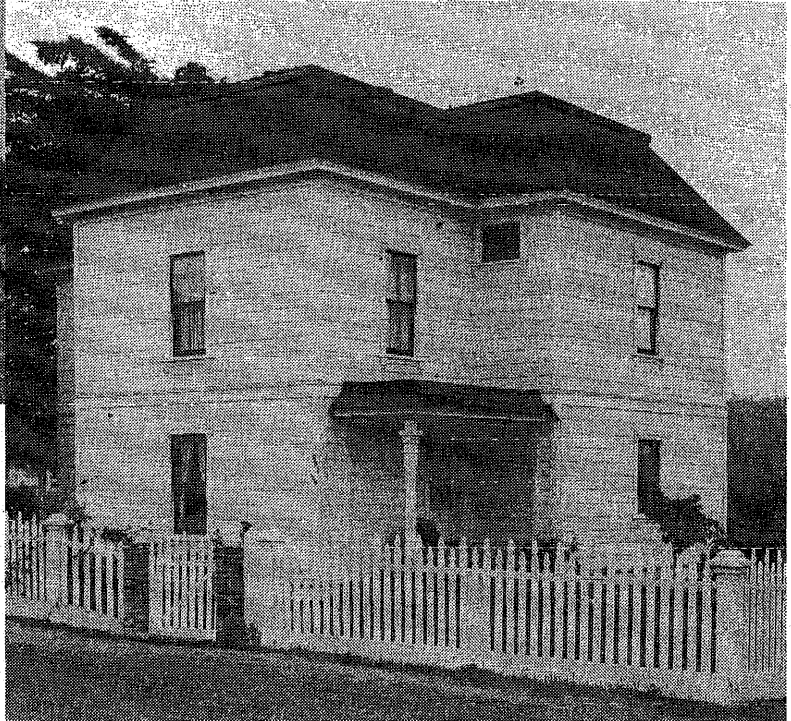
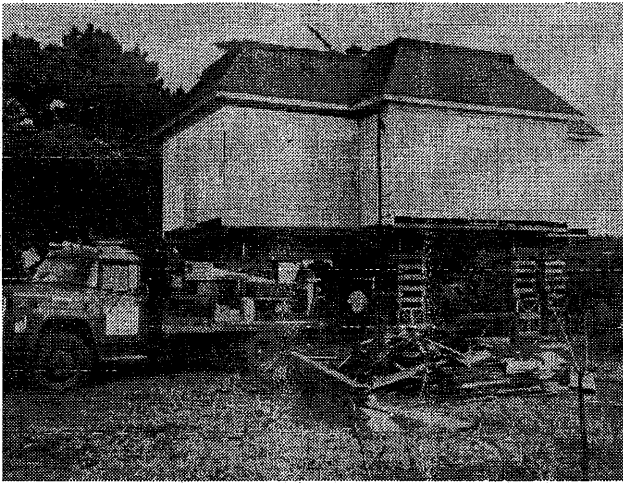
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*Photo by Rick Droz*

# Mendocino Town

# Victorian Remodel



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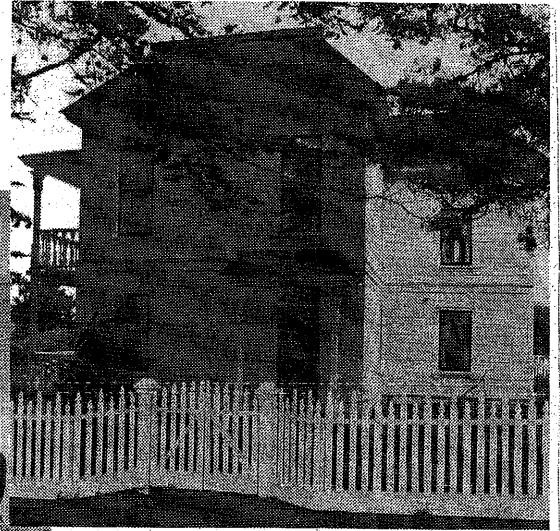
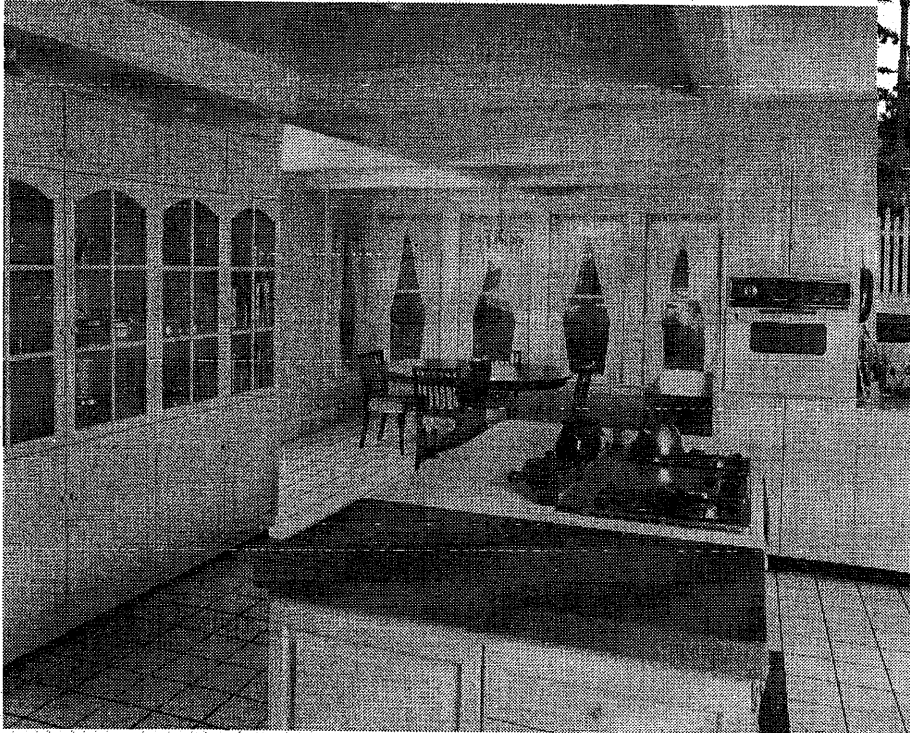
What they had was this really one story house designed in the old fashioned Victorian way. It was all chopped up into little rooms and while I guess it worked for the previous owner, it didn't work for the new owners. (They needed the house to work and their family needed the space and they needed the space to work. This was the design that we came up with.) The first floor all flows around and the ceilings are high and that effect in the ceiling was intentionally created. Some of the beams are support and we added the others for the effect we wanted.

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# Mendocino Town Victorian Remodel



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**REM:** You recently completed a house on the headlands that's really quite wonderful. How did you arrive at it's design?

**Bob:** We were aiming at trying to get a style that actually fits with the coast. The owners had been planning their house for about six years. They came to Michael before we were partners to get started on the design. They took a very long time to design their house and they were very specific about what they wanted.

I think, in general, with any kind of design project, the more attention that the clients pay to design, the harder they work with us, the better it turns out. I think these owners are entirely happy with the way their house

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turned out. They worked really hard. They agonized over every detail of this house and it shows in the end.

We always think now that whenever clients ask us to change something, they usually are right. When I first started designing I would be all up tight about that and say that this is my design. Now we find that the more we listen to the client we realize that they know what they are talking about. If we can come up with a good enough reason to convince them why not then they usually listen to us.

These clients also needed a space upstairs where they could see the ocean and could be used as studio space that could double for a bedroom.

Also, this house is in a beautiful subdivision and since it's right on the bluffs, it was very important to try and keep it as low as possible so that all the neighbors in the subdivision felt like we weren't intruding on their view shed. And we tried to do detailing that works with the coast.

The shingles are really good for exterior weatherproofing. Because there are so many layers of them it really helps a whole lot. There are gutters all around which is a very important thing to do on the coast. Because it rains so hard, if you let the water sheet off the roofs around here you get big holes and if you let that happen for too long it can undermine your foundation.

It has all copper flashings which are really important when you live right next to the ocean. Sheet metal just doesn't work. The salt air corrodes it.

This house has a Japanese influence in that it has exposed beams on all the overhangs and the overhang goes all around the house. We really felt that had a lot to do with the way people live on the coast. Since it's pouring rain so much it's nice to have those big overhangs so you can have an area that you can walk around the outside of the house and enjoy the outdoors even when it's raining. The hip roofs slope up into the gable roofs which is a very traditional Japanese house form also.

On the inside it's more of a modern house. Again, the idea is to try and make the space all flow so that it's not chopped up into individual rooms. It has a greenhouse attached which is sort of a breakfast area and helps to heat the house also.

**REM:** That the two of you are trying to build houses that are suitable to the coast and climate is real clear from the houses that we've been talking about. What other reason do you think might make it more intelligent for me to come to you as licensed architects rather than to approach some other person who, for example, might be a contractor who happens to design houses.

**Bob:** There are a lot of people who design houses but there's not that many who are licensed architects. The difference is that if something goes wrong with one of our places we are responsible. So that we definitely have to be a lot more careful. And we really can't take chances. Sometimes it makes our buildings a little more expensive but we specify a way to do it that is really in the best