



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482
120 WEST FIR STREET • FT. BRAGG • CALIFORNIA • 95437

BRENT SCHULTZ, DIRECTOR
TELEPHONE: 707-234-6650
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July 7, 2020

**PUBLIC NOTICE OF PENDING ACTION
MENDOCINO HISTORICAL REVIEW BOARD PERMIT**

NOTICE IS HEREBY GIVEN THAT the Mendocino Historical Review Board at its special meeting on Monday, July 20, 2020 at 2:00 p.m. will conduct a public hearing on the following project(s) at the time listed or as soon thereafter as the item may be heard. This meeting will be conducted virtually and not available for in person public participation (pursuant to State Executive Order N-29-20). In order to minimize the risk of exposure during this time of emergency, the public may participate digitally or via telecomment in meetings by sending comments to pbscommissions@mendocinocounty.org and is available for viewing on the Mendocino County YouTube page, at <https://www.youtube.com/MendocinoCountyVideo>

CASE#: MHRB_2020-0007

DATE FILED: 3/12/2020

OWNER/APPLICANT: ELIANA LEILANI YONEDA

AGENT: KELLY B. GRIMES, ARCHITECT

REQUEST: Mendocino Historical Review Board request to refurbish garage exterior, including garage doors, windows, siding, and extending an overhang. Note: Mendocino Town Plan Appendix 1 lists the site as Category I historic resource "Jerome House."

ENVIRONMENTAL DETERMINATION: Categorically Exempt

LOCATION: 45150 Calpella St, Mendocino (APN: 119-231-03)

SUPERVISORIAL DISTRICT: 5

STAFF PLANNER: JULIANA CHERRY

The staff report and notice will be available 10 days before hearing on the Department of Planning and Building Services website at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>

Your comments regarding the above project are invited. Written comments should be submitted by mail to the Department of Planning and Building Services Commission Staff, at 860 North Bush Street, Ukiah, or 120 West Fir Street, Fort Bragg, California. In order to minimize the risk of exposure during this time of emergency, the public may participate digitally in meetings by sending comments to pbscommissions@mendocinocounty.org by July 19, 2020 or orally via telecomment in lieu of personal attendance. All public comment will be made immediately available to the Board, staff, and the general public as they are received and processed by staff, and can be viewed as attachments to this meeting agenda at <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas/mendocino-historic-review-board>

To submit public comments via telecomment: A request form must be received by 10:00 a.m. the morning of the meeting. The telecomment form may be found at: <https://www.mendocinocounty.org/government/planning-building-services/meeting-agendas>

The decision of the Mendocino Historical Review Board shall be final unless a written appeal is submitted to the Board of Supervisors with a filing fee within 10 calendar days thereafter. If appealed, the decision of the Board of Supervisors to approve the project shall be final.

If you challenge the above case in court, you may be limited to raising only those issues described in this notice or that you or someone else raised at the public hearing, or in written correspondence delivered to the Mendocino Historical Review Board Secretary at or prior to, the public hearing.

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE. Mendocino County complies with ADA requirements and upon request, will attempt to reasonably accommodate individuals with disabilities by making meeting material available in appropriate alternate formats (pursuant to Government Code Section 54953.2). Anyone requiring reasonable accommodation to participate in the meeting should contact the Department of Planning and Building Services by calling (707) 234-6650 or (707) 964-5379 at least five days prior to the meeting.

Additional information regarding the above noted case may be obtained by calling the Planning and Building Services Department at 964-5379, Monday through Friday.

BRENT SCHULTZ, Director of Planning and Building Services



**MENDOCINO HISTORICAL REVIEW BOARD
STAFF REPORT**

**JULY 20, 2020
MHRB_2020-0007**

OWNER ELIANA LEILANI YONEDA
PO BOX 131
MENDOCINO, CA 95460

APPLICANT: ELIANA LEILANI YONEDA
45150 CALPELLA ST
MENDOCINO, CA 95460

AGENT: KELLY B. GRIMES, ARCHITECT
P.O. BOX 598
LITTLE RIVER, CA 95456

PROJECT DESCRIPTION: Mendocino Historical Review Board request to refurbish garage exterior, including garage doors, windows, siding, and extending an overhang. Note: Mendocino Town Plan Appendix 1 lists the site as Category I historic resource "Jerome House."

STREET ADDRESS: 45150 Calpella St, Mendocino (APN: 119-231-03).

PARCEL SIZE: 8,000 Square Feet

ENVIRONMENTAL DETERMINATION: Categorically Exempt

HISTORIC STRUCTURES: Site: Category I Jerome House 45150 Calpella St
North: Category III 10591 Williams St at Little Lake
North: Category III Dwelling, 45131 Little Lake Road
East: Category I Valadao House 45130 Calpella St
South: Category IIa 45150 Ukiah St
South: Category IIa Vieira House 45190 Ukiah St
West: Category III, Pereira House 10580 William St

PAST MHRB PERMITS: 91-28 re-roof, 95-29 re-roof, 2011-20 windows and others, 2013-23 outbuilding restoration, and 2015-06 residential addition.

HISTORIC ORDINANCE STANDARDS: The Mendocino Historical Preservation District Ordinance provides standards for the Review Board to consider when reviewing applications. Relative to this application, the following issues are raised and should be addressed:

- | | |
|---|--------------------|
| ✓ Building Size, Height, Proportions and Form | Roof Shape |
| Relationship of Building Masses and Open Spaces | ✓ Color(s) |
| ✓ Relationship to Surrounding Structures | Sign Size |
| ✓ Materials and Textures | Number of Signs |
| ✓ Architectural Details and Style | Placement/Location |
| ✓ Facade Treatment | Lighting |
| ✓ Proportions of Windows and Doors | Paving/Grading |
| Landscaping | |

APPLICABLE SECTIONS OF MHRB GUIDELINES: Building Design (pages 7-9)

APPLICANT'S STATEMENT: 1. Raise and install concrete slab and foundation under the building. 2. Rebuild garage doors similar to existing. 3. Replace windows and doors with wood-framed units as shown

on the elevations. Add one new window to match others on South elevation. 4. Replace all rotten material both framing and finish with like material. 5. Extend overhang on East side of building. 6. Re-roof entire building with comp shingles to match residence and studio on site. 7. See architectural drawings submitted with this application. Architectural drawing Sheet A-2 clarifies the scope of the proposed rehabilitation of the garage, as follows:

Garage West Elevation: Rebuild double-swinging doors with redwood doors and a classic barn door appearance.

Garage East Elevation: Replace existing door with new 3'-0" wood Dutch door.

Garage North Elevation: Add a black stovepipe to the garage roof. Reuse vertical siding and replace rotten material. Replace rotten ends as needed with horizontal board with copper z-flash along top edge.

Garage South Elevation: Replace existing door with new 3'-0" full glass patio door with divided lights. Replace horizontal siding with wood shingles (applied to west and east elevations, as well). Replace two existing windows with three new wood windows of similar dimension. Replace double-hung window with new wood double-hung window of the same dimension. Extend the roof overhang four additional feet.

EXEMPTIONS: The following proposed activities are exempt from the provisions of MCC Chapter 20.760.

- Sec. 20.760.040(C) *Routine maintenance of existing structures where materials used match existing, and where no alteration of height, dimensions, or exterior architecture of such structures will occur.*

Application statement 4 (proposing to replace all rotten material, both framing and finish, with like material) would be exempt.

- Sec. 20.760.040(J) *Outdoor lighting for doorways and stairs provided that the lighting is shielded, reflected downward and positioned in a manner that does not allow light glare to extend beyond the boundaries of the parcel on which it is placed.*

The application does not propose exterior lamps, but they may be installed at a later date. Recommended Condition #7 establishes that all exterior lamps shall be shielded, reflected downward, and positioned in a manner that does not allow for light glare.

- Sec. 20.760.040(K) *Changes to existing roofing materials provided that the Planning and Building Services Department has determined that the roof is to be of wood shingles, or composition, or other fire retardant material, which gives the appearance of wood.*

Application statement 6, proposing to re-roof the entire garage with comp shingles to match the residence and studio on site, may be exempt. The residence and studio roof colors appear to be dark brown and the garage roof appears to be grey. Recommended Condition #8 allows the residence, studio, and garage roof color to be dark brown.

- Sec. 20.760.040(L) *New concrete foundations under existing structures where the new foundation does not raise the height of the existing building by more than six inches, and where there will be no more than ten inches of concrete visible.*

Application statement 1, proposing to raise and install concrete slab and foundation under the garage, is exempt, because the change in the garage height would be limited to 6-inches (See sheet A2).

STAFF NOTES: The exterior color of the garage is not specified. It is unclear whether the existing color would be retained or an alternative color painted. Recommended Condition #9 allows the property owner to apply a clear stain to retain the unpainted wood appearance of the existing garage.

To conform with VII Structural Guidelines and 3 Exterior Building Materials, recommended Condition #10 would prohibit the use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick and "Rustic", used brick, plastic, laminated beams and laminated wood panels, concrete block, stucco, asbestos or asphalt shingles or panels, and plywood panels. Window frames and doors should be made from wood.

The 1987 Design Guidelines state that residential windows are typically tall, double hung, wood frame windows. Dormers, oriel bay, bow and small accent windows are common. "... *horizontal awning windows, sliding windows, and windows with horizontally oriented panes are not appropriate* (page 8)." Building design guidelines include the following about vertical emphasis, "*The structures of the Historic District are definitely vertical in appearance. This appearance is created by the general proportions of door and window openings. Buildings should be of a vertical appearance* (page 7)." Recommended Condition #11 allows the existing south elevation windows to remain.

REQUIRED FINDINGS: The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (A) Pursuant with MCC Sec. 20.760.065(A), the rehabilitated garage would be similar to the existing in dimension and configuration. The proposed would have a negligible effect on existing historic resources and the District's architecture.
- (B) Pursuant with MCC Sec. 20.760.065(B), the proposed would not detract from the appearance of other property within the District.
- (C) Pursuant with MCC Sec. 20.760.065(C), the site is designated a Category I historic resource and maintenance of the garage structure would not damage a historic structure.

STANDARD CONDITIONS:

1. This action shall become final and effective on the 11th day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit have been completed prior to its expiration.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2020-0007 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2020-0007 have been satisfied.

6. Any Building Permit request shall include MHRB Permit 2020-0007 (attached to or printed on the plans submitted).
 7. Outdoor lighting shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend beyond the property boundaries.
 8. The house, studio and garage roof material color shall be dark brown.
 9. The exterior garage walls shall be finished with clear stained wood to retain the unpainted appearance of the garage.
 10. All new or replaced exterior doors and window frames shall be made from wood. New or replacement exterior building materials shall not include use of imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick, plastic laminated beams, concrete block or boards, stucco or asbestos shingles or panels, or plywood panels.
 11. Horizontal awning windows, sliding windows, and windows with horizontally oriented panes are not appropriate. Windows and doors shall have a vertical appearance. The two existing south-facing garage windows may remain and shall retain their existing height and width dimension.
-

ATTACHMENTS:

- A. Application
- B. Sverko historical information for APN 119-231-03

The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$1,616.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

**COUNTY OF MENDOCINO
DEPT. OF PLANNING & BUILDING
SERVICES**

120 WEST FIR STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379
Fax: 707-961-2427

Case No(s) MHRB-2020-0007
Date Filed 3/12/2020
Fee \$ \$ 718.78
Receipt No PRJ-034086
Received by Tia Sui

Office Use Only

MHRB APPLICATION FORM

Name of Applicant ELIANA YONEDA		Name of Property Owner(s) SAME	Name of Agent Kelly B. Grimes, Architect.
Mailing Address 45150 Calpella St. Mendocino, CA 95460		Mailing Address	Mailing Address P.O. Box 598 Little River, CA. 95456
Telephone Number		Telephone Number	Telephone Number 707-937-2904
Assessor's Parcel Number(s) 119-231-03			
Parcel Size <u>8000</u> <input checked="" type="checkbox"/> Square Feet <input type="checkbox"/> Acres		Street Address of Project 45150 Calpella St.	

TYPE OF DEVELOPMENT
(Check appropriate boxes)

- Demolition. Please indicate the type and extent of demolition. (see next page)
- Construction of a structure.
- Addition to a structure.
- Alteration of exterior of structure.
- Construction, installation, relocation or alteration of outdoor advertising sign.
- Outdoor lighting.
- Walkways, driveways, parking areas, and grading.
- Exterior painting of a structure.
- Other.

PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

1. Describe your project in detail.

- **For demolition**, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- **For new signs**, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- **For new copy on existing signs**, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- **For exterior painting**, describe existing and proposed colors. Provide paint chips for proposed colors.
- **For exterior lighting**, include description/detail of fixtures and indicate locations on the site plan.
- **For new construction**, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- **For walkways, driveways, paving and grading**, provide dimensions, location and materials.

Yoneda Garage Rehabilitation

1. Raise and install concrete slab and foundation under the building.
2. Rebuild garage doors similar to existing.
3. Replace windows and doors with wood framed units as shown on the elevations.
Add one new window to match others on South elevation
4. Replace all rotten material both framing and finish with like material.
5. Extend overhang on East side of building.
6. Re-roof inteire building with comp shingles to match residence and studio on site.
7. See architectural drawings submitted with this application.

2. If the project includes new construction, please provide the following information:

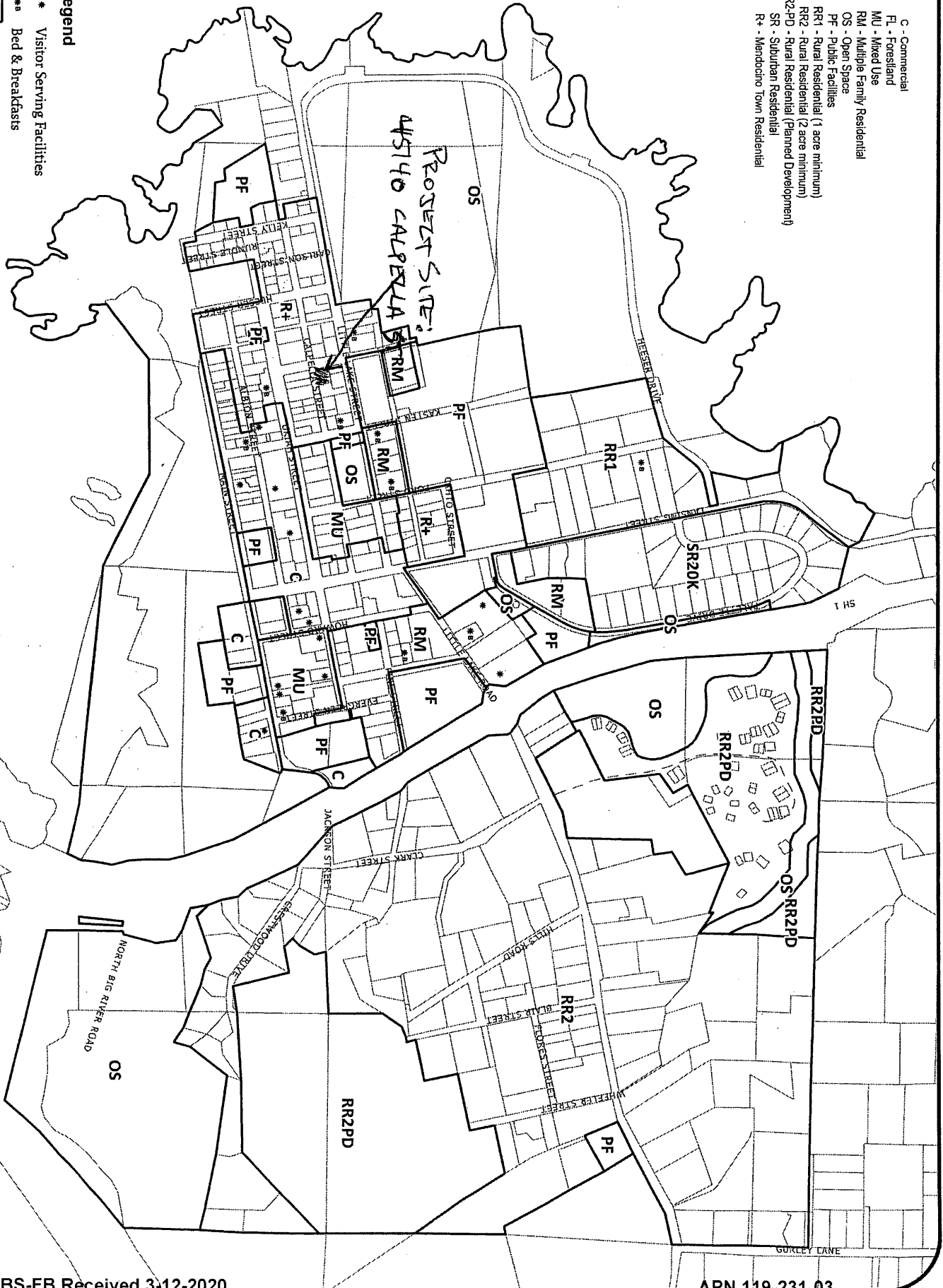
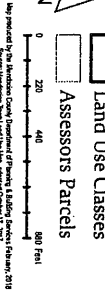
- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? _____ sq. ft.
- What is the total floor area (internal) of all structures on the property? _____ sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? _____ sq. ft.

If you need more room to answer any question, please attach additional sheets

- C - Commercial
- FL - Forestland
- MU - Mixed Use
- RM - Multiple Family Residential
- OS - Open Space
- PF - Public Facilities
- RR1 - Rural Residential (1 acre minimum)
- RR2 - Rural Residential (2 acre minimum)
- RR2-PD - Rural Residential (Planned Development)
- SR - Suburban Residential
- R+ - Mendocino Town Residential

Legend

- * Visitor Serving Facilities
- ** Bed & Breakfasts
- Land Use Classes
- Assessors Parcels



MENDOCINO TOWN LAND USE

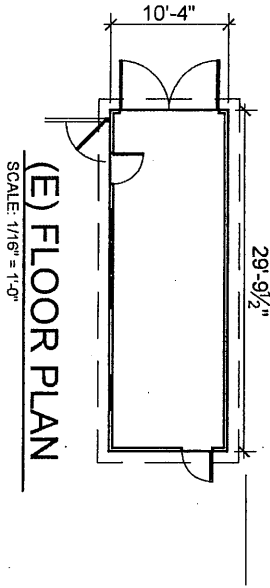
YONEDA SITE
45150 CALPELLA ST.
MENDOCINO, CA
AP# 119-231-03

LOT COVERAGE
LOT SIZE (80'x100') 8000 SQFT

GARAGE 313 SQFT
(E) RESIDENCE 1095 SQFT
ART STUDIO 414 SQFT
PUMPHOUSE &
WATERTANK 46 SQFT

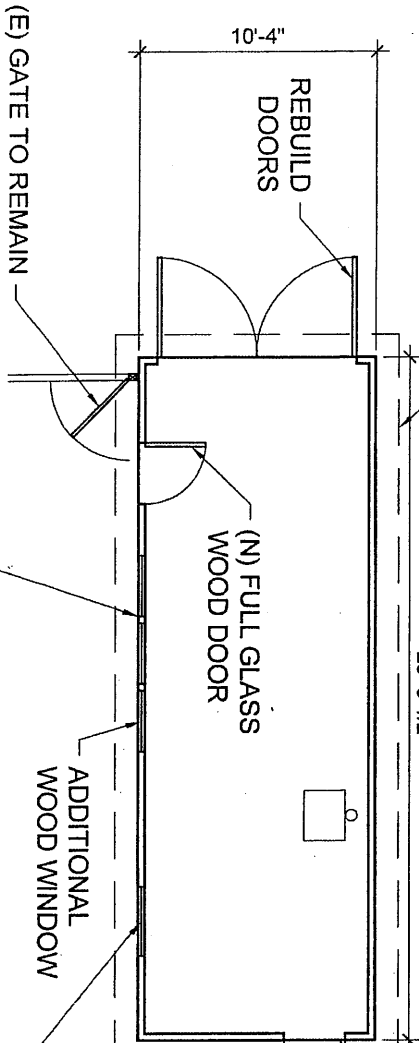
TOTAL COVERED 1868 SQFT

23% LOT COVERAGE



(E) FLOOR PLAN
SCALE: 1/16" = 1'-0"

(E) ROOF OVERHANG ABOVE

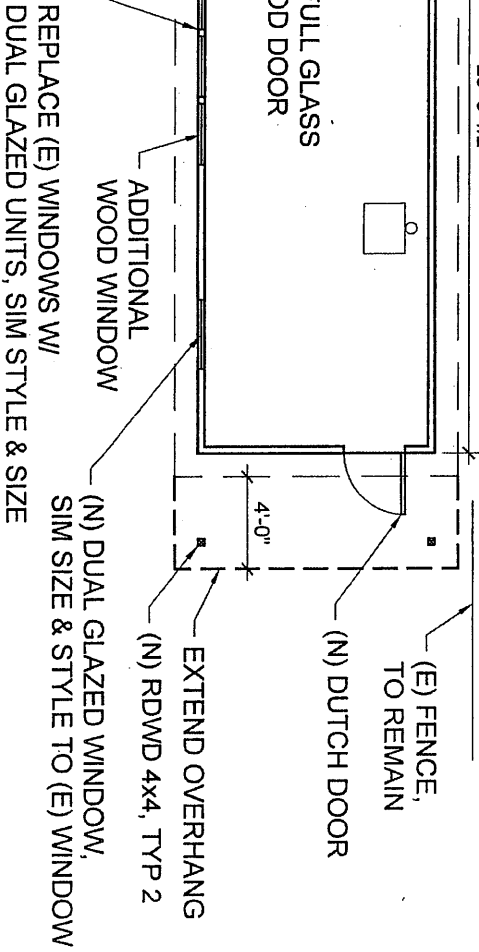
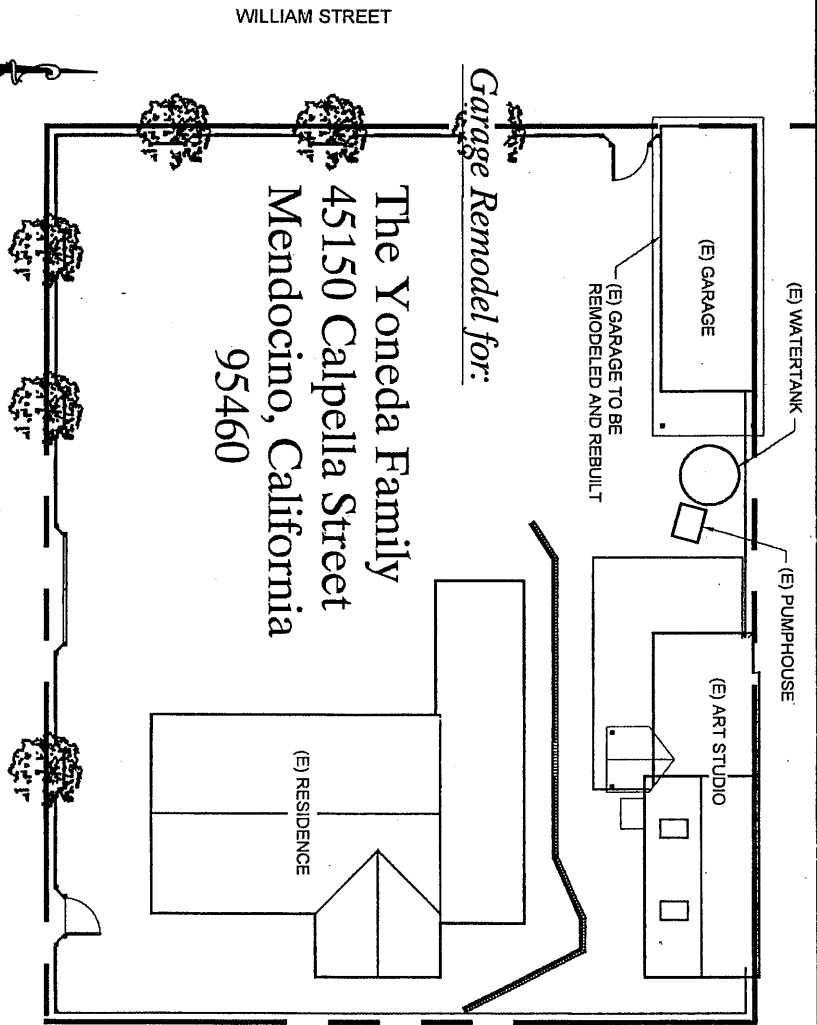


(N) FLOOR PLAN
SCALE: 1/8" = 1'-0"

29'-9 1/2"



SITE PLAN
SCALE: 1/20" = 1'-0"



1/16" = 1'-0"



A REMODELED GARAGE FOR

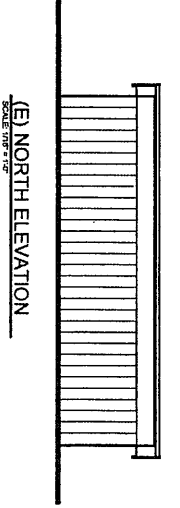
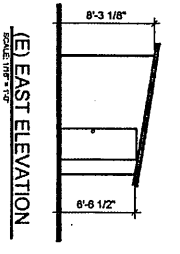
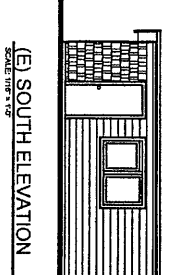
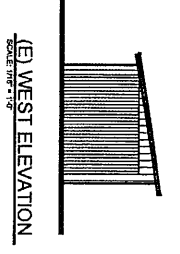
THE YONEDA FAMILY

45150 CALPELLA ST.
MENDOCINO, CA
95540

AP# 119-231-03

FLOOR PLANS
EXISTING AND
PROPOSED

A1

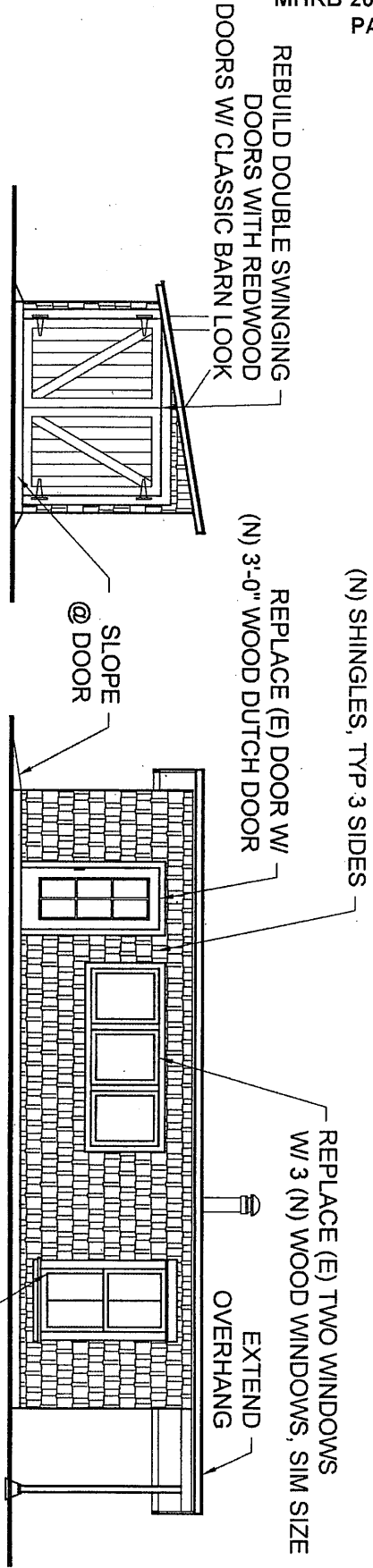


(E) WEST ELEVATION
SCALE: 1/8" = 1'-0"

(E) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

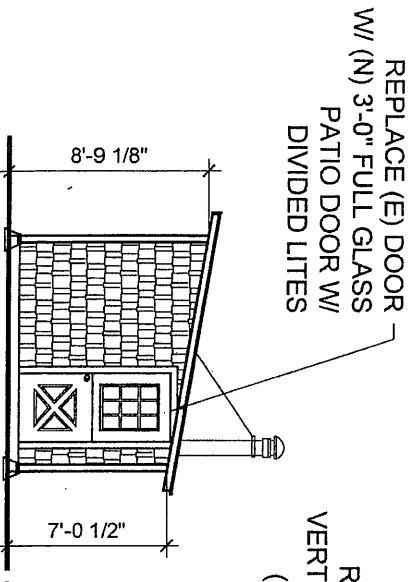
(E) EAST ELEVATION
SCALE: 1/8" = 1'-0"

(E) NORTH ELEVATION
SCALE: 1/8" = 1'-0"

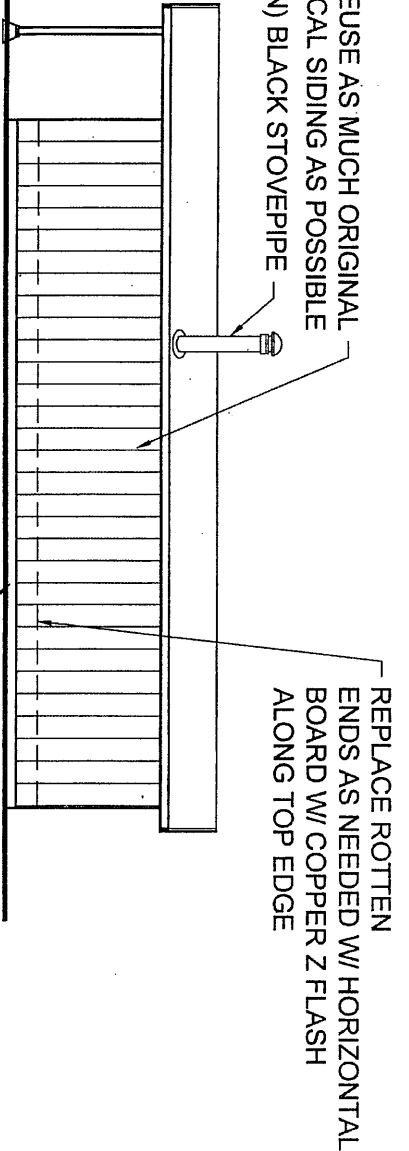


(N) WEST ELEVATION
SCALE: 1/8" = 1'-0"

(N) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



(N) EAST ELEVATION
SCALE: 1/8" = 1'-0"



(N) NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REPLACE (E) DOOR
W/ (N) 3'-0" FULL GLASS
PATIO DOOR W/
DIVIDED LITES

REUSE AS MUCH ORIGINAL
VERTICAL SIDING AS POSSIBLE
(N) BLACK STOVEPIPE

REPLACE ROTTEN
ENDS AS NEEDED W/ HORIZONTAL
BOARD W/ COPPER Z FLASH
ALONG TOP EDGE

REBUILD DOUBLE SWINGING
DOORS WITH REDWOOD
DOORS W/ CLASSIC BARN LOOK

REPLACE (E) DOOR W/
(N) 3'-0" WOOD DUTCH DOOR

(N) SHINGLES, TYP 3 SIDES

REPLACE (E) TWO WINDOWS
W/ 3 (N) WOOD WINDOWS, SIM SIZE

EXTEND
OVERHANG

REPLACE (E) D.H.
W/ (N) WOOD D.H.
WINDOW

AP # 119-231-03

4195 CALIFORNIA ST.
MENDOCINO, CA
95640

THE YONEDA
FAMILY

A REMODELED
CANDIDATURE

EXTERIOR
ELEVATIONS
EXISTING AND
PROPOSED

A2
of 4 SHEETS

HABS	_____	HAER	_____	NR	_____	SHL	_____	Loc	_____
UTM:	A	_____	B	_____	C	_____	D	_____	_____

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

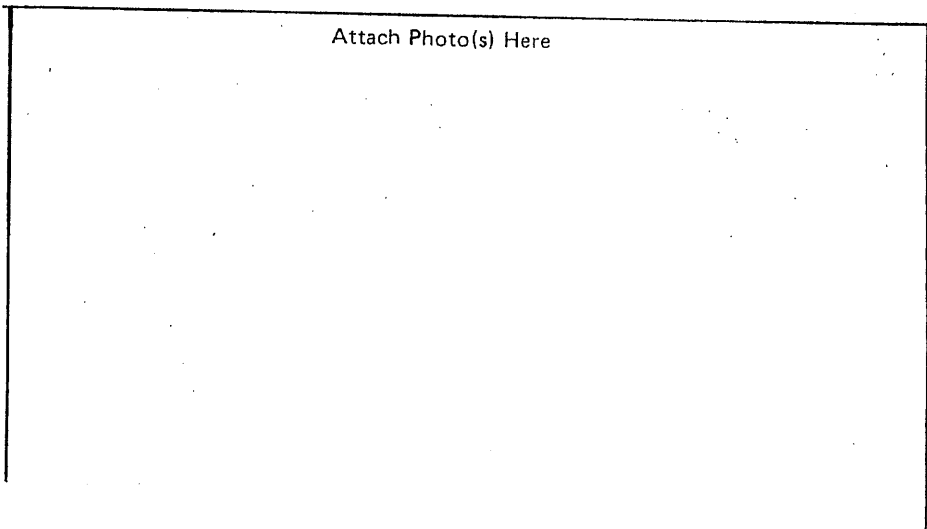
1. Common name: JEROME HOUSE
2. Historic name: Jerome/Osborne House
3. Street or rural address: 45150 Calpella St
City Mendocino Zip 95460 County Mendocino
4. Parcel number: 119-231-03 (n.e. corner Williams & Calpella) MHR #111
5. Present Owner: Charlotte Richards Address: P. O. Box 77
City Mendocino Zip 95460 Ownership is: Public _____ Private X
6. Present Use: Dwelling Original use: Dwelling

DESCRIPTION

- 7a. Architectural style: Simple gable
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

One story structure with redwood shiplap siding and redwood shingles on south face
Roof is of composition shingles

Addition: shed type



8. Construction date:
Estimated _____ Factual 1868
9. Architect unknown
10. Builder Wm. Osborne
11. Approx. property size (in feet)
Frontage 100' Depth 80'
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
July, 1987

13. Condition: Excellent ___ Good Fair ___ Deteriorated ___ No longer in existence ___
14. Alterations: _____
15. Surroundings: (Check more than one if necessary) Open land ___ Scattered buildings ___ Densely built-up
 Residential Industrial ___ Commercial ___ Other: _____
16. Threats to site: None known Private development ___ Zoning ___ Vandalism ___
 Public Works project ___ Other: _____
17. Is the structure: On its original site? Moved? ___ Unknown? ___
18. Related features: _____

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Five Thomas (Tomasy) sisters came to Mendocino between 1879 and 1886 from the Island of Flores, Portugal. Annie Thomas came first, 1878. Her uncles cousin (?) was already here in 1870.

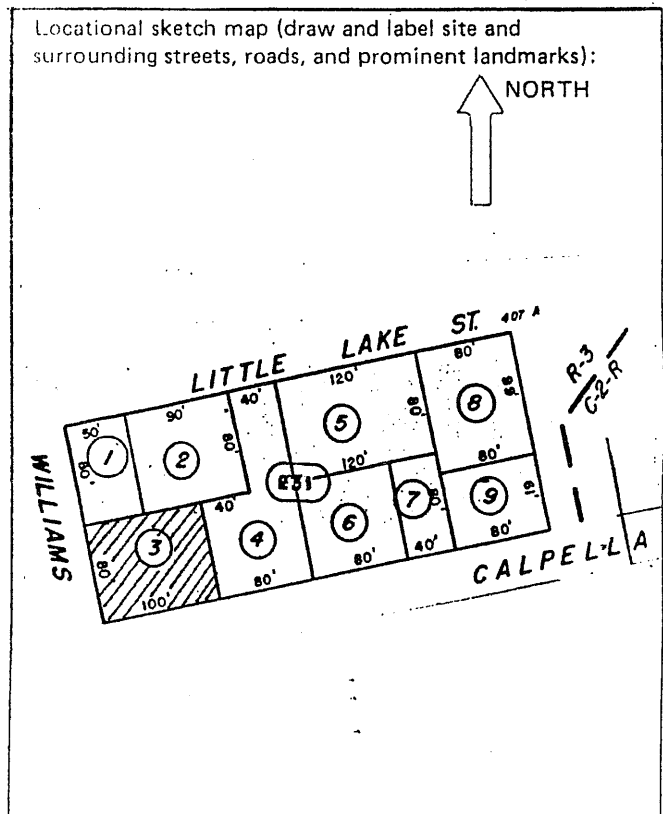
6/15/1868 Wm. Osborne married Annie Thomas and built the first house in Block 231.

The 1880 census shows Wm. Osborne as 47 and Annie aged 27. Wm. Osborne died 8/6/1886 and Annie, the same year, married Antone Jerome. They had six children and descendants of this family still reside in Mendocino.

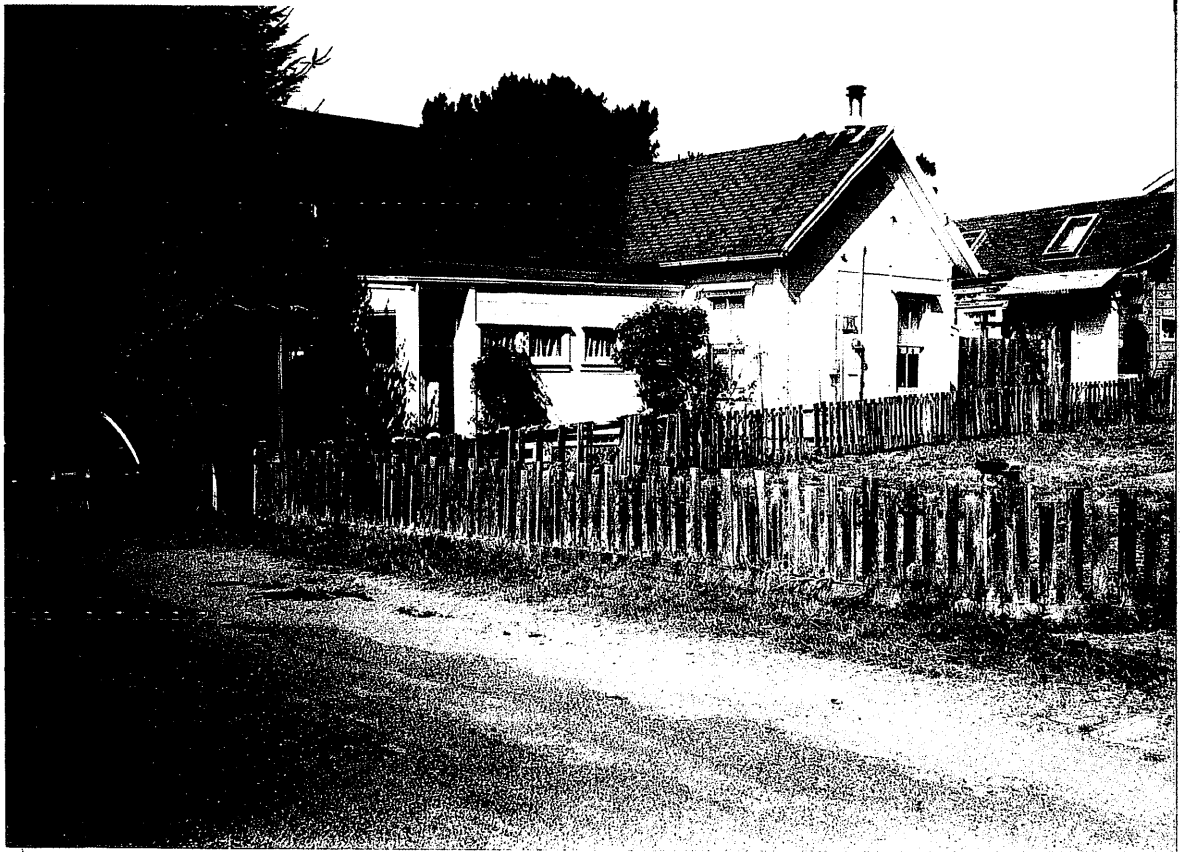
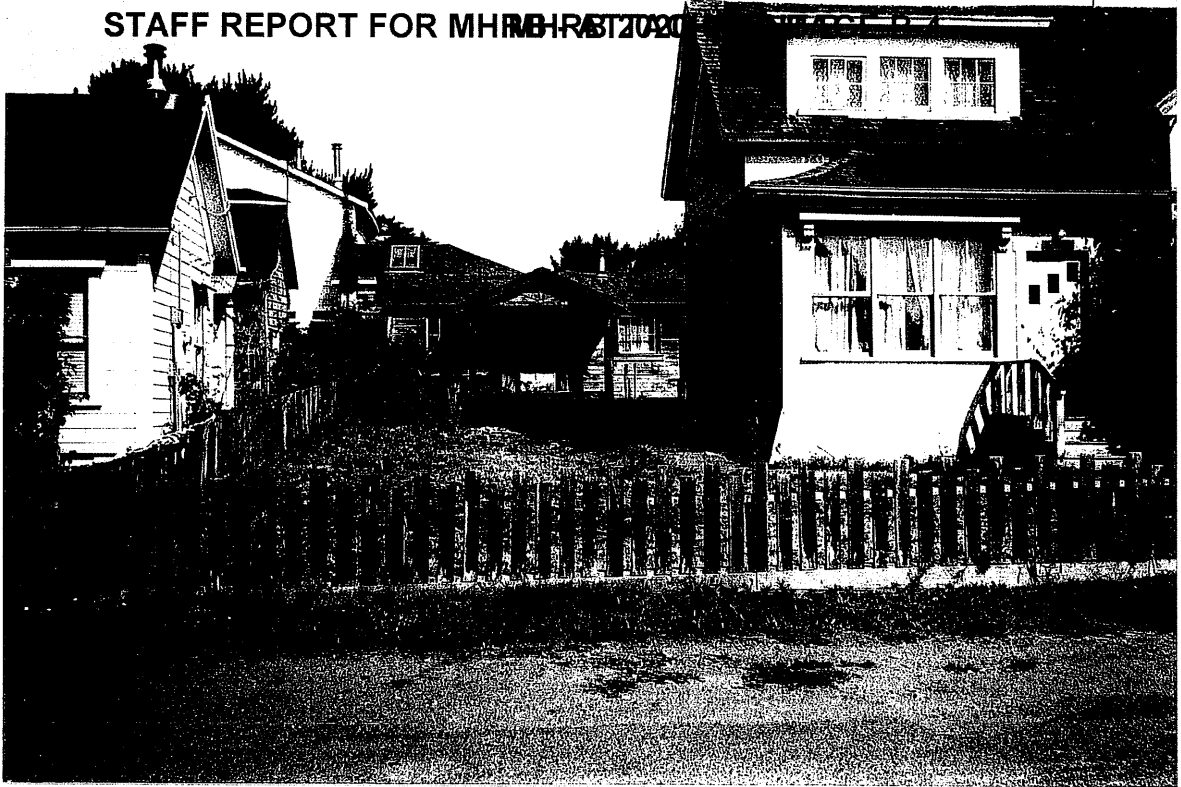
(Ref: Mendocino Historical Review, Vol E, #3, Summer 1974. While Stebbins-Bear recorded early family history, additional research needs to be done on the Portuguese people of Mendocino.

Annie lived 84 years and died in 1937, and was buried in the Catholic Cemetery of Mendocino.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
 Architecture Arts & Leisure ___
 Economic/Industrial ___ Exploration/Settlement ___
 Government ___ Military ___
 Religion ___ Social/Education ___
 Mendocino cultural history
21. Sources (List books, documents, surveys, personal interviews and their dates.)
 Mendocino Historical Research
 Mendocino Beacon issues
 Michael Leventhal, archi and
 Kevin Fletcher
22. Date form prepared Sept. 14, 1987
 By (name) Eleanor F. Sverko, co-
 Organization ordinator, Co of Mendo
 Address: 10511 Wheeler St.
 City Mendocino Zip 95460
 Phone: 707-937-5974



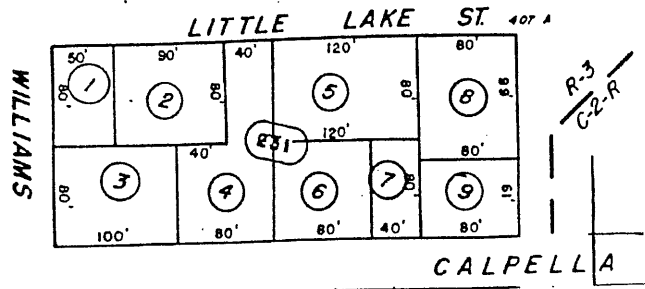




OSBORNE/JEROME HOUSE
45150 Calpella Street

Sverko, March 17, 1999
APN: 119-231-03
MHR: #111 Landmark No. I

This house was surveyed for the State Office of Historic Preservation by the writer in 1987. Stebbins & Bear indicated this house was built by Wm. Osborne in 1868, the oldest house on this #231 block. I don't have any information that verifies that date, nor do I know when Wm. Osborne arrived in Mendocino.



5/26/1877, Bk 16, Pg 67, Wm. Heeser to W. C. Osborne \$175.00 describes this property.

Wm. Osborne married Annie Thomas in 1878. He died in 1886, and she then married Antone Jerome. He died at Mendocino in 1932, and Annie died in 1937. Following the death of Jerome in 1932, Annie's daughter, Rose, married to Antone Lenhares, moved into this house. Rose died in 1960 and Antone died in 1979. Following his demise, descendants sold the property.

In 1987 it was owned by Charlotte Richards.
1989 House to house survey, one single family dwelling plus long term rental.

#111 Jerome House
1868 45150 Calpella

Wood Family Property



Reference Sverko File dated 3-17-1999

APN 119-1251-03

