



COUNTY OF MENDOCINO

DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482  
120 WEST FIR STREET • FORT BRAGG • CALIFORNIA • 95437

BRENT SCHULTZ, DIRECTOR  
PHONE: 707-234-6650  
FAX: 707-463-5709  
FB PHONE: 707-964-5379  
FB FAX: 707-961-2427  
[pbs@mendocinocounty.org](mailto:pbs@mendocinocounty.org)  
[www.mendocinocounty.org/pbs](http://www.mendocinocounty.org/pbs)

---

---

**MEMORANDUM**

DATE: SEPTEMBER 9, 2019

TO: MENDOCINO HISTORICAL REVIEW BOARD MEMBERS

FROM: EXECUTIVE SECRETARY TO THE REVIEW BOARD & PBS STAFF

SUBJECT: CLARIFICATIONS TO MHRB PERMIT 2018-0002 MCCSD WATER TREATMENT PLANT

The Review Board granted this permit to construct a 1,000-square-foot building with wooden windows and doors; install signs and striping for parking; remove aluminum window and air vents on the southeast corner of the press building; and others (See attachment B). In 2019, the architect submitted for Building Plan Check Review revised drawings that differ from MHRB Permit 2018-0002 as follows:

1. The addition of an ADA compliant (cement) surface between the Press Building and the Chlorine Building (See Attachments A and C Sheets C-1.1 and A-4). Visibility of the pathway between the Press Building and the Chlorine Building would be limited to areas within the Water Treatment Plant facility; therefore, Staff recommends that this pathway be considered a part of the previously approved project.
2. A minor change in orientation of the accessible parking-space markings (See Sheets C-1.1 and A-4). Staff recommends that the orientation of the accessible parking-space markings would not have a material effect on the project.
3. Drawings specify fiberglass window frames and doors on the Chlorine Building and the Press Building. Fiberglass differs from the wood window frames and doors specified in MHRB Permit 2018-0002 (See Attachments A and C Sheets A-4 and A-6). Staff recommends that the revised drawings specify exterior wooden doors and wooden window frames, including the proposed replacement door on the Press Building.
4. Changes to the Chlorine Building's north elevation are, from left to right, the left most door and middle door details differ from the MHRB Permit (See Attachments A and C Sheets A-6 and A-7). To the right, revised drawings show two doors with levered air vents replacing the MHRB permitted rollup door and its adjacent human door. Visibility of the Chlorine Building's north elevation would be limited to areas within the facility; therefore, Staff recommends the Review Board find these amendments consistent with their action granting MHRB Permit 2018-0002.
5. The outdoor lamps (lighting) for the doorways changed. The lamps shown on the building plans would satisfy with MHRB Permit Condition #8 and MCC Section 20.760.040(J).

**RECOMMENDATION:** Acknowledge MHRB Permit Condition #7 anticipates potential changes to this public works project. Direct Staff to amend MHRB Permit 2018-0002 and to approve drawings specifying wood doors and wood window frames. Alternatively, direct the applicant to apply for a new permit.

**ATTACHMENTS:**

- A. Staff Report for MHRB 2018-0002 dated March 5, 2018
- B. MHRB Permit 2018-0002 issued on March 16, 2018
- C. Building Permit BF\_2019-0115/0116 Rev Sheet C-1.1 (8/9/2019), Rev Sheet A-2 (8/9/2019), Rev Sheet A-4 (8/9/2019), Rev Sheet A-6 (8/15/2019), and Rev Sheet A-7 (8/15/2019).



## MENDOCINO HISTORICAL REVIEW BOARD STAFF REPORT

**MHRB\_2018-0002**  
**MARCH 5, 2018**

**OWNER:** STATE OF CALIFORNIA PARK  
915 CAPITAL MALL 590  
SACRAMENTO CA 95814

**APPLICANT:** MENDOCINO CITY COMMUNITY SERVICES  
DISTRICT  
PO BOX 1029  
MENDOCINO, CA 95460

**AGENT:** KELLEY GRIMES  
PO BOX 598  
LITTLE RIVER, CA 95456

**PROJECT DESCRIPTION:** A Mendocino Historical Review Board permit request to (1) construct and bury a 50,000 gallon tank; (2) construct a 1,000 sq. ft. building; (3) install signs and striping for parking; and (4) remove aluminum window and air vents on the southeast corner of the press building.

**STREET ADDRESS:** 10500 Kelly St., Mendocino (APN: 119-211-06)

**PARCEL SIZE:** 4.4 Acre

**ENVIRONMENTAL DETERMINATION:** Categorically Exempt. A Class 1 Categorical Exemption from California Environmental Quality Act, pursuant to Section 15301(f), for existing facilities, including additions to safety or health protection devices for use in conjunction with existing structures, facilities or mechanical equipment.

**HISTORIC STRUCTURES:**

On Site:	None
North:	Vacant land
South:	State Park - Mendocino Historic Headlands
East:	Belle-Silviera House Category IIA
West:	State Park - Mendocino Historic Headlands

**PAST MHRB PERMITS:** CDU 1991-35 and CDU 1991-35 (2003) for construction of an 1,100 sq. ft. building to house a belt filter press, relocate a 300 sq. ft. garage, construct 1,500 sq. ft. addition; and install pavement. Use of an on-site generator is included. MHRB 1996-09, MHRB 2003-32, MHRB 2004-49 for the 1,500 sq. ft. addition including louvered vents, roof penetrations, garage door, and pavement. MHRB 2015-0016 to modify MHRB Permit 2003-32 and MHRB Permit 2004-49, and to install a roof vent and replace a paneled door with a louvered panel.

**HISTORIC ORDINANCE STANDARDS:** The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing application. Relative to this application, the following issues are raised and should be addressed:

- |   |                      |
|---|----------------------|
| ✓ Building Size, Height, Proportions and Form     | ✓ Roof Shape         |
| ✓ Relationship of Building Masses and Open Spaces | ✓ Color(s)           |
| ✓ Relationship to Surrounding Structures          | ✓ Sign Size          |
| ✓ Materials and Textures                          | ✓ Number of Signs    |
| ✓ Architectural Details and Style                 | ✓ Placement/Location |
| ✓ Facade Treatment                                | ✓ Lighting           |
| ✓ Proportions of Windows and Doors                | ✓ Paving/Grading     |
| Landscaping                                       |                      |

**APPLICABLE SECTIONS OF MHRB GUIDELINES:** pages 6, 7, and 9. Sections VI. Site Development Guidelines and VII Structural Guidelines.

**STAFF NOTES:** The project complies with the development standards of Chapter 20.668 *Mendocino Public Facilities "MPF"*. See Table 1. The proposed project consists of four components: (1) to construct and bury a 50,000 gallon tank; (2) to construct a 1,000 square foot building; (3) to install signs and striping for parking; and (4) to remove aluminum window and air vents on the southeast corner of the press building.

The applicant will apply for a material amendment to Coastal Development Use Permit CDU 1991-35 to develop the 50,000 gallon tank and 1,000 square foot building. Staff recommends that the Review Board consider a motion clarifying that the expiration date of MHRB Permit 2018-0002 coincide with the expiration date of a future amendment to CDU 1991-35 (if the amendment is approved). Staff recommends a condition of project approval that would allow the applicant to amend MHRB Permit 2018-0002 if the Coastal Permit Administrator approves changes to the project that would thereby affect the conditions approving MHRB Permit 2018-0002.

1. Construct and bury a 50,000 gallon tank. Installation of a 50,000 gallon concrete tank is proposed to be buried on site. The applicant requests the Review Board determine that burying tank would not detract from the appearance of other property within the District.

2. Construct a 1,000 square foot building. The proposed building would have a gabled roof; three painted wooden roll up doors; three doors with one window and one lamp above each; one wooden framed window; and wooden louver vents under the west and east gables. Siding would be T-11 wood siding painted to match existing buildings. Lamps would be shielded and similar to other lamps on site. A concrete curb would be installed around the perimeter of the chlorine tank and a galvanized steel grate would be situated above the tank. The tank area would be 28 feet by 17.5 feet or 490 square feet. The tank would be below grade but not covered. See proposed building elevations and site plan. Development, including the afore mentioned 50,000 gallon concrete tank and the proposed 1,000 square-foot building, requires the approval of an amendment to CDU 1991-35.

3. Install signs and striping for parking. Upon review of the site plan, staff recommends that there is sufficient undeveloped area to accommodate eleven off street parking spaces. The applicant proposes three new 9 by 20 foot off street parking spaces and one 14 by 20 foot off street parking space, which is proposed to satisfy accessible off street parking requirements. The applicant also requests to delineate the proposed parking spaces by painting and installing signs. See proposed site plan.

4. Remove aluminum window and air vents on the southeast corner of the press building. The applicant requests to modify windows and vents on the existing press building. The applicant would remove one window and two louvered vents. The applicant would install T1-11 siding painted colors to match other buildings on site. Staff notes that a security lamp is shown in the photograph provided by the applicant and suggests the Review Board consider requesting the lamp be down shielded. At this location the property boundaries are a considerable distance from the light source and staff recommends consideration of a reasonable distance for illumination; therefore, a condition is recommended limiting the area of illumination to within 15 feet of the lamp's location (rather than the property boundaries). MCC Section 20.760.040(J) states that outdoor lighting for doorways are exempt provided that the lighting is shielded, reflected downward and positioned in a manner that does not allow light glare to extend beyond the boundaries of the parcel on which it is placed. See provided photographs of existing building with before and after images.

Table 1: MPF District Regulations		
MTZC SECTION	STANDARD	PROPOSED
20.688.015(A) Conditional Uses	Minor Impact Utilities	CDU 1991-35
20.688.030 Minimum Front and Rear Yards	10 feet	50 feet
20.688.035 Minimum Side Yard	6 feet	30 feet
20.688.045 Maximum Building Height	28 feet	18.9 feet
20.688.050(B) Minimum Vehicle Parking	1 for 400 SF gross floor area	11 spaces for 4,300 SF floor area
20.688.055 Maximum Lot Coverage	25%	as approved
20.688.070(C) Maximum Gross Floor Area	8,000 max/building 128,376 SF/lot	11,465 SF/lot

**REQUIRED FINDINGS:** The Historical Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (a) The exterior appearance and design of the proposed work is in harmony with the exterior appearance and design of the existing structures within the District and with that of existing subject structure. The proposed 1,000 square foot building with louvered vents, doors, and lighting are similar to the exterior appearance of other buildings on site.
- (b) The appearance of the proposed work will not detract from the appearance of other property within the District. The proposed building alterations are rarely visible from other properties within the District and maintain design characteristics previously considered by MHRB and found to not detract from other properties.
- (c) Where the proposed work consists of alteration or demolition of an existing structure, that such work will not unnecessarily damage or destroy a structure of historical, architectural or cultural significance. The proposed work includes alteration of an existing structure, which has no record of historic significance.

**STANDARD CONDITIONS:**

- 1. This action shall become final and effective on the 11<sup>th</sup> day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction, and or use of the property in reliance on such permit, has been completed prior to its expiration. If amendments to CDU 1991-35 are approved within two years of the effective date of MHRB Permit 2018-0002, then this permit's expiration date is extended to coincide with the expiration date of the amendment to CDU 1991-35.
- 2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
- 3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
- 4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
  - a. That such permit was obtained or extended by fraud.
  - b. That one or more of the conditions upon which such permit was granted have been violated.

- c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
  5. To establish that site-work satisfies the requirements of MHRB Permit 2018-0002 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2018-0002 have been satisfied.
  6. Any Building Permit request shall include MHRB Permit 2018-0002 (attached to or printed on the plans submitted).
  7. If an amendment to CDU 1991-35 approving a 50,000 gallon tank and a 1,000 square foot building also deviates from MHRB Permit 2018-0002, then the applicant may apply to amend MHRB Permit 2018-0002 and request the Review Board find the amendment consistent with MCC Chapter 20.760 and Mendocino Town Zoning Code.
  8. Outdoor lighting for doorways shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend more than a 15 foot radius.
  9. Prior to issuance of a Building Permit, the applicant shall furnish exterior lighting details to the satisfaction of the Director. Exterior lighting shall be kept to the minimum necessary for safety and security purposes and shall be downcast and shielded, and shall be positioned in a manner that will not shine light or allow light glare to extend beyond a 15 foot radius and otherwise comply with Section 20.504.035 of the Mendocino County Code.
- 

The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$1,616.00 (Check payable to County of Mendocino)

Appeal Period: Appeals must be received by the Clerk of the Board of Supervisors within 10 days of Review Board action.

<p><b>COUNTY OF MENDOCINO DEPT. OF PLANNING &amp; BUILDING SERVICES</b></p> <p>120 WEST FIR STREET FORT BRAGG, CA 95437 Telephone: 707-964-5379 Fax: 707-961-2427</p>	<p>Case No(s) <u>MHRB 2018-0002</u></p> <p>Date Filed <u>1/9/2018</u></p> <p>Fee \$ <u>\$2179</u></p> <p>Receipt No. <u>018930</u></p> <p>Received by <u>P. Bielec</u></p> <p style="text-align: right;"><u>Office Use Only</u></p>
---	---

**MHRB APPLICATION FORM**

<p>Name of Applicant <u>Mendocino City Community Services District</u></p>	<p>Name of Property Owner(s) <u>State of California Parks &amp; Recreation Department</u></p>	<p>Name of Agent <u>Kelly B. Grimes, Architect</u></p>
<p>Mailing Address <u>P.O. Box 1029 Mendocino, CA. 95460</u></p>	<p>Mailing Address <u>P.O. Box 440 Mendocino, CA. 95460</u></p>	<p>Mailing Address <u>P.O. Box 598 Little River, CA. 95456</u></p>
<p>Telephone Number <u>937-5790</u></p>	<p>Telephone Number <u>937-5804</u></p>	<p>Telephone Number <u>937-2904</u></p>

Assessor's Parcel Number(s)  
119-211-06

<p>Parcel Size <u>128,376</u> <input checked="" type="checkbox"/> Square Feet <u>4.4</u> <input checked="" type="checkbox"/> Acres</p>	<p>Street Address of Project <u>10500 Kelly Street</u></p>
--	--

**TYPE OF DEVELOPMENT**  
(Check appropriate boxes)

- Demolition. Please indicate the type and extent of demolition. (see next page)
- Construction of a structure.
- Addition to a structure.
- Alteration of exterior of structure.
- Construction, installation, relocation or alteration of outdoor advertising sign.
- Outdoor lighting.
- Walkways, driveways, parking areas, and grading.
- Exterior painting of a structure.
- Other.

## PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

### 1. Describe your project in detail.

- For demolition, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- For new signs, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- For new copy on existing signs, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- For exterior painting, describe existing and proposed colors. Provide paint chips for proposed colors.
- For exterior lighting, include description/detail of fixtures and indicate locations on the site plan.
- For new construction, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.

For

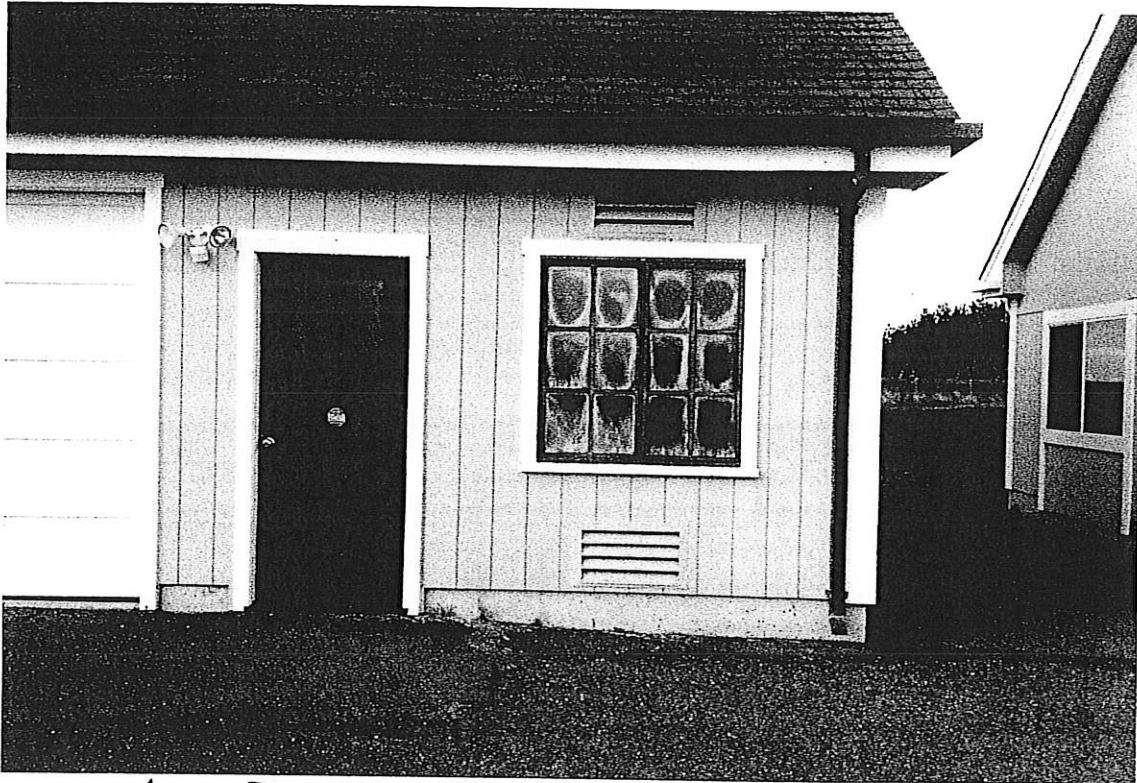
#### MCCSD MHRB Project Description

1. Construct a 50,000 gallon concrete tank and bury on site.
2. Construct a 1000 sqft garage type building. Please see drawings submitted with the application for shape, size and design.
3. All finishes and materials shall match existing buildings on site.
4. Building will consist of :
  - a. (3) 3'X6'8 personnel doors. These are half glass style doors to match existing.
  - b. (3) wooden rollup garage style doors. Measurements: 10'X10', 8'X10' & 6'X8'.
  - c. (1) 5030 wood framed glider window
  - d. (3) fully shielded downlights to match existing on site.
  - e. Concrete curb around portion of tank outside of building envelope (see plan drawing)
  - f. Galvanized steel grate over top of tank with curb
5. Install all required signage and striping for accessible parking spots shown on site plan
6. Remove existing aluminum window and air vents in southeast corner of existing press building (see photo submitted with application)

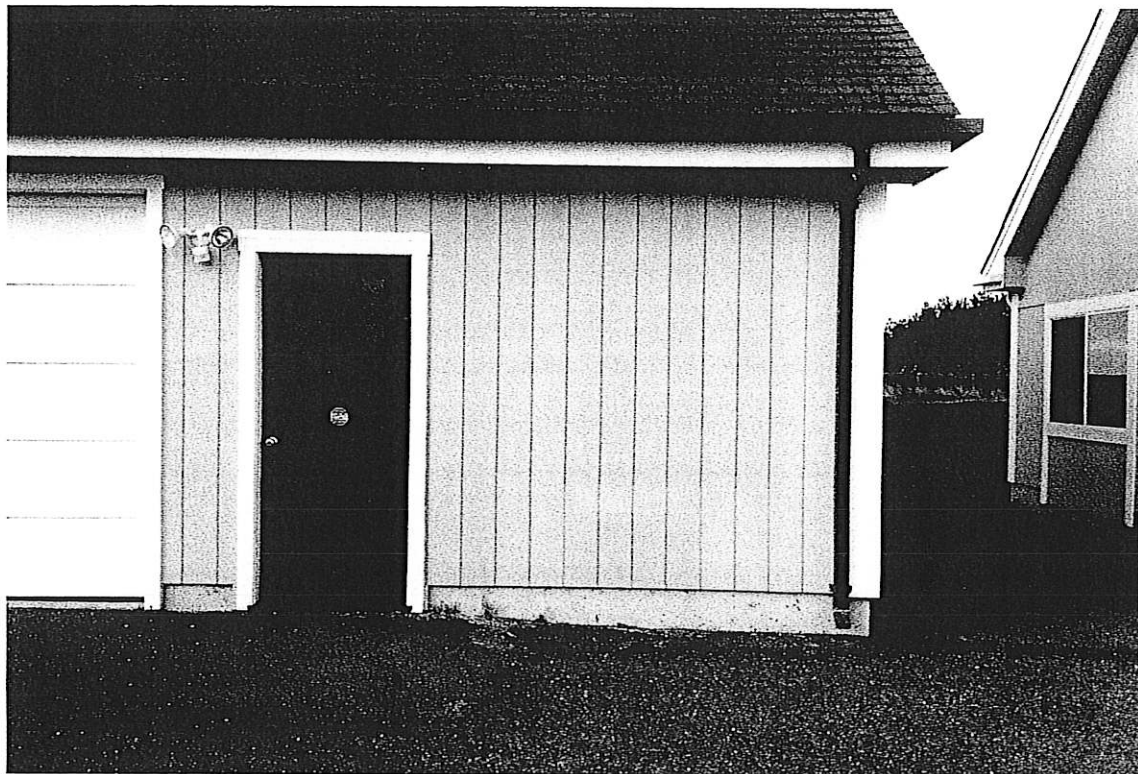
### 2. If the project includes new construction, please provide the following information:

- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? 11465 sq. ft.
- What is the total floor area (internal) of all structures on the property? 4300 sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? N/A sq. ft.

*If you need more room to answer any question, please attach additional sheets*

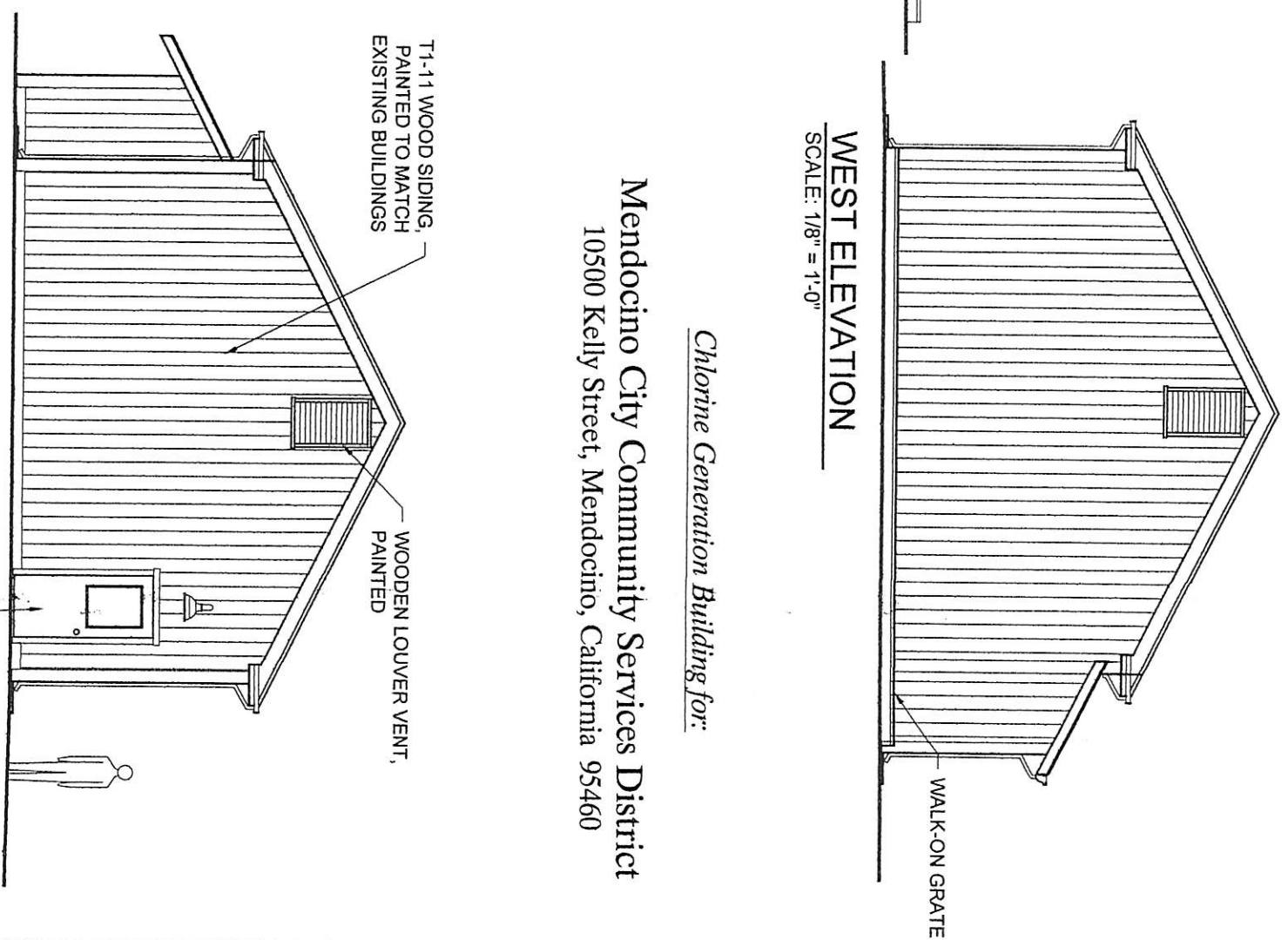
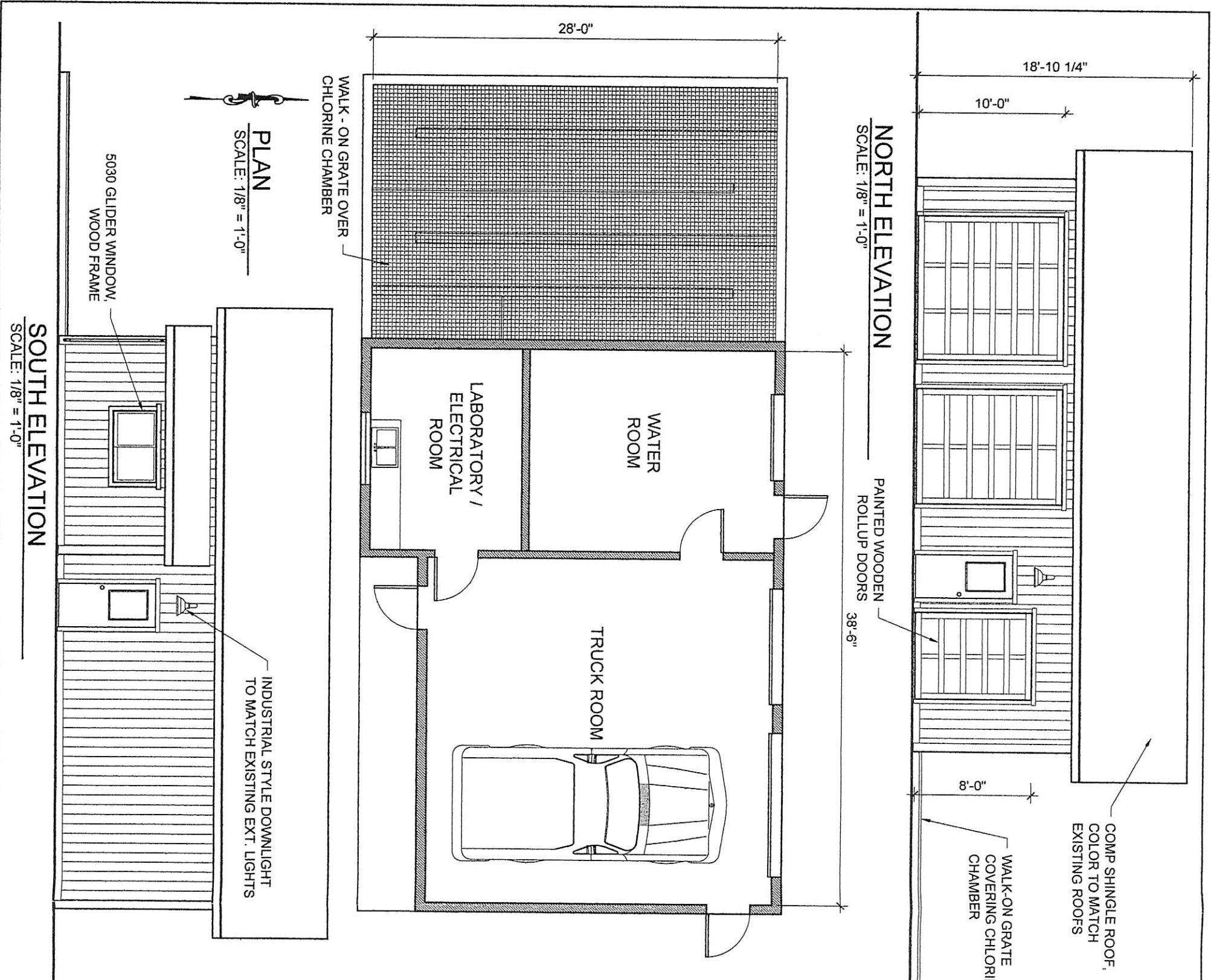


EXISTING WINDOW + VENTS  
TO BE REMOVED  
BEFORE  
AFTER



PBS Received 1-9-2018 NEW SIDING PAINT TO MATCH.  
Page A-7  
AFTER




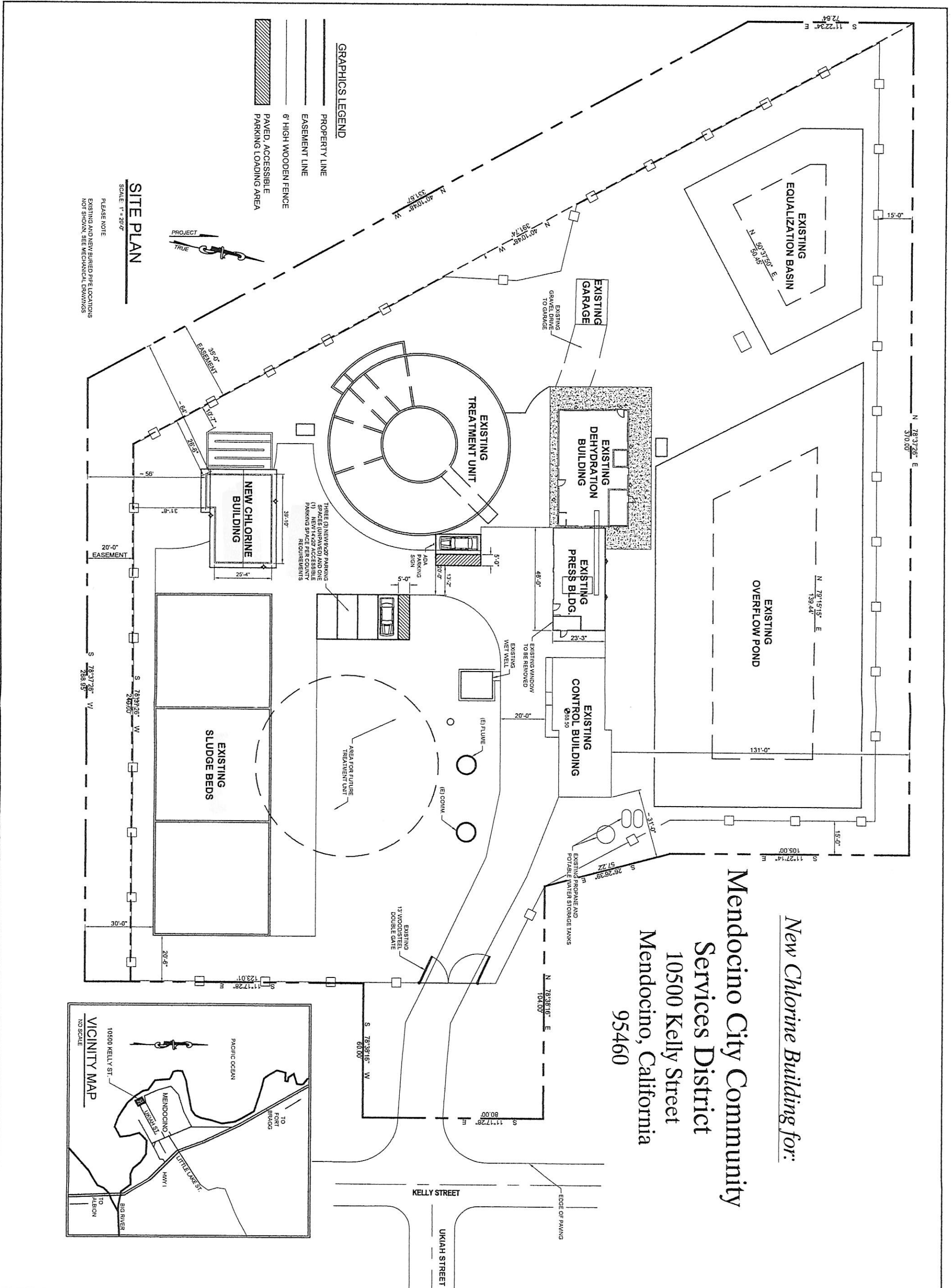


*Chlorine Generation Building for:*  
**Mendocino City Community Services District**  
 10500 Kelly Street, Mendocino, California 95460

**NEW CHLORINE TREATMENT BUILDING FOR:**  
**MENDOCINO CITY COMMUNITY SERVICES DISTRICT**  
 10500 KELLY ST.  
 MENDOCINO, CA 95460

A.P. # 119-211-21

NOTES:	DATE: JANUARY 2, 2018	Kelly B. Grimes, Architect P.O. Box 598 Little River, CA 95456 707-937-2904 
	SCALE: AS NOTED	
	DRAWN BY: KBG	
	JOB: MCCSD	
	SHEET NO. OF 2	



*New Chlorine Building for:*  
**Mendocino City Community Services District**  
 10500 Kelly Street  
 Mendocino, California  
 95460

**NEW CHLORINE TREATMENT BUILDING FOR:**  
**MENDOCINO CITY COMMUNITY SERVICES DISTRICT**  
 10500 KELLY ST.  
 MENDOCINO, CA 95460

A.P. # 119-211-21

NOTES:  
 SHEET NAME:

DATE: JANUARY 2, 2018  
 SCALE: AS NOTED  
 DRAWN BY: KBC  
 JOB: MCCSD  
 SHEET NO: OF 2

*Kelly B. Grimes, Architect*  
 P.O. Box 598  
 Little River, CA 95456  
 707-937-2904



# Mendocino Historical Review Board

c/o Planning & Building Services  
120 West Fir Street  
Fort Bragg, CA 95437  
964-5379

## MENDOCINO HISTORICAL REVIEW BOARD PERMIT

Applicant: Mendocino City Community Services District and  
State of California Department of Parks and Recreation

Date: March 16, 2018  
Permit: MHRB # 2018-0002

On 3/5/2018, the Mendocino Historical Review Board granted Mendocino City Community Services District and State of California Department of Parks and Recreation this permit (1) construct and bury a 50,000 gallon tank; (2) construct a 1,000-square-foot building with wooden windows and doors; (3) install signs and striping for parking; and (4) remove aluminum window and air vents on the southeast corner of the press building. The project is located at 10500 Kelly Street, Mendocino (APN 119-22121-00).

**FINDINGS:** The Review Board conditionally approved the application based on the following: (a) The exterior appearance and design of the proposed work is in harmony with the exterior appearance and design of the existing structures within the District and with that of existing subject structure. The proposed 1,000-square-foot building with louvered vents, wood doors, and lighting are similar to the exterior appearance of other buildings on site. (b) The appearance of the proposed work will not detract from the appearance of other property within the District. The proposed building alterations are rarely visible from other properties within the District and maintain design characteristics previously considered by MHRB and found to not detract from other properties. (c) Where the proposed work consists of alteration or demolition of an existing structure, that such work will not unnecessarily damage or destroy a structure of historical, architectural or cultural significance. The proposed work includes alteration of an existing structure, which has no record of historic significance.

### CONDITIONS:

1. This action shall become final and effective on the 11th day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction, and or use of the property in reliance on such permit, has been completed prior to its expiration. If amendments to CDU 1991-35 are approved within two years of the effective date of MHRB Permit 2018-0002, then this permit's expiration date is extended to coincide with the expiration date of the amendment to CDU 1991-35.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
  - a. That such permit was obtained or extended by fraud.
  - b. That one or more of the conditions upon which such permit was granted have been violated.
  - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2018-0002 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection

prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2018-0002 have been satisfied.

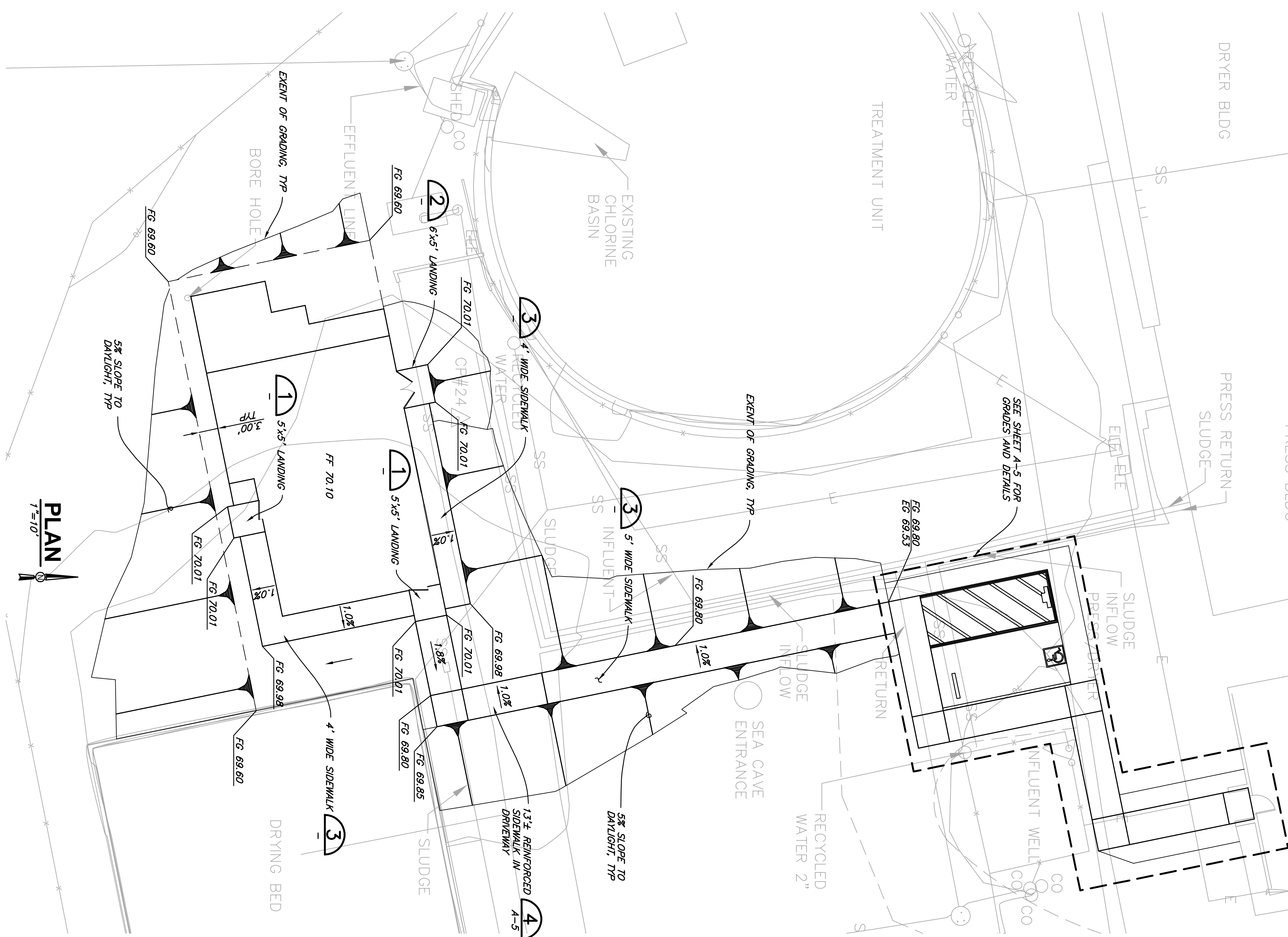
6. Any Building Permit request shall include MHRB Permit 2018-0002 (attached to or printed on the plans submitted).
7. If an amendment to CDU 1991-35 approving a 50,000 gallon tank and a 1,000 square foot building also deviates from MHRB Permit 2018-0002, then the applicant may apply to amend MHRB Permit 2018-0002 and request the Review Board find the amendment consistent with MCC Chapter 20.760 and Mendocino Town Zoning Code.
8. Outdoor lighting for doorways shall be shielded. Illumination shall be reflected downward and positioned in a manner that does not allow light glare to extend more than a 15 foot radius.
9. Prior to issuance of a Building Permit, the applicant shall furnish exterior lighting details to the satisfaction of the Director. Exterior lighting shall be kept to the minimum necessary for safety and security purposes and shall be downcast and shielded, and shall be positioned in a manner that will not shine light or allow light glare to extend beyond a 15 foot radius and otherwise comply with Section 20.504.035 of the Mendocino County Code.

Issued on behalf of the Mendocino Historical Review Board.

By:   
JULIANA CHERRY, EXECUTIVE SECRETARY

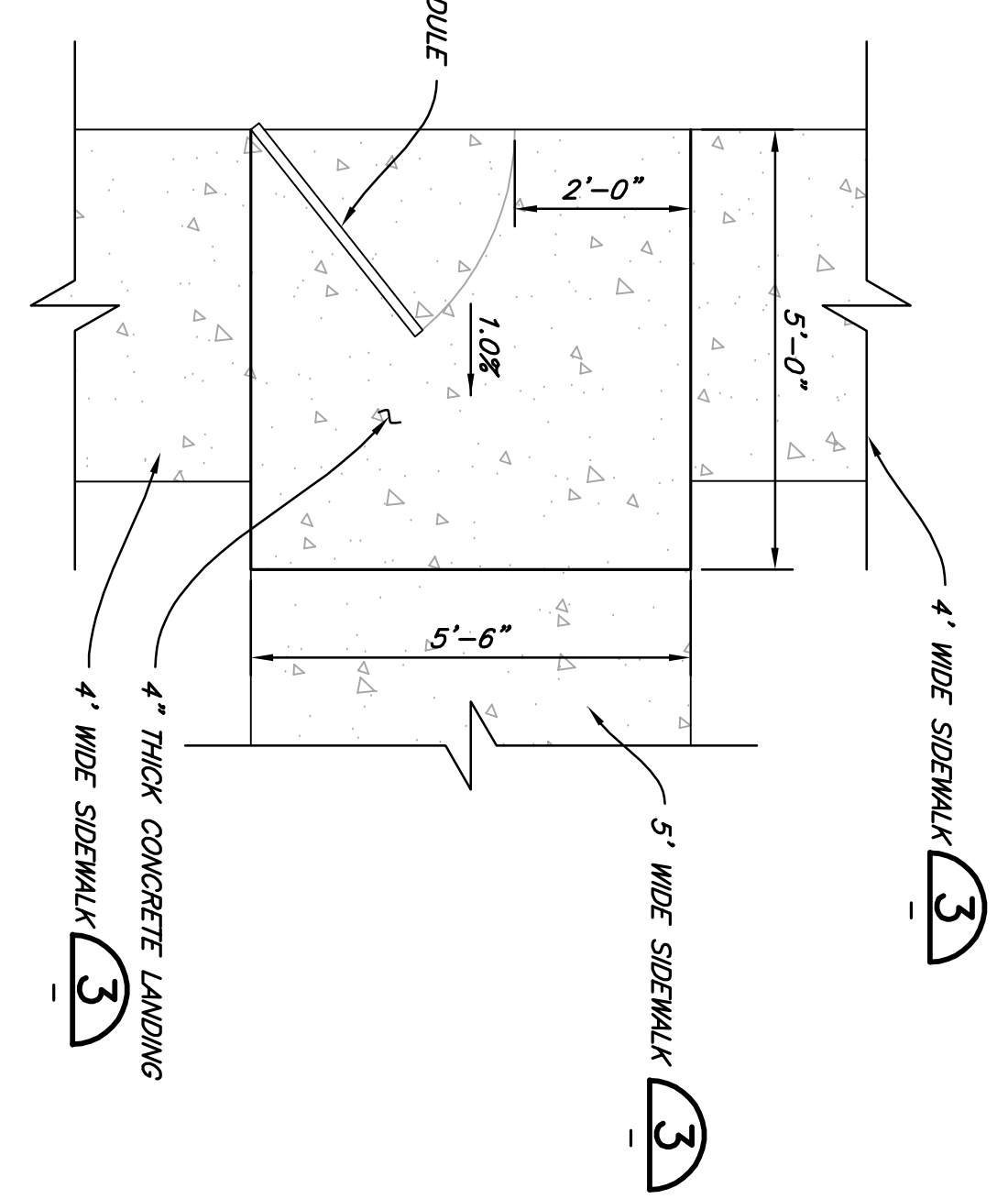
January 16, 2018  
DATE

SAVED: 8/9/2019 4:26 PM SHEATH, PLOTTED: 8/14/2019 3:00 PM SAM R. HEATH  
 \\Willits\Projects\2016\416076-MCCSD-PER\Drawings\416076-SITE-GRDNG.dwg

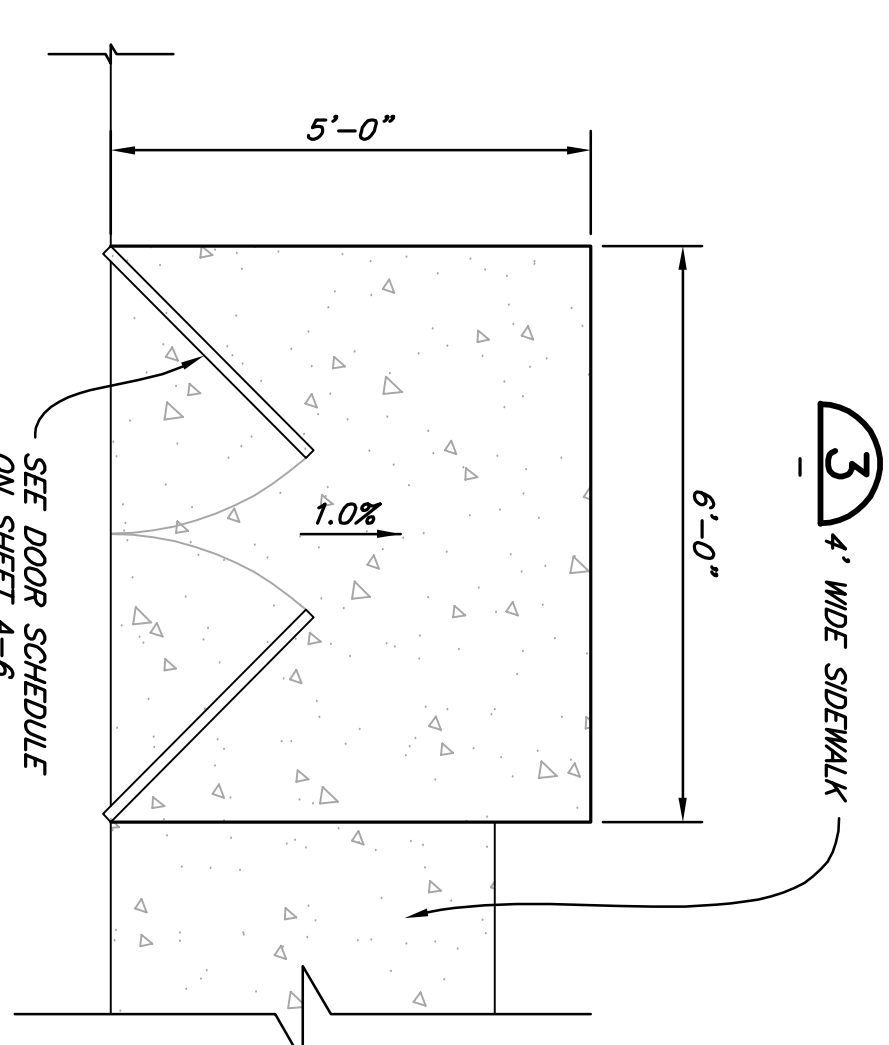


PLAN  
1"=10'

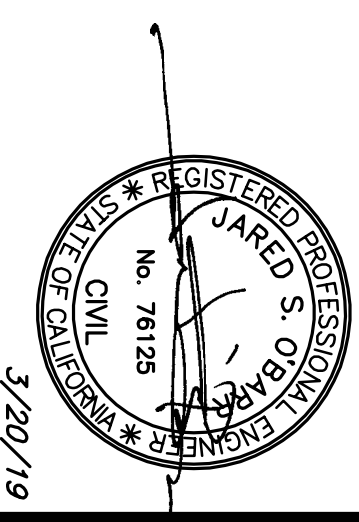
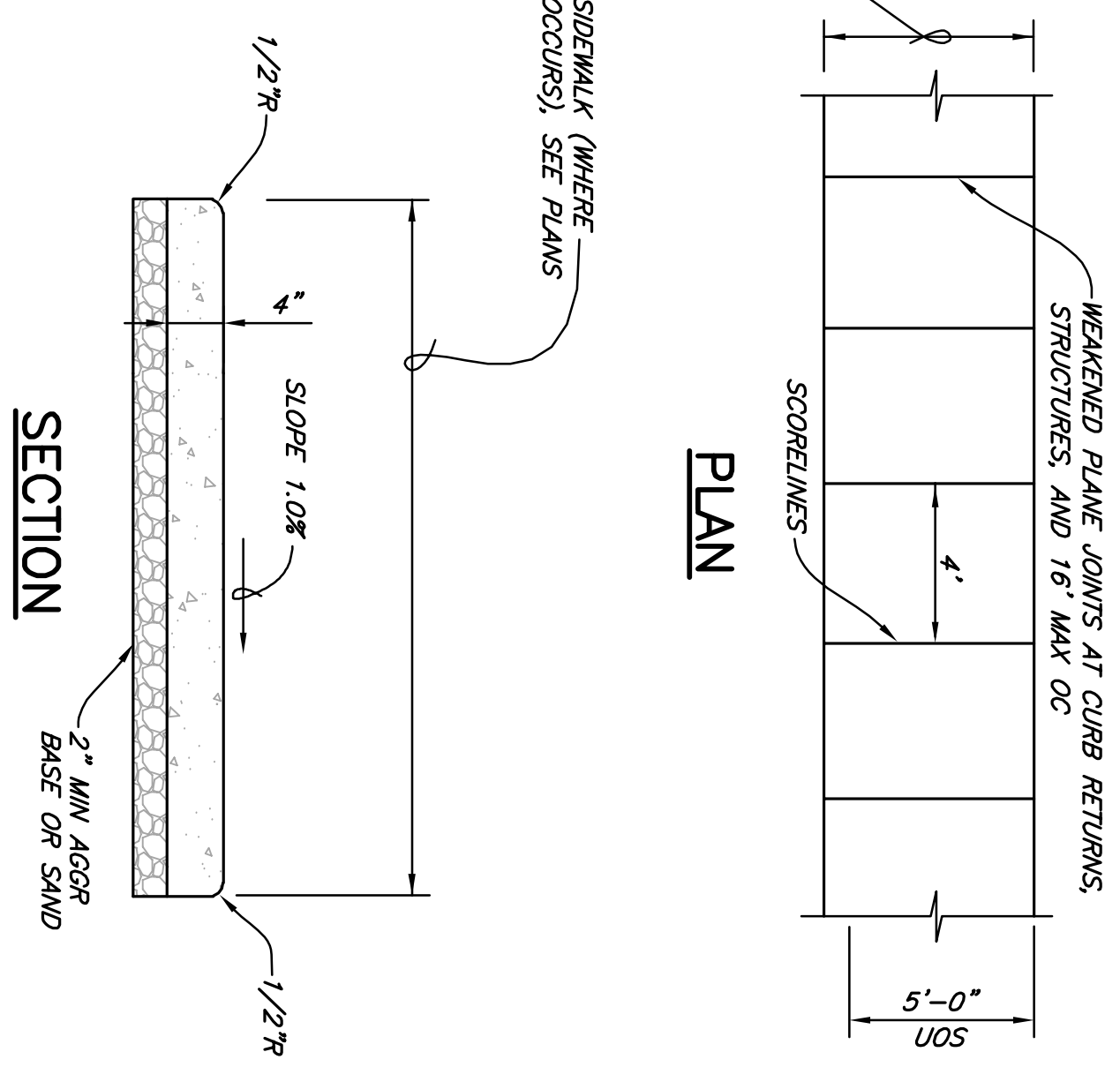
DETAIL 1  
N/S  
(DOORWAY LANDING)



DETAIL 2  
N/S  
(DOORWAY LANDING)

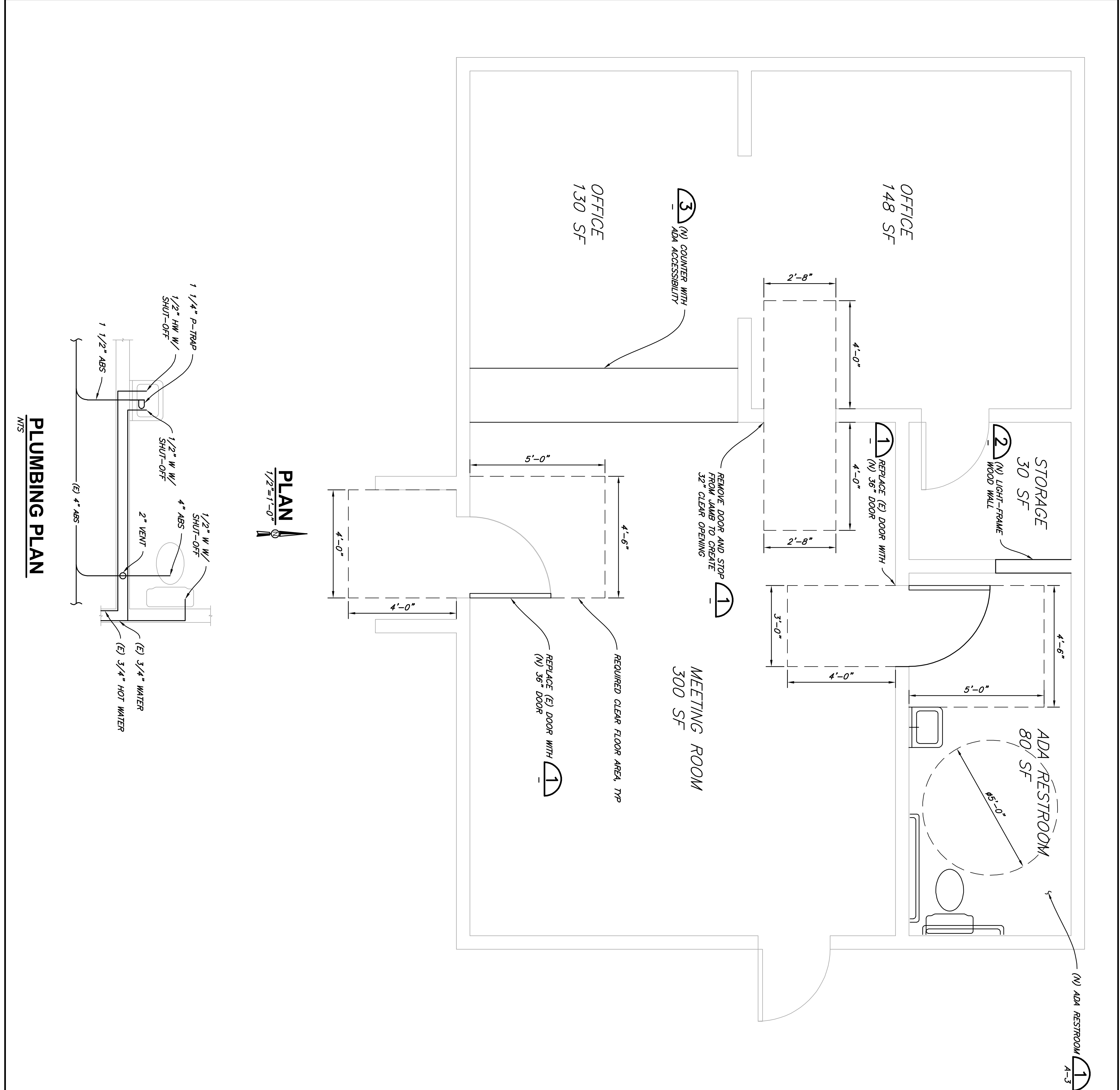


DETAIL 3  
N/S  
(SIDEWALK)



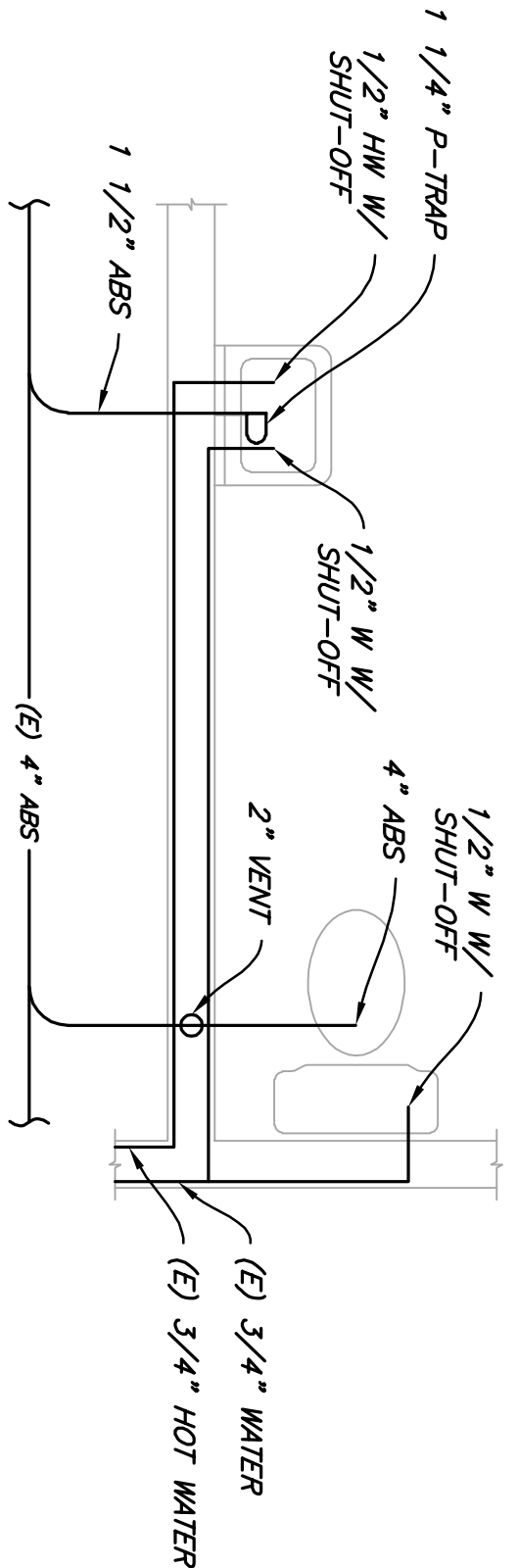
SEQ SHEET C-1.1	MENDOCINO CITY CSD PLANT IMPROVEMENTS AND RECYCLED WATER SYSTEM MENDOCINO, CALIFORNIA <b>SITE GRADING AND CONCRETE                  FLATWORK</b>	DSGN SRH DR SRH CHK JSO APVD	NO. 2 DATE 08/09/2019 REVISION CHANGE ORDER #1	SRH BY	335 S. MAIN ST. WILLITS, CA. 95490 WWW.SHN-ENGR.COM 707-459-4518	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
-----------------------	---	---------------------------------------	--	-----------	---	--

SAVED: 8/13/2019 4:59 PM SHEATH, PLOTTED: 8/14/2019 2:53 PM SAM R. HEATH  
 \\Willits\Projects\2016\416076-MCCSD-PER\Drawgs\416076-ARCH.dwg

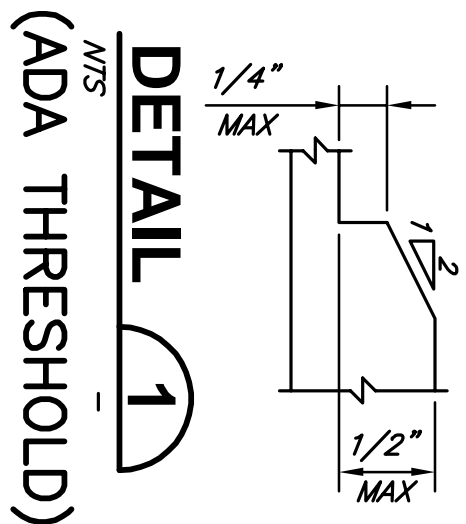


**PLAN**  
 1/2"=1'-0"

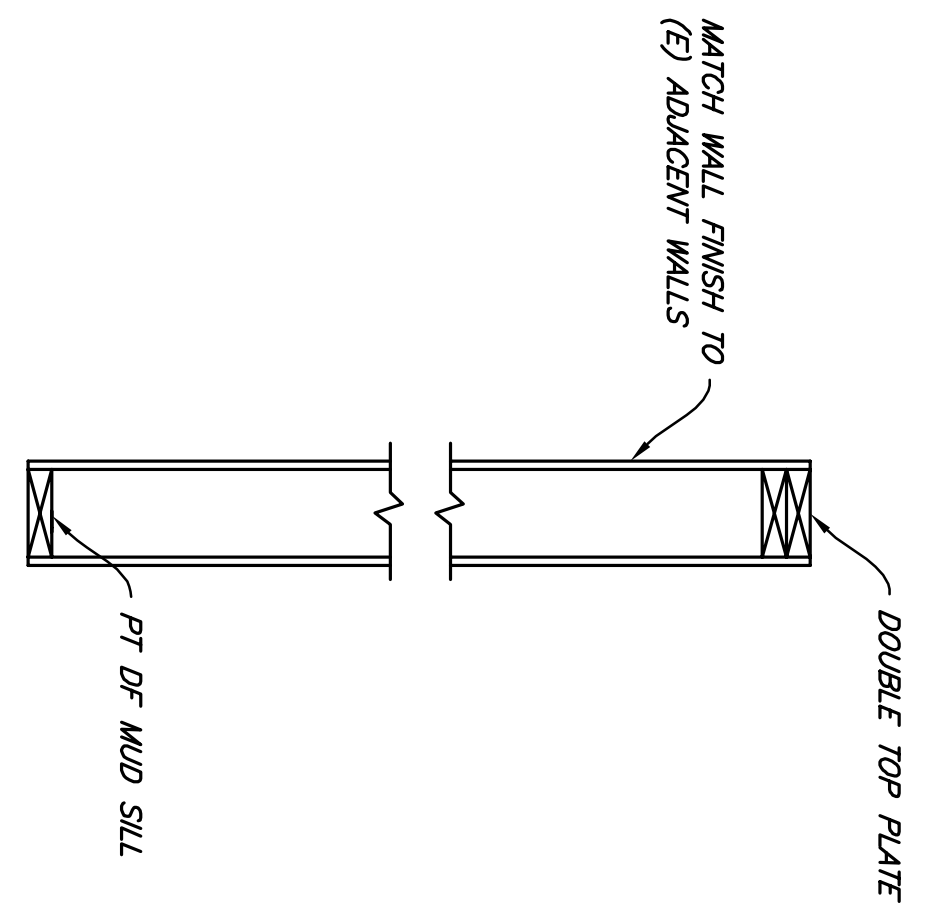
**PLUMBING PLAN**



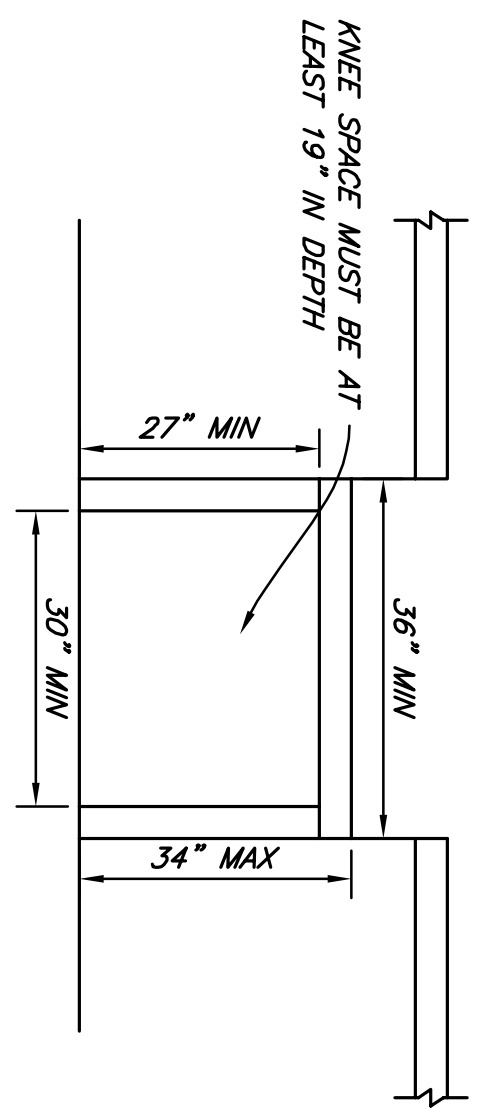
- ADA DOORWAY NOTES:**
1. ALL DOOR HANDLES TO BE OF LEVER TYPE, MOUNTED BETWEEN 34" AND 44" FROM FLOOR LEVEL, AND REQUIRING NOT MORE THAN 5 POUNDS OF FORCE TO OPERATE.
  2. ALL DOORS SHALL REQUIRE NO MORE THAN 5 POUNDS OF FORCE TO PUSH OR PULL OPEN.
  3. ALL DOORWAYS SHALL PROVIDE ADEQUATE MANEUVERING CLEARANCES AS SPECIFIED IN CBC TABLE 11B-404.2.4.1



**DETAIL 1**  
 (ADA THRESHOLD)



**DETAIL 2**  
 (WALL SECTION)

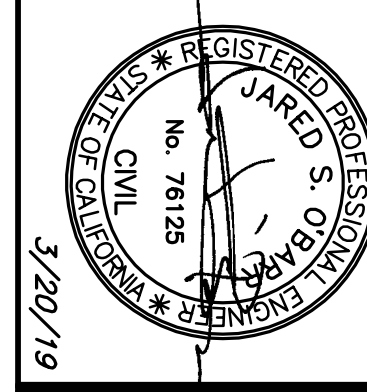
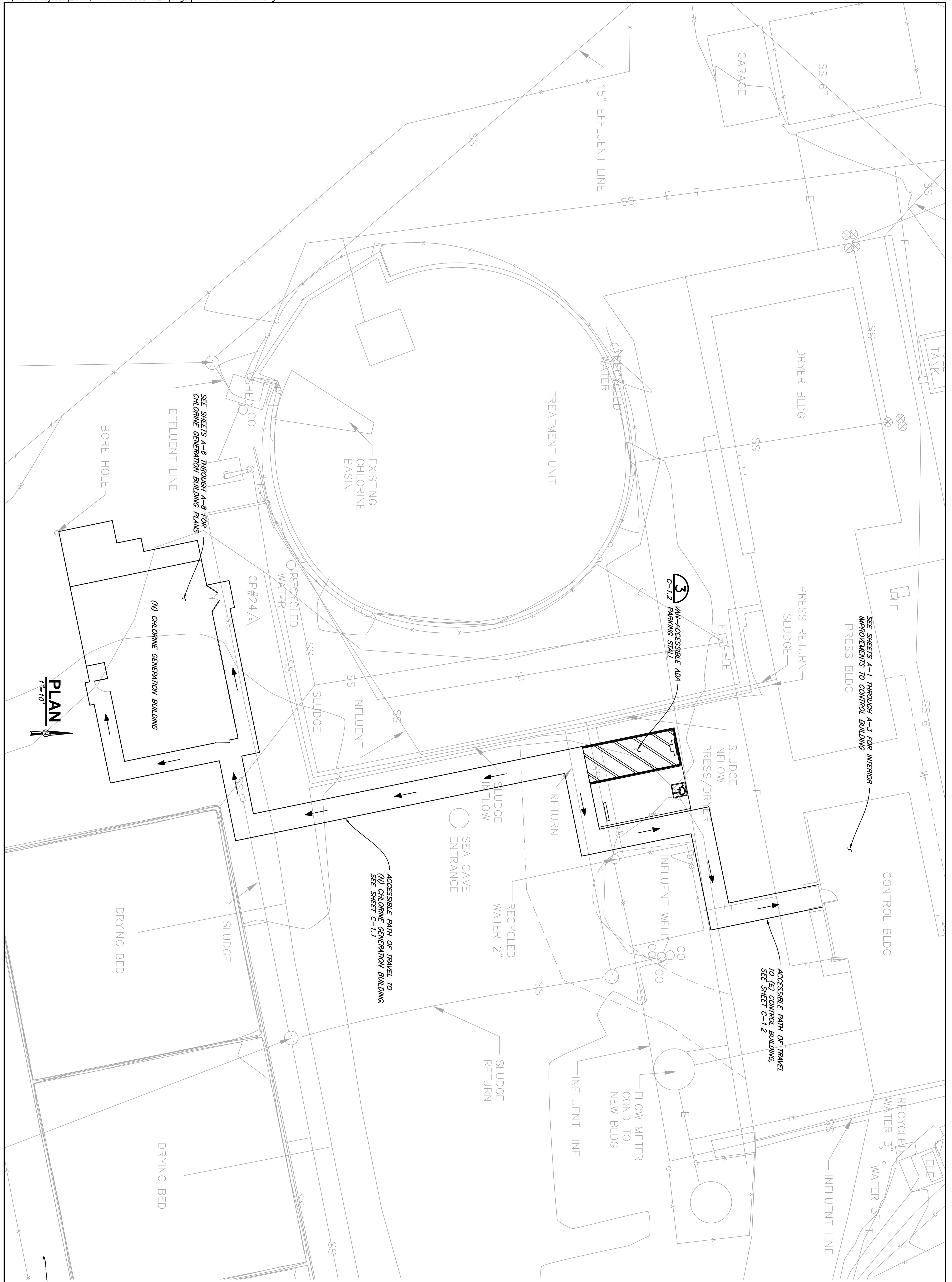


**DETAIL 3**  
 (ADA ACCESSIBLE COUNTER)



SEQ SHEET A-2	DATE 03/20/19	PROJ. NO. 416076.500	MENDOCINO CITY CSD PLANT IMPROVEMENTS AND RECYCLED WATER SYSTEM MENDOCINO, CALIFORNIA <b>CONTROL BUILDING PROPOSED FLOOR PLAN</b>	DSGN SRH DR SRH CHK JGI APVD	NO. 2 DATE 08/09/2019 REVISION CHANGE ORDER #1	SRH BY	CONSULTING ENGINEERS & GEOLOGISTS, INC. 335 S. MAIN ST. WILLITS, CA. 95490 WWW.SHN-ENGR.COM 707-459-4518	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
---------------------	------------------	-------------------------	--	---------------------------------------	--	-----------	--	--

SAVED: 8/9/2019 4:41 PM SHEATH, PLOTTED: 8/14/2019 2:56 PM SAM R. HEATH  
 \\Willits\Projects\2016\416076-MCCSD-PER\Drawgs\416076-ARCH-PoT.dwg



SEQ	DATE	PROJ. NO.
A-4	03/2019	416076.500

MENDOCINO CITY CSD  
 PLANT IMPROVEMENTS AND RECYCLED WATER SYSTEM  
 MENDOCINO, CALIFORNIA

**ADA PATH OF TRAVEL**

DSGN	SRH	08/09/2019 CHANGE ORDER #1 NO. DATE REVISION	SRH BY
DR	SRH		
CHK	JSO		
APVD			

**SHN CONSULTING ENGINEERS & GEOLOGISTS, INC.**  
 335 S. MAIN ST. WILLITS, CA. 95490  
 WWW.SHN-ENGR.COM 707-459-4518

VERIFY SCALES  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1"  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY



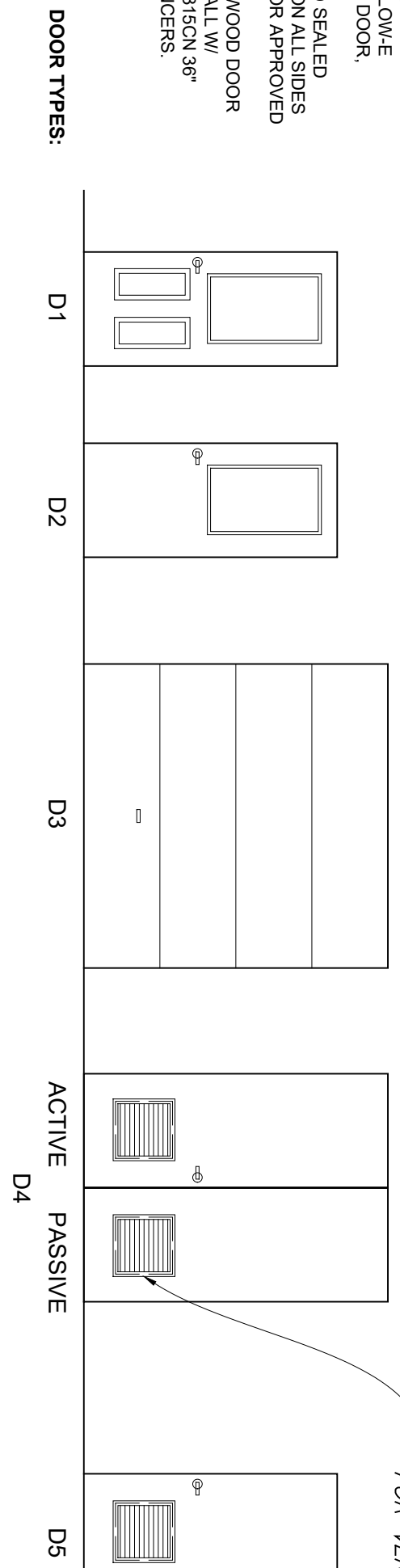
**ARCHITECTURAL NOTES**

- CONSTRUCTION TO COMPLY IN EVERY MANNER WITH 2016 EDITION OF CALIFORNIA BUILDING CODE (CBC). CONVENTIONAL CONSTRUCTION PRACTICES ARE ASSUMED UNLESS OTHERWISE NOTED. VERIFICATION OF COMPLIANCE WITH THE CBC SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY.
- THIS SET OF DRAWINGS REPRESENTS THE BEST EFFORTS OF THE ARCHITECT. HOWEVER, THERE MAY BE DISCREPANCIES OR INACCURACIES WHICH, WHEN FOUND, SHOULD BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR (AND HIS SUB-CONTRACTORS) SHALL ALSO BE EXPECTED TO PUT THEIR BEST EFFORTS FORWARD AND WHEN THIS IS NOT POSSIBLE THE ARCHITECT SHOULD BE NOTIFIED AS SOON AS POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTIONS AGAINST ACCIDENT AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND REQUIRED BY CODE.
- ALL GRADING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE. ALL EXCAVATED MATERIAL RESULTING FROM GRADING SHALL BE RELOCATED ON THE SITE TO A LOCATION DETERMINED BY THE OWNER AND SO AS NOT TO AFFECT NATURAL DRAINAGE COURSES.

DOOR SCHEDULE							
#	TYPE	NOMINAL SIZE	MATERIAL	FINISH	MANUF.	MODEL	NOTES
101	D4	6'-0"	FIBERGLASS	PAINTED	THERMA TRU	SS302238E-R	SMOOTH STAR W/ 8"x18" FIRE RATED VENTS. FRENCH OUTSWING. ACTIVE DOOR-LOCKSET GROUP ONE. PASSIVE DOOR-DELTA MAN 6" FLUSH BOLT. HD. STAINLESS STEEL PAN # 878532D
102	D3	8'-0"	WOOD	PAINTED	WAYNE DALTON CORP.	FLUSH 45	MANUAL PULL-UP. LEVEL TRACK
103	D3	10'-0"	WOOD	PAINTED	WAYNE DALTON CORP.	FLUSH 45	AUTOMATIC PULL-UP. LEVEL TRACK. SEE NOTE #6
104	D1	3'-1 1/2"	FIBERGLASS	PAINTED	THERMA TRU	SS302238E-RO	HALF GLASS (SAFETY). RIGHT OUTSWING. LOCKSET GROUP ONE.
105	D1	3'-1 1/2"	FIBERGLASS	PAINTED	THERMA TRU	SS302238E-RO	HALF GLASS (SAFETY). RIGHT OUTSWING. LOCKSET GROUP ONE.
106	D5	3'-1 1/2"	WOOD	PAINTED	TRU DOOR	-	SOLID CORE WOOD DOOR W/ 24"x18" LOUVERED VENT. LOCKSET GROUP TWO.
107	D2	3'-1 1/2"	WOOD	PAINTED	TRU DOOR	-	SOLID CORE WOOD W/ HALF GLASS (SAFETY). LEFT OUTSWING. LOCKSET GROUP TWO.

LOCKSET GROUP ONE:  
 EZSET F SERIES CT LEVER GRADE I ENTRANCE KEVED LOCKS  
 LOCKSET GROUP TWO:  
 EZSET F SERIES CT LEVER GRADE I PASSAGE SET

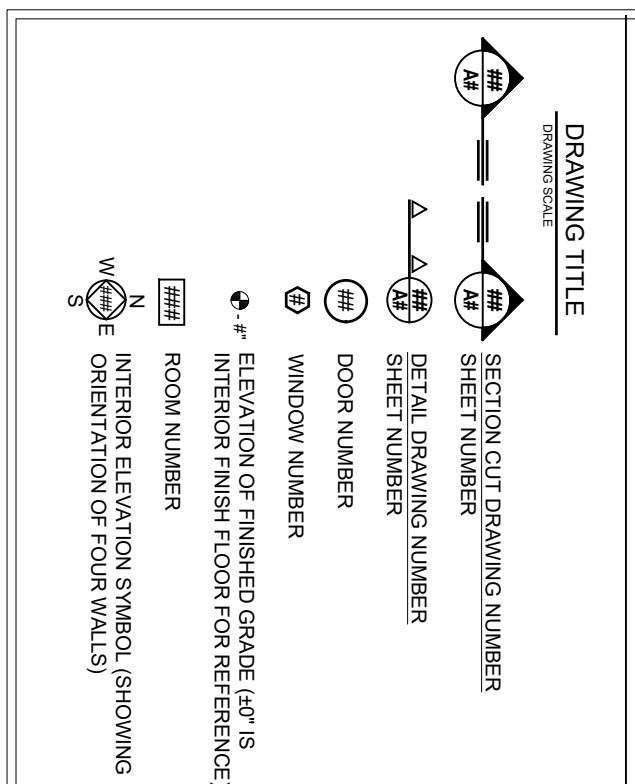
\* ALL LOCKSETS TO BE EZSET F SERIES CT LEVER GRADE I COMMERCIAL LEVERS AND LOCKSETS OR EQUAL. LEVER HANDLE WITH BRUSHED STAINLESS STEEL FINISH (930 US3D). ALL EXTERIOR KEVED LOCKS TO OPERATE WITH THE SHIELD KE.



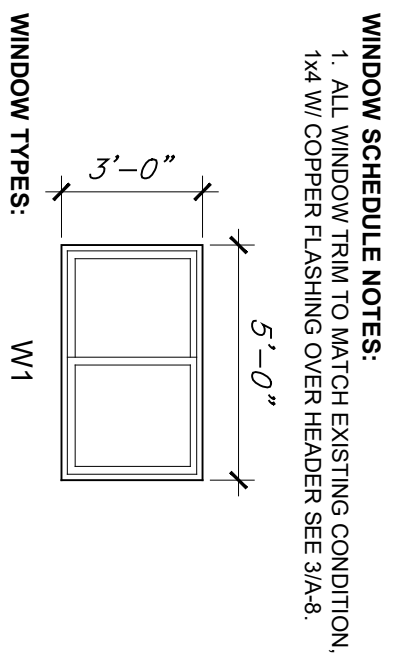
SEE MECHANICAL DRAWINGS FOR VENT INFORMATION

- ALL PATIO AND FINISHED GRADE SURFACES SHALL SLOPE AWAY FROM NEW AND EXISTING BUILDINGS.
- CONTRACTOR SHALL VERIFY THAT ALL AREAS AFFECTED BY CONSTRUCTION ARE POSITIVELY DRAINED (CODE AND AS SHOWN ON DRAWINGS) TO GRAVEL SPACES AND PLUMBING CHASES. AND SHALL CONFIRM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL FINISHED FLOOR SURFACES FROM DAMAGE.
- CONTRACTOR SHALL VERIFY THAT WATER SUPPLY LINES ARE SIZED TO PROVIDE ACCEPTABLE PRESSURE AND VOLUME AS REQUIRED BY THE UNIFORM PLUMBING CODE. ALL PLUMBING FIXTURES SHALL COMPLY WITH PRESCRIPTIVE REQUIREMENTS OF CALIFORNIA CODE.
- ALL METAL FLASHING, GUTTER AND DOWNSPOUT JOINTS SHALL BE LAPPED, JOINED AND SEALED SO THAT THEY ARE WATER TIGHT TO PROVIDE POSITIVE WATERFLOW.
- GLAZING ADJACENT TO STAIRS SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD. ALL EXTERIOR GLAZING TO BE TEMPERED IN COMPLIANCE WITH U.I.I. STANDARDS.
- ALL POSTS, PLATES, SLEEPERS, ETC. BEARING ON OR EMBEDDED IN CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER, UNO.
- SMOKE AND CO2 DETECTORS SHALL BE PROVIDED AS REQUIRED BY THE APPROPRIATE BUILDING CODE.
- WHERE SPECIFIED ITEMS ARE MENTIONED, THE CONTRACTOR MAY SUBMIT ALTERNATE MATERIALS FOR APPROVAL BY THE OWNER AND THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE A BLANKET ONE-YEAR GUARANTEE FOR THE TOTAL JOB WITH THE SEPARATE GUARANTEE FOR SPECIFIC TRADE/EQUIPMENT ITEMS. WITH THE NAMES OF LOCAL REPRESENTATIVES TO BE CONTRACTED FOR SERVICE. PROVIDE OPERATING AND MAINTENANCE RECORDS AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ONE REPRODUCIBLE DRAWING INDICATING ALL DIFFERENCES, CHANGES, ETC. FROM THE APPROVED SET OF DRAWINGS.
- THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED TO THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.
- A MAINTENANCE MANUAL SHALL BE PROVIDED AT THE FINAL INSPECTION AND SHALL INCLUDE: 10 POINTS CONCERNING THE OPERATION AND MAINTENANCE OF THE BUILDING.
- USE LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS THAT MEET SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1168.
- USE LOW VOC COATINGS THAT MEET SCAQMD RULE 1113.
- ALL AEROSOL, PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND VOC LIMITS.
- DOCUMENTATION MUST BE PRESENTED WHEN REQUESTED TO VERIFY COMPLIANCE WITH THE VOC RULES.
- NO WATER DAMAGED OR ROTTEN MATERIAL SHALL BE USED. ALL FRAMING SHALL HAVE A MOISTURE CONTENT LESS THAN 19% PRIOR TO ENCLOSING.
- ANNUAL SPACES AROUND PIPES AND WIRES SHALL BE FILLED TO PREVENT AIR OR RODENT INFILTRATION.
- ALL PARTICLE BOARD AND HARDWOOD PLYWOOD USED ON INTERIOR SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

**LEGEND TO SYMBOLS:**



WINDOW SCHEDULE								
#	TYPE	NOMINAL SIZE	MATERIAL	FINISH	OPERATION	MANUF.	MODEL	NOTES
A	W1	5'-0" x 3'-0"	FIBERGLASS	WHITE	SLIDER	MARVIN	ULTRIX	



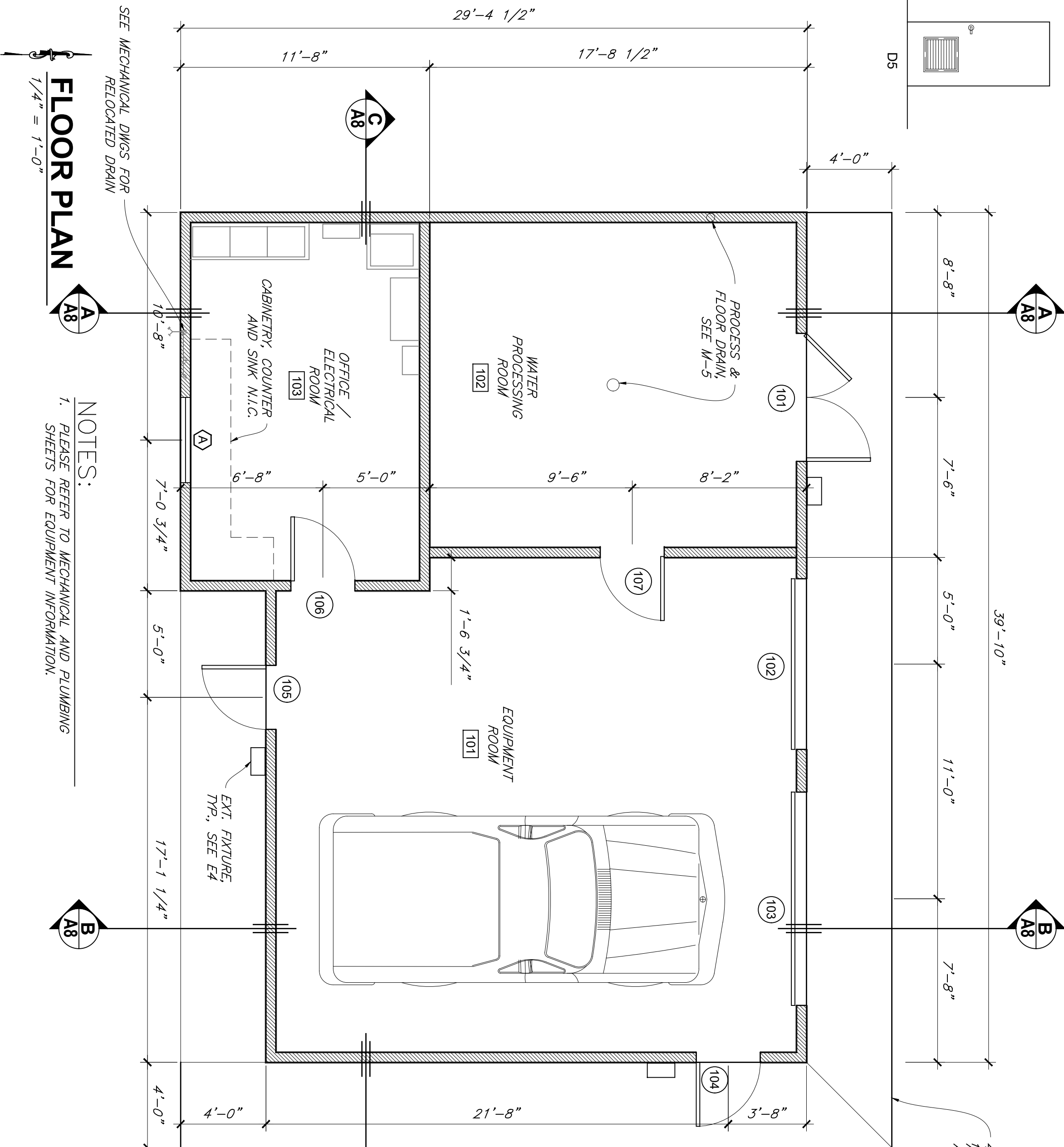
WINDOW SCHEDULE NOTES:  
 1. ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
 1.4 W/ COPPER FLASHING OVER HEADER SEE 3/A-8

FINISH SCHEDULE							
ROOM #	ROOM NAME	FLOORS		WALLS		CEILING	
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH
101	EQUIPMENT ROOM	CONC	SMOOTH	CONC	OPEN FRAMING	OPEN FRAMING	-
102	WATER PROCESSING ROOM	CONC	SMOOTH	CONC	OPEN FRAMING	OPEN FRAMING	-
103	OFFICE / ELECTRICAL ROOM	CONC	SMOOTH	CONC	GREENBD. 1/2 SHTRK	1/2 SHTRK	SEE NOTE #2

- FINISH SCHEDULE NOTES:  
 1. OFFICE/ELECTRICAL ROOM CEILING IS FLAT DROPPED TO 8'-0" A.F.F. ALL OTHER CEILINGS @ 12' PLATE HEIGHT OF MAIN STRUCTURE.  
 2. WALLS AND CEILING TO BE SMOOTH FINISH AND PRIMED WITH ONE COAT OF LATEX BASED MEDIUM CORROSION RESISTANT PRIMER AND THEN FINISHED WITH TWO COATS OF HIGH GLOSS BENJAMIN MOORE INTERIOR WHITE LATEX (FC-1).  
 3. ONLY OFFICE / ELECTRICAL ROOM TO BE FINISHED AND PAINTED

**BUILDING DATA:**

OCCUPANCY: GROUP F-1  
 CONSTRUCTION TYPE: V-N  
 FRAMING SYSTEM: WOOD-LIGHT



SEE SHEETS SN, SP & SD1 FOR STRUCTURAL ASPECTS OF BUILDING.

SEE MECHANICAL DWGS FOR RELOCATED DRAIN

**FLOOR PLAN**

- NOTES:  
 1. PLEASE REFER TO MECHANICAL AND PLUMBING SHEETS FOR EQUIPMENT INFORMATION.

**Kelly B. Gimes, Architect**  
 P.O. Box 508  
 Little River, CA 95456  
 707-937-2904

Professional Seal: Kelly B. Gimes, Architect, License No. C-28729, State of California, Exp. 8-31-19

**SH CONSULTING ENGINEERS & GEOLOGISTS, INC.**  
 335 S. MAIN ST.  
 WILLITS, CA. 95490  
 WWW.SHN-ENGR.COM  
 707-459-4518

VERIFY SCALES  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

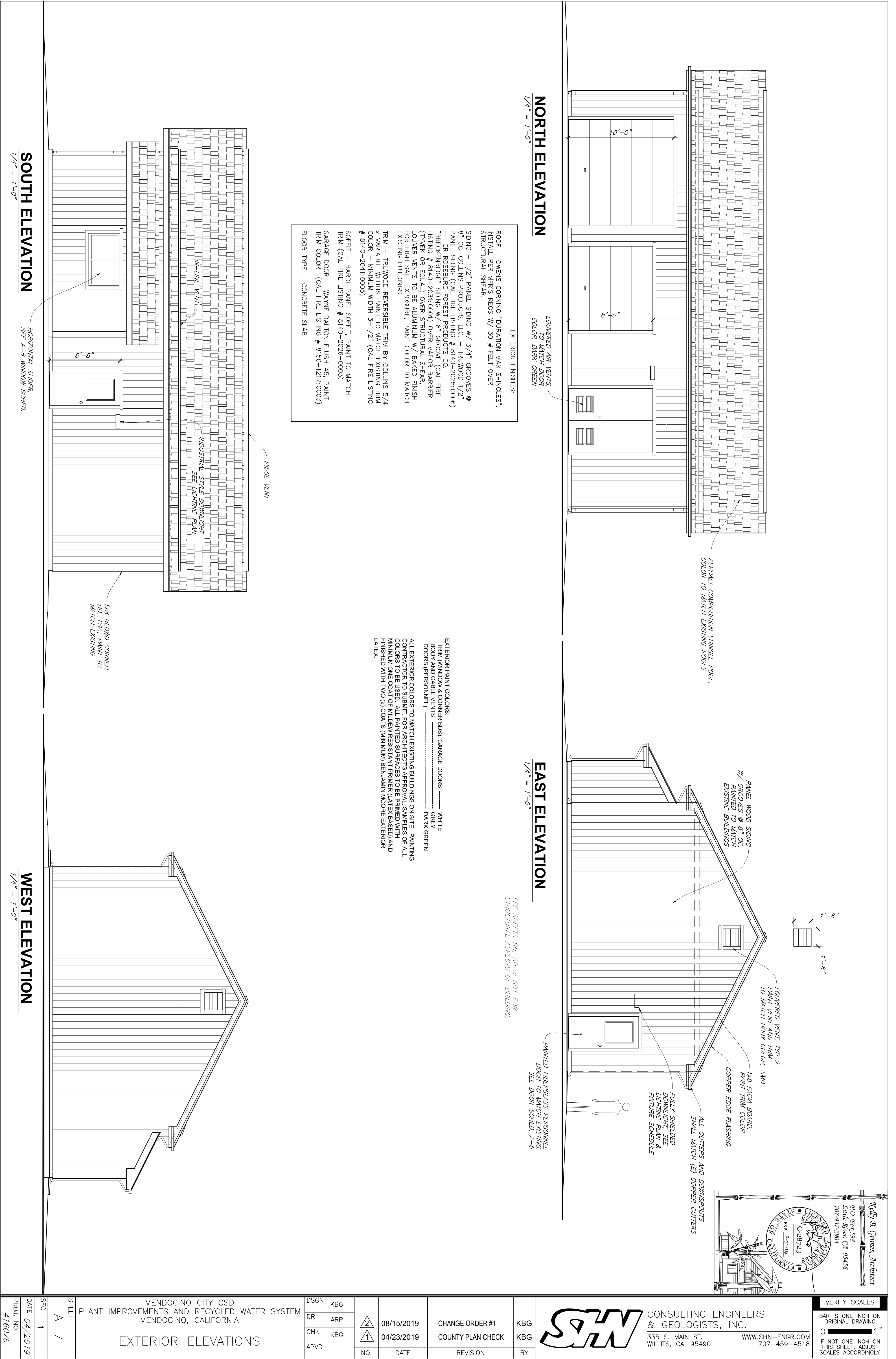
DRGN	KBG	08/15/2019	CHANGE ORDER #1	KBG
DR	ARP	04/23/2019	COUNTY PLAN CHECK	KBG
CHK	KBG			
APVD				

NO. 2 DATE 08/15/2019 REVISION CHANGE ORDER #1 COUNTY PLAN CHECK

MENDOCINO CITY CSD  
 PLANT IMPROVEMENTS AND RECYCLED WATER SYSTEM  
 MENDOCINO, CALIFORNIA

ARCHITECTURAL FLOOR PLAN

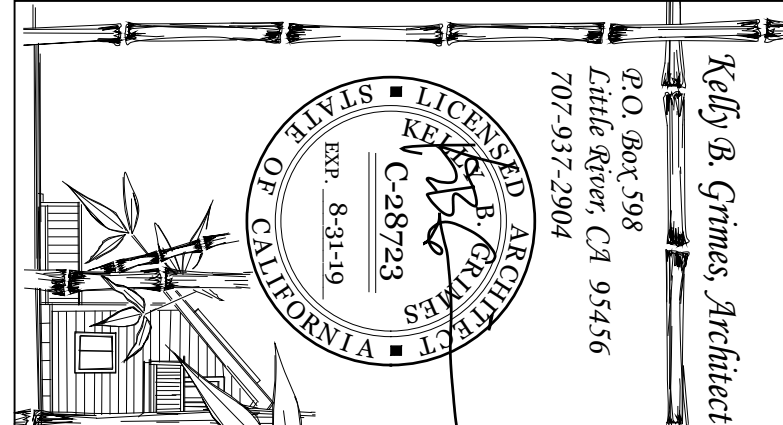
SHEET A-6  
 SEQ 1  
 DATE 04/2019  
 PROJ. NO. 416076



**EXTERIOR FINISHES:**  
 ROOF — OWENS CORNING "DURATION MAX SHINGLES",  
 INSTALL PER MFR'S RECS W/ 30 # FELT OVER  
 STRUCTURAL SHEAR.  
 SIDING — 1/2" PANEL SIDING W/ 3/4" GROOVES @  
 8" OC. COLLINS PRODUCTS, LLC. TRUWOOD 1/2"  
 PANEL SIDING (CAL FIRE LISTING # 8140-2023-0006)  
 OR ROSENBERG FOREST PRODUCTS CO.  
 "BROCKENRIDGE" SIDING W/ 8" GROOVE (CAL FIRE  
 LISTING # 8140-2031-0001) OVER VAPOR BARRIER  
 (TYVEK OR EQUAL) OVER STRUCTURAL SHEAR.  
 LOUVER VENTS TO BE ALUMINUM W/ BAKED FINISH  
 FOR HIGH SALT EXPOSURE. PAINT COLOR TO MATCH  
 EXISTING BUILDINGS.  
 TRIM — TRUWOOD REVERSIBLE TRIM BY COLLINS 5/4  
 X VARIABLE WIDTHS PAINT TO MATCH EXISTING TRIM  
 COLOR — MINIMUM WIDTH 3-1/2" (CAL FIRE LISTING  
 # 8140-2041-0005)  
 SOFFIT — HARD-PANEL SOFFIT, PAINT TO MATCH  
 TRIM (CAL FIRE LISTING # 8140-2028-0003)  
 GARAGE DOOR — WAYNE DALTON FLUSH 45 PAINT  
 TRIM COLOR (CAL FIRE LISTING # 8150-1217-0003)  
 FLOOR TYPE — CONCRETE SLAB

**EXTERIOR PAINT COLORS:**  
 TRIM (WINDOW & CORNER BDS), GARAGE DOORS ..... WHITE  
 BODY AND GABLE VENTS ..... GREY  
 DOORS (PERSONNEL) ..... DARK GREEN  
 ALL EXTERIOR COLORS TO MATCH EXISTING BUILDINGS ON SITE. PAINTING  
 CONTRACTOR TO SUBMIT FOR ARCHITECT'S APPROVAL. SAMPLES OF ALL  
 COLORS TO BE USED. ALL PAINTED SURFACES TO BE PRIMED WITH  
 MINIMUM ONE COAT OF MILDEW RESISTANT PRIMER (LATEX BASED) AND  
 FINISHED WITH TWO (2) COATS (MINIMUM) BENJAMIN MOORE EXTERIOR  
 LATEX.

SEE SHEETS SN, SP & SD1 FOR  
 STRUCTURAL ASPECTS OF BUILDING.



SHEET A-7 SEQ 1	DATE 04/2019 PROJ. NO. 416076	MENDOCINO CITY CSD PLANT IMPROVEMENTS AND RECYCLED WATER SYSTEM MENDOCINO, CALIFORNIA		DSGN KBG DR ARP CHK KBG APVD	08/15/2019 04/23/2019	CHANGE ORDER #1 COUNTY PLAN CHECK	KBG KBG	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
		EXTERIOR ELEVATIONS		NO. DATE REVISION BY	SHN CONSULTING ENGINEERS & GEOLOGISTS, INC. 335 S. MAIN ST. WILLITS, CA. 95490 WWW.SHN-ENGR.COM 707-459-4518			